



# BOARD OF EDUCATION UPDATE MEETING #2: BOND COMMITTEE RECOMMENDATION

December 2, 2021



## OUR OPPORTUNITY & BACKGROUND

- \$130 Million, No Change to Tax Rate (0 Mill)
- Election May 3, 2022

### **2015 ASSESSMENT**

\$340 million

### **2016 BOND**

\$120 million

### **2018 ASSESSMENT**

\$244 Million

### **2019 SINKING FUND**

\$7.7 million  
for 10 Years

# ON TAP TONIGHT

- Approach & Community Input
- Recommended Investments & Costs
- Wrap-up & Next Steps





## APPROACH & COMMUNITY INPUT

- Overall Process
- Big Picture Vision & Priorities
- Community Input & Survey Results

# Overall Process



**Board of Education Resolution**

## Envisioning the Future Together

A word cloud visualization centered around the theme of 'Envisioning the Future Together'. The words are arranged in a dense, overlapping cluster. The most prominent words, shown in larger fonts, are 'innovative', 'inclusive', 'equity', 'new', 'learning', 'efficient', 'community', 'sustainable', 'athletics', 'buildings', 'high-quality', and 'covid'. Other words include 'leading', 'achievement', 'proud', 'connected', 'attracting', 'hi-tech', 'informed', 'friendly', 'students', 'aspirational', 'changing', 'tech', 'materials', 'opportunity', 'counseling', 'supportive', 'competitive', 'sustainability', 'trauma', 'modern', 'pride', 'life', 'eco', 'arts', and 'materials'. The colors used are primarily blue and yellow/gold, with some words in a darker blue.

leading achievement  
high-quality proud covid  
connected attracting innovative sustainable  
hi-tech arts eco community  
informed friendly inclusive life pride  
new equity athletics  
learning efficient buildings  
students aspirational changing tech materials  
opportunity supportive connected buildings  
counseling competitive sustainability trauma modern



## SURVEY RESULTS

- 1,761 Respondents Via Online Survey
  - Primarily Parents/Guardians, Community Members, & District Staff
- Support for Zero-Mill Bond Issue
  - 60% Support – 31% Need More Information – 8% Opposed
  - Primarily “Support” or “Need More Information”  
Across Most Investment Areas, including A/C and Replacing Elementary Schools

# Recommendations May 2022 Bond Proposal

*If approved in May 2022, a 0 Mill Bond (No Change) would generate approximately \$130M...*

- **Classroom Air Conditioning/Air Quality**  
A/C in All Classrooms District-Wide
- **Replacing End-of-Life Buildings**  
New 21<sup>st</sup> Century Schools at Mt. Hope, Willow, Lewton and Sheridan
- ▲ **Investing in a Refresh of Sexton**  
Complete Renovation of Auditorium;  
Refresh Interior, Including Ceilings, Window Shades, and Paint; Installation of A/C; Athletics



# Building Replacement

	School	Year Built	Cond. Rating	Cond. Score	2016 (\$: 1-4M/ \$\$: Over 10M)	Grade Level	Rep. Grade Level	Replacement Cost High	Location	Replace?	Replacement Cost (High) - With Escalation
Replacement Not Proposed	Mt. Hope	1948	Poor	41		4-6	4-8	\$ 21,000,000	SE	Y	\$ 22,050,000
	Willow	1952	Poor	44		(P)K-3	(P)K-3	\$ 20,000,000	NE	Y	\$ 22,050,000
	Sheridan	1954	Poor	59		4-6	4-8	\$ 21,000,000	NE	Y	\$ 24,310,125
	Lewton	1957	Poor	50		(P)K-6	(P)K-8	\$ 25,500,000	SW	Y	\$ 30,995,409
Replacement Considered Not Proposed	Lyons	1951	Poor	48		(P)K-3	(P)K-3	\$ 20,000,000	SE	N	\$ -
	Gier Park	1953	Poor	55		(P)K-3	(P)K-3	\$ 20,000,000	NE	N	\$ -
	Cavanaugh	1957	Poor	59		(P)K-3	(P)K-3	\$ 20,000,000	SE	N	\$ -
	Forest View	1957	Fair	60		(P)K-3	(P)K-3	\$ 20,000,000	SE	N	\$ -
	Cumberland	1958	Poor	50		(P)K-3	(P)K-3	\$ 20,000,000	NW	N	\$ -
	Kendon	1958	Fair	60		(P)K-3	(P)K-3	\$ 20,000,000	SE	N	\$ -
	Reo	1963	Poor	58		(P)K-3	(P)K-3	\$ 20,000,000	SW	N	\$ -
	Woodcreek	1968	Fair	66		6-8	(P)K-8	\$ 25,500,000	SW	N	\$ -
Replacement Not Considered Not Proposed	Sexton	1941	Fair	—	\$	7/9-12	N/A	N/A	NW	N	\$ -
	Rich	1962	Adequate	—	\$\$	(P)K-8	N/A	N/A	SW	N	\$ -
	Averill	1964	Adequate	—	\$	(P)K-3	N/A	N/A	SW	N	\$ -
	Attwood	1965	Fair	—	\$	4-6	N/A	N/A	SE	N	\$ -
	Post Oak	1965	Adequate	—	\$	(P)K-8	N/A	N/A	NE	N	\$ -
	Beekman	1966	—	—		SE	N/A	N/A	SE	N	\$ -
	Gardner	1968	Fair	—		(P)K-8	N/A	N/A	SE	N	\$ -
	Wexford	1971	Adequate	—	\$	(P)K-5	N/A	N/A	SW	N	\$ -
	Riddle	1975	Adequate	—	\$	(P)K-3	N/A	N/A	NW	N	\$ -
	North	1975	Good	—	\$	4-6	N/A	N/A	SE	N	\$ -
	Pattengill	2018	Good	—	\$\$	(P)K-6	N/A	N/A	NE	N	\$ -
	Eastern	'07/'19	Good	—	\$\$	7/9-12	N/A	N/A	NE	N	\$ -
	Everett	'58/'21	Adequate	—	\$\$	7/9-12	N/A	N/A	SE	N	\$ -
			Classroom Adjustments Needed To Remain Operational During Construction					\$500,000	TBD	N/A	\$ 525,000
										Replacement Buildings SUBTOTAL	\$ 99,930,534

# Air Conditioning & Air Quality

	School	A/C Cost High	Add A/C?	A/C Cost (High) - With Escalataion
Classroom A/C Proposed	Lyons	\$ 850,000	Y	\$ 1,033,180
	Attwood	\$ 1,500,000	Y	\$ 1,575,000
	Averill	\$ 1,500,000	Y	\$ 1,575,000
	Cavanaugh	\$ 1,250,000	Y	\$ 1,378,125
	Cumberland	\$ 1,100,000	Y	\$ 1,403,910
	Everett	\$ 2,500,000	Y	\$ 2,894,063
	Forest View	\$ 1,100,000	Y	\$ 1,403,910
	Gier Park	\$ 1,200,000	Y	\$ 1,531,538
	Kendon	\$ 1,300,000	Y	\$ 1,433,250
	Post Oak	\$ 1,800,000	Y	\$ 1,984,500
	Reo	\$ 1,200,000	Y	\$ 1,458,608
	Rich	\$ 1,250,000	Y	\$ 1,447,031
	Sexton*	\$ 5,000,000	Y	\$ -
Building Replacement (Includes A/C) Proposed	Mt. Hope	\$ 4,400,000	N	\$ -
	Lewton	\$ 3,700,000	N	\$ -
	Sheridan	\$ 1,500,000	N	\$ -
	Willow	\$ 3,300,000	N	\$ -
Classroom A/C Already Present Not Proposed	Riddle	\$ -	N	\$ -
	Beekman	\$ -	N	\$ -
	Eastern	\$ -	N	\$ -
	Gardner	\$ -	N	\$ -
	North	\$ -	N	\$ -
	Pattengill	\$ -	N	\$ -
	Wexford	\$ -	N	\$ -
	Woodcreek	\$ -	N	\$ -
*Note Sexton A/C Cost Included in "Total Sexton Investments"			A/C SUBTOTAL	\$ 19,118,114

		Cost (High)	Include?	Cost (High & Esc.)
Sexton Investments Proposed	Auditorium Renovation	\$ 1,875,000	Y	\$ 2,170,547
	Finishes (Ceilings, Window Shades, Paint, etc.)	\$ 2,250,000	Y	\$ 2,604,656
	Athletic Improvements	\$ 250,000	Y	\$ 289,406
	Clock	\$ 75,000	Y	\$ 86,822
	Air Conditioning	\$ 5,000,000	Y	\$ 5,788,125
			<b>Sexton Investments SUBTOTAL</b>	<b>\$ 10,939,556</b>



# Recommended Scope

Grand Totals With Escalation	
Replacement Buildings	\$ 99,930,534
A/C*	\$ 19,118,114
Total Sexton Investments*	\$ 10,939,556
	\$ 129,988,205
*Proposed A/C investments for Sexton are included in the "Sexton Investments" total, not in the "A/C" total	

## NEXT STEPS

- Board Considers Bond Committee Recommendations: Tonight
- Treasury Application Prepared: December 2021
- Board Considers Treasury Application: Early January 2022
- Board Considers Bond Proposal for Ballot: February 2022
- Community Outreach Campaign: February - May 2022
- Election: May 3, 2022

# BACKUP SLIDES

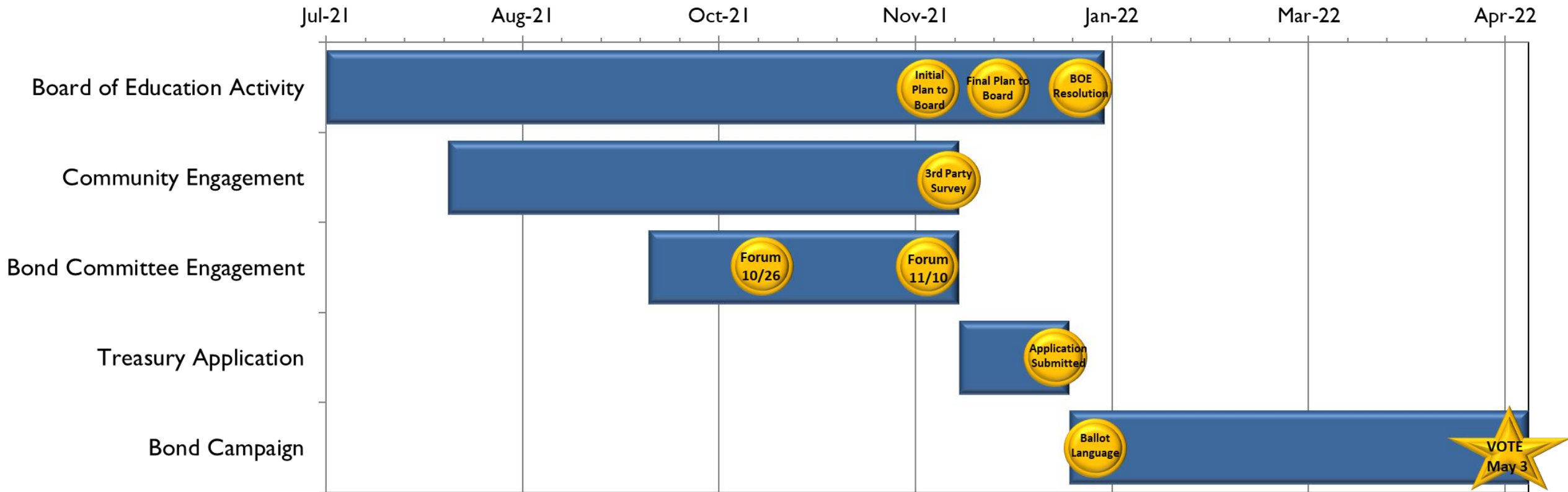


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	Attwood	1965	Fair	\$	4-6	N/A	N/A	SE	N	\$ -
	Post Oak	1965	Adequate	\$	(P)K-8	N/A	N/A	NE	N	\$ -
	Beekman	1966	---		SE	N/A	N/A	SE	N	\$ -
	Gardner	1968	Fair		(P)K-8	N/A	N/A	SE	N	\$ -
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	North	\$ -	N	\$ -
	Pattengill	\$ -	N	\$ -
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Grand Totals With Escalation	
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# Key Milestones At-a-Glance

# Building Evaluation Mt. Hope

## Building Evaluation - Existing vs. Ideal

Aug 27, 2021

**Mt. Hope Elementary School**

**Grades: 4-6**

**Student Capacity: 290**

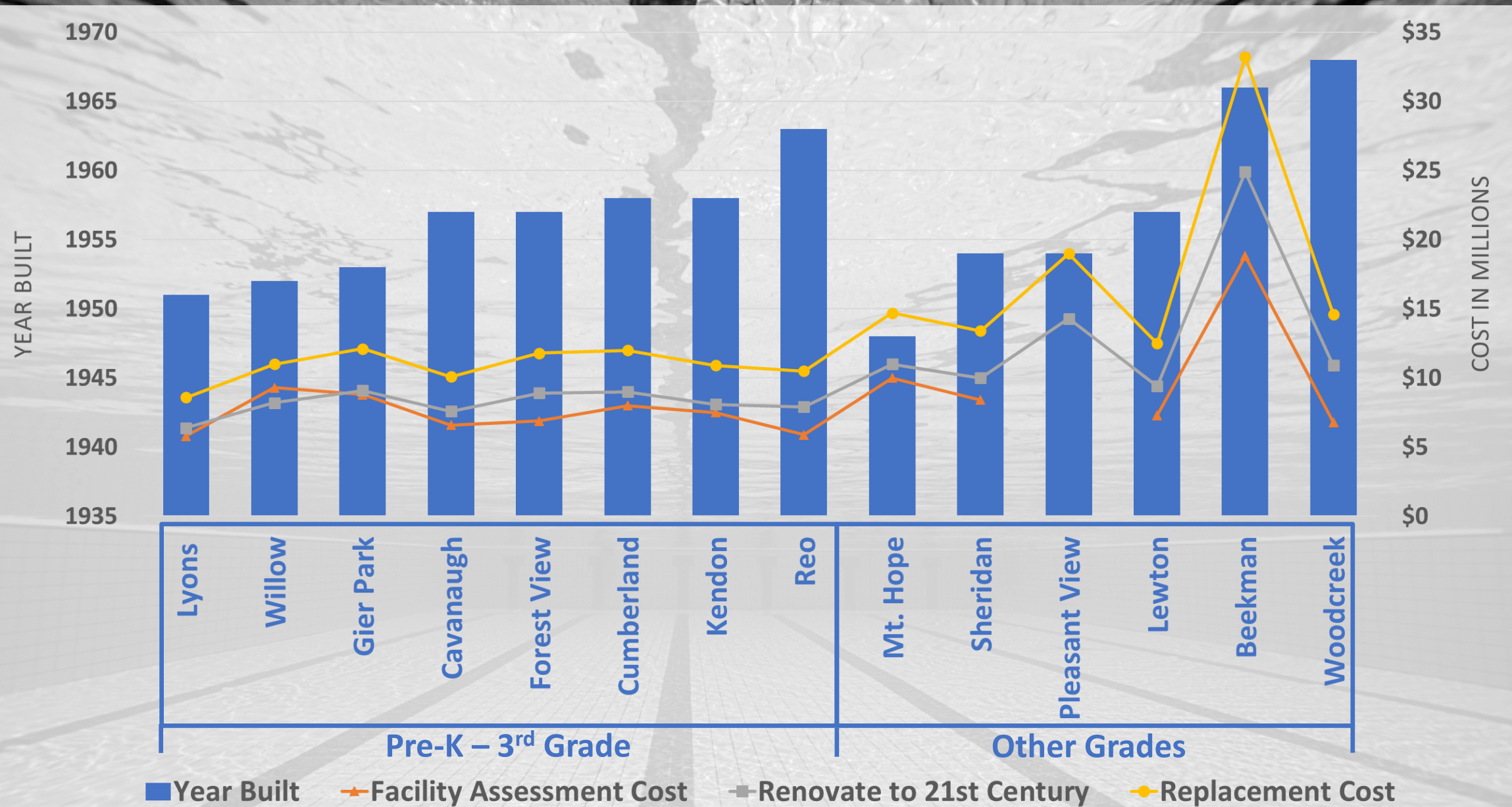
Year Built: 1948		Size (sf): 43,954	Site Size (acres): 4.4	
	Criteria	Score	Comments	
<b>SC</b>	<b>Site Condition and Adequacy</b>			
SC1	Separation of Cars, Buses, and Pedestrians	1	Poor separation; drop-off mostly on street	
SC2	Parking, Paving, Sidewalks	2	Replace some paving & walks; add more parking	
SC3	Playgrounds / Playfields / Athletic Fields	3	Hard surface & some equipment needs replacing	
SC4	Landscaping, Fencing, Lighting, Signage	3	Could be updated; improve storm drain	
<b>BE</b>	<b>Building Exterior Envelope</b>			
BE1	Roof	3		
BE2	Walls, Doors, and Windows	1	Brick falling off; replace windows and doors	
BE3	Canopies or Covered Areas	2	Repair/refinish	
<b>BI</b>	<b>Building Interior</b>			
BI1	Secure Entry and Welcome Center	1	No Secured Vestibule; not accessible	
BI2	Walls, Flooring, and Ceilings	1	Flooring & ceilings need replacing	
BI3	Corridors	2	Ceilings & lighting need replacing	
BI4	Instructional Spaces Adequate for Program	3		
BI5	Natural Light	2	Minimal; glass block paneled over	
BI6	Toilet Rooms	2	Not fully accessible	
BI7	Life Safety; ADA	1	Stairways not enclosed; need elevator	
<b>HV</b>	<b>Heating, Ventilation, and AC</b>			
HV1	Boilers	1	Steam heat; pneumatic controls	
HV2	Classroom Units	1	Beyond useful life; poor ventilation	
<b>PL</b>	<b>Plumbing</b>			
PL1	Fixtures, Drains	1	Beyond useful life	
<b>EL</b>	<b>Electrical</b>			
EL1	Power	1	Service & panels outdated; lack of outlets	
EL2	Lighting, PA, Clock, AV, Technology	1	PA, clock outdated; Lighting inefficient	
EL3	Fire Alarm	1	Not up to code	
	<b>Total Score</b>	<b>33</b>		
	<b>Max Score</b>	<b>80</b>		
	<b>Percent (Total Score to Max Score)</b>	<b>41%</b>		

LEGEND		
1	Below Most Standards/ Major Upgrades Needed	Poor: 0% - 59%
2	Below Some Standards/ Upgrades Needed	Fair: 60%-70%
3	Adequate/Some Improvements May Be Needed	Adequate: 71 - 85%
4	Meets or Exceeds Standards	Good: 86% - 100%



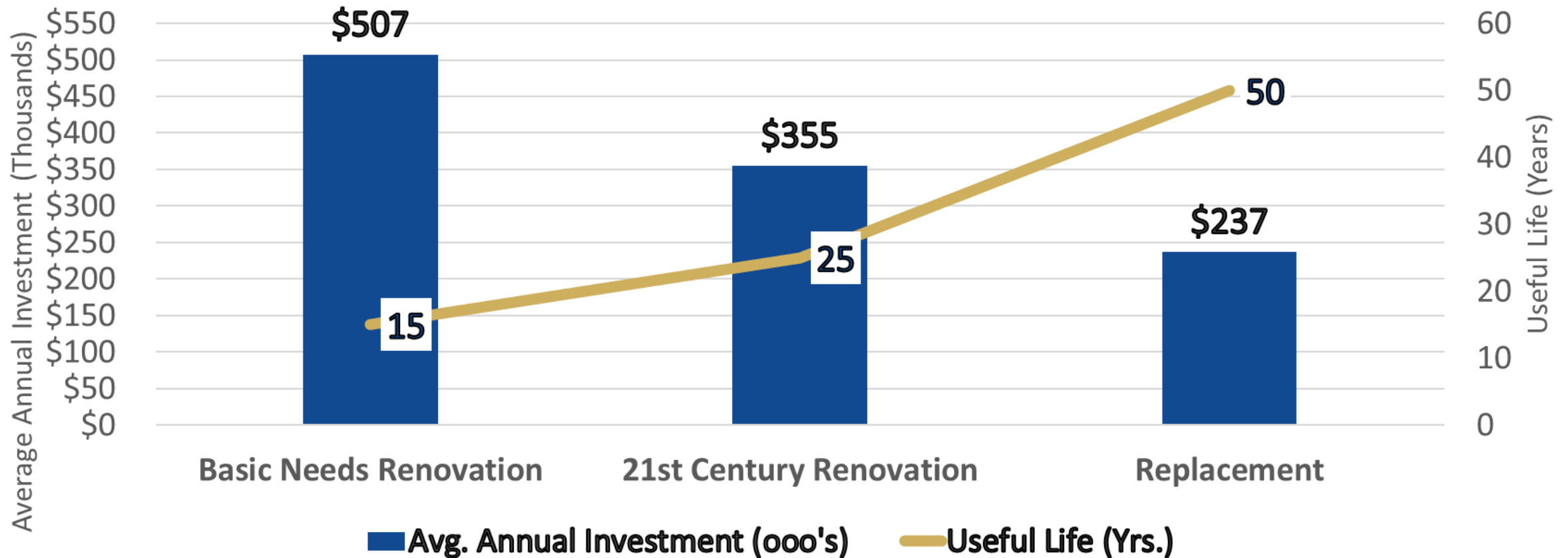
# Building Programming

PK-3	<ul style="list-style-type: none"><li>• 3 Sections + Extra CR (13 CR Total - Not Including PK)</li><li>• Min. Capacity: 275 Students (Not Including PK)</li><li>• Could Convert in Future to PK-8 School (Add 3-4 CR's)</li><li>• Gym &amp; Cafeteria Combine for Basketball</li><li>• Approximately 55,400 SF</li><li>• Approximately \$19M-\$20M Bond Cost</li></ul>
4-8	<ul style="list-style-type: none"><li>• 3 Sections + Extra CR (16 CR Total)</li><li>• Min. Capacity: 375 Students</li><li>• Could Convert in Future to PK-8 School (add 4 PK/K CR's)</li><li>• Gym for Basketball</li><li>• Approximately 58,600 SF</li><li>• Approximately \$20M-\$21M Bond Cost</li></ul>
PK-8	<ul style="list-style-type: none"><li>• 2 Sections + Extra CR (19 CR Total not incl. PK)</li><li>• Min. Capacity: 428 Students (not incl. PK)</li><li>• Could Convert in Future to PK-3 or 4th-8th School</li><li>• Gym for Basketball</li><li>• Approximately 71,100 SF</li><li>• Approximately \$24.5M-\$25.5M Bond Cost</li></ul>



*Gardner (K-8) built in 1968, has a much higher replacement cost of \$68.3M, facility assessment and 21<sup>st</sup> century renovation costs are \$26M and \$51.2M, respectively.*

# Investment Level & Useful Life Return





## OUR PATH TO SUCCESS

- Meeting #1 – Kick Off (9/21)
- Meeting #2 – Deep Dive on “As-Is” and Big Picture “To-Be” Vision (10/5)
- Meeting #3 – Criteria for Investment Decisions (10/19)
- Meeting #4 – Initial Priority Buildings Established (11/2)
- Meeting #5 – Finalize Priority Buildings (11/16)
- Meeting #6 – Prepare for Presentation to BOE (11/23)

# Priorities for Investment

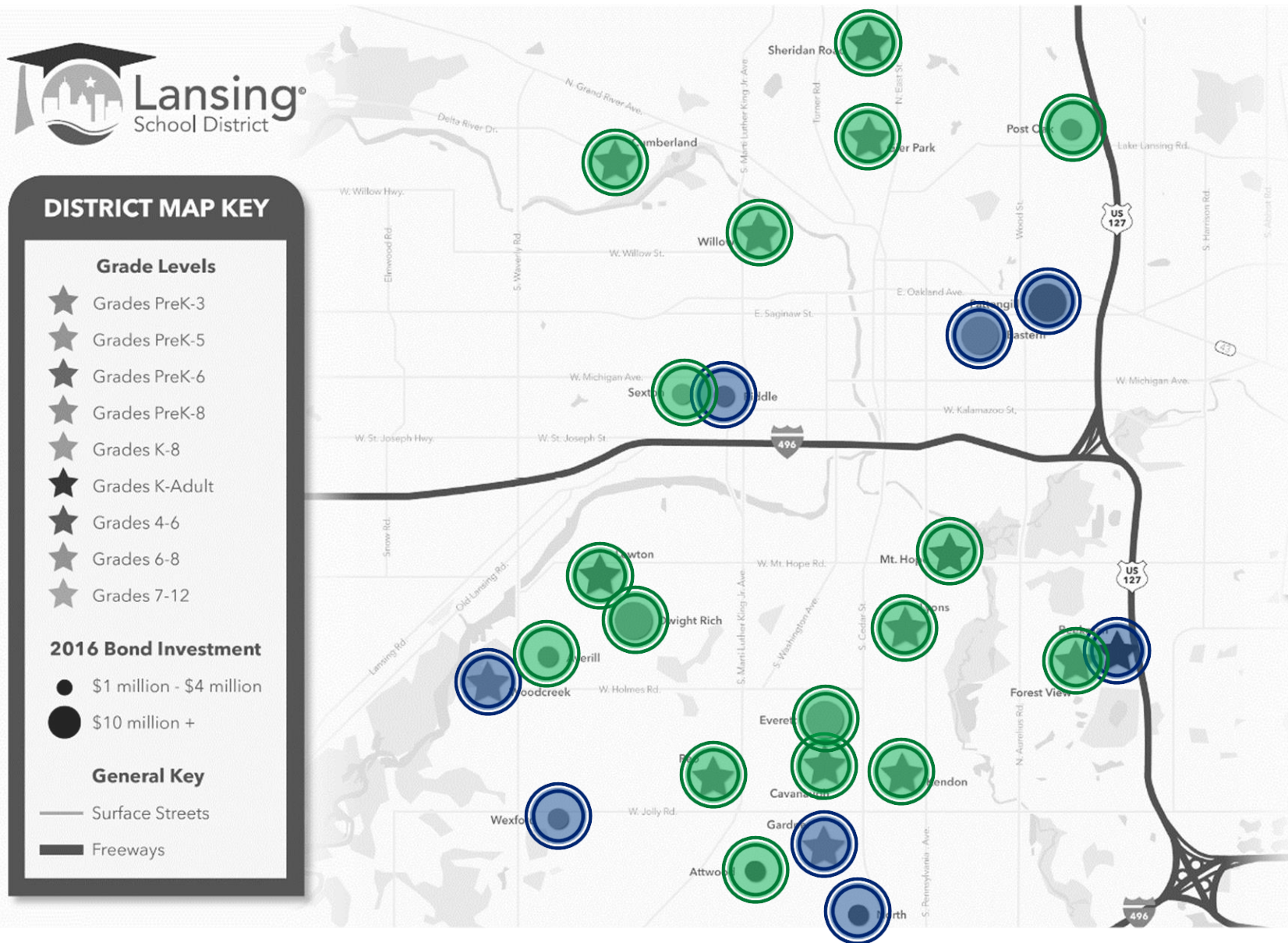
- Maximizing Investments
- Flexibility for the Long-Run
- Leading-Edge/Innovation
- Comfortable & Engaging Environments
- Sustainable & Energy Efficient
- Shared Community Spaces
- Athletics, Health & Wellness

# Replacement Criteria

- Realizing Big-Picture Vision
- Age
- Condition
- Location
- Site Layout/Opportunities



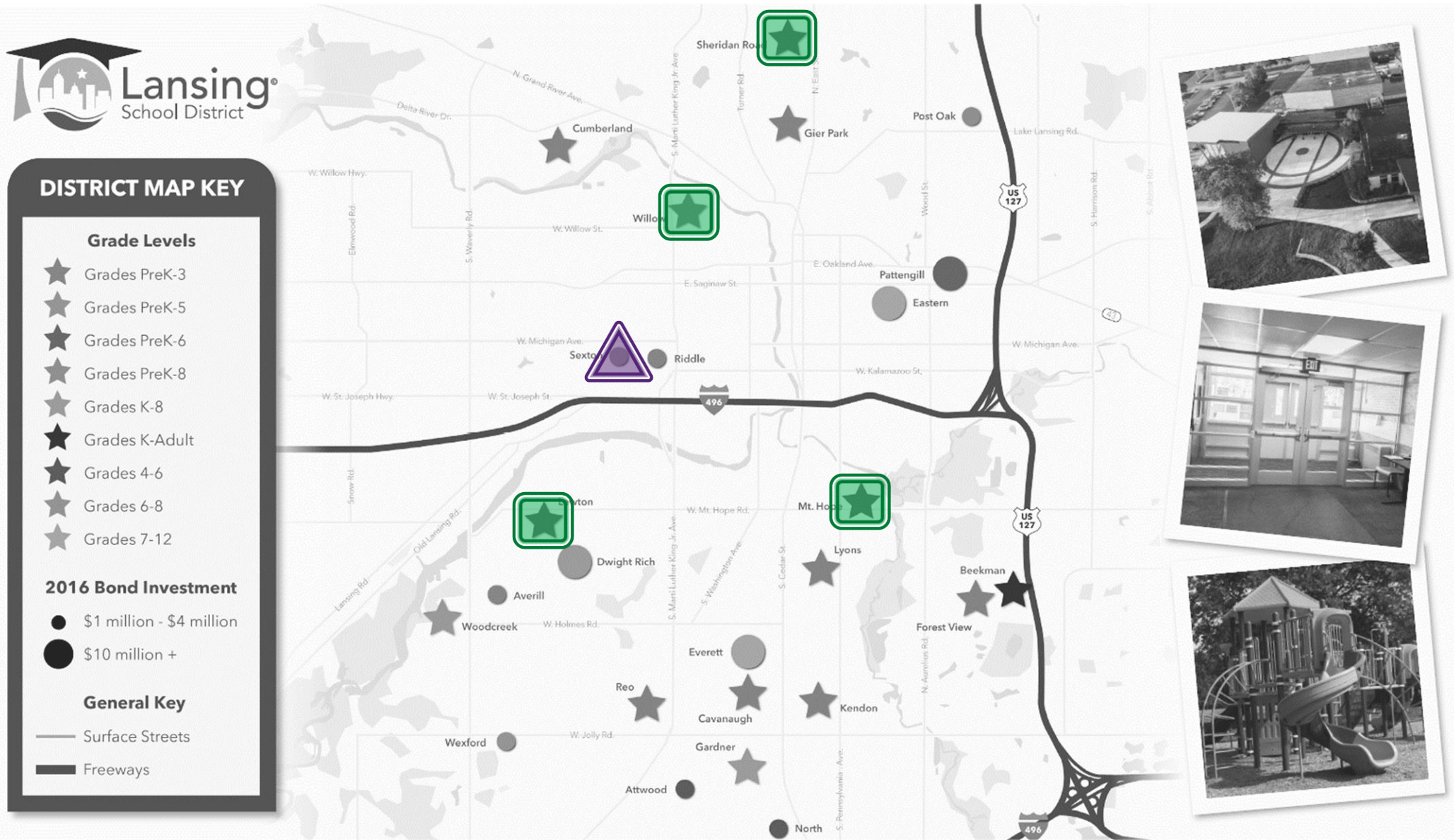
# District Map of Future Bond Investments



\*Note: A/C included in scope for replacement buildings



# District Map of Future Bond Investments





## COMMUNITY INPUT HIGHLIGHTS

- Support for Plan Priorities
- Question Highlights
  - BIG PICTURE STRATEGY FOR INFRASTRUCTURE
  - COVID PLANNING
  - PATHWAY PROMISE
  - FOCUS ON DEI/MENTAL HEALTH
  - SAFETY INVESTMENTS