

# LSD Averill Addendum No. 1

## Narrative of Changes

<b>Project Name:</b>	Averill Elementary Renovation SO-1847	<b>Date:</b>	December 4, 2025
<b>Project Location:</b>	3201 Averill Dr Lansing, MI 48911	<b>Architect's Project #:</b>	25013568A
<b>Owner/Client:</b>	Lansing School District	<b>Attention:</b>	David Beckering
<b>Issued to:</b>	Beckering Construction	<b>Email:</b>	djb@beckering.com
<b>City/State:</b>	Grand Rapids, MI	<b>Zip:</b>	49548

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**This Addendum revises the Contract Documents and shall have the same force and effect; make the following changes to the Specifications and Drawings for this project. The following is a written summary of the changes made by this Addendum. Strict attention should be given to the Drawings and Specifications for area take-off, quantities and items deleted or revised herein. This addendum forms a part of the Contract Documents.**

<b>Issued by CED by:</b>	Courtney Norris	<b>Date Signed:</b>	12/4/2025
<b>Prepared by:</b>	Courtney Norris	<b>Date Signed:</b>	12/4/2025
<b>Distribution:</b>	Refer to Newforma transmittal.		

Below is a list of the changes made to our documents in response to the comments, RFIs, or clarifications provided prior to Bid. Please feel free to reach out with any further questions or clarifications in a timely manner.

Sincerely,  
Courtney Norris

## General Notes/ Clarifications

- In issued Clarification 2, it states that new thermostats are to be supplied by Division 'G' this is a mistake. The existing thermostats are to be relocated by electrical contractor. There are no new thermostats.
- See sketch "A" for snippet of 1963 existing drawings. It is unknown what the existing supports are for the existing plaster ceiling in the vestibule. We suggest that a small piece of the existing ceiling be removed prior to full removal for better understanding of existing conditions. For bidding purposes, assume that the plaster board is attached to metal furring that is attached to the steel joists.

## Drawings

- Revised concrete hatching, refer to bubbled area on sheet AD010.
- Added additional concrete removal at sidewalk refer to bubbled area on sheet AD010 and keynote 7.
- Added additional concrete at sidewalk refer to bubbled area on sheet A010 and keynote 13.
- Composite fencing to be Trex Horizons, color woodland brown. Installed horizontally. Refer to sheet A011.
- Added keynote 20 to provide wood blocking for future upper cabinets in wall. See bubbled areas on sheet A101.
- Added specification for CPT-1 on sheet A141.
- Added dimensions to section 4/A301 for clarification.
- Added note 11 to include demo of existing receptacles on columns to be removed. Refer to sheet ED100.

## ATTACHMENTS

Sketch "A"

Reissued Drawings:

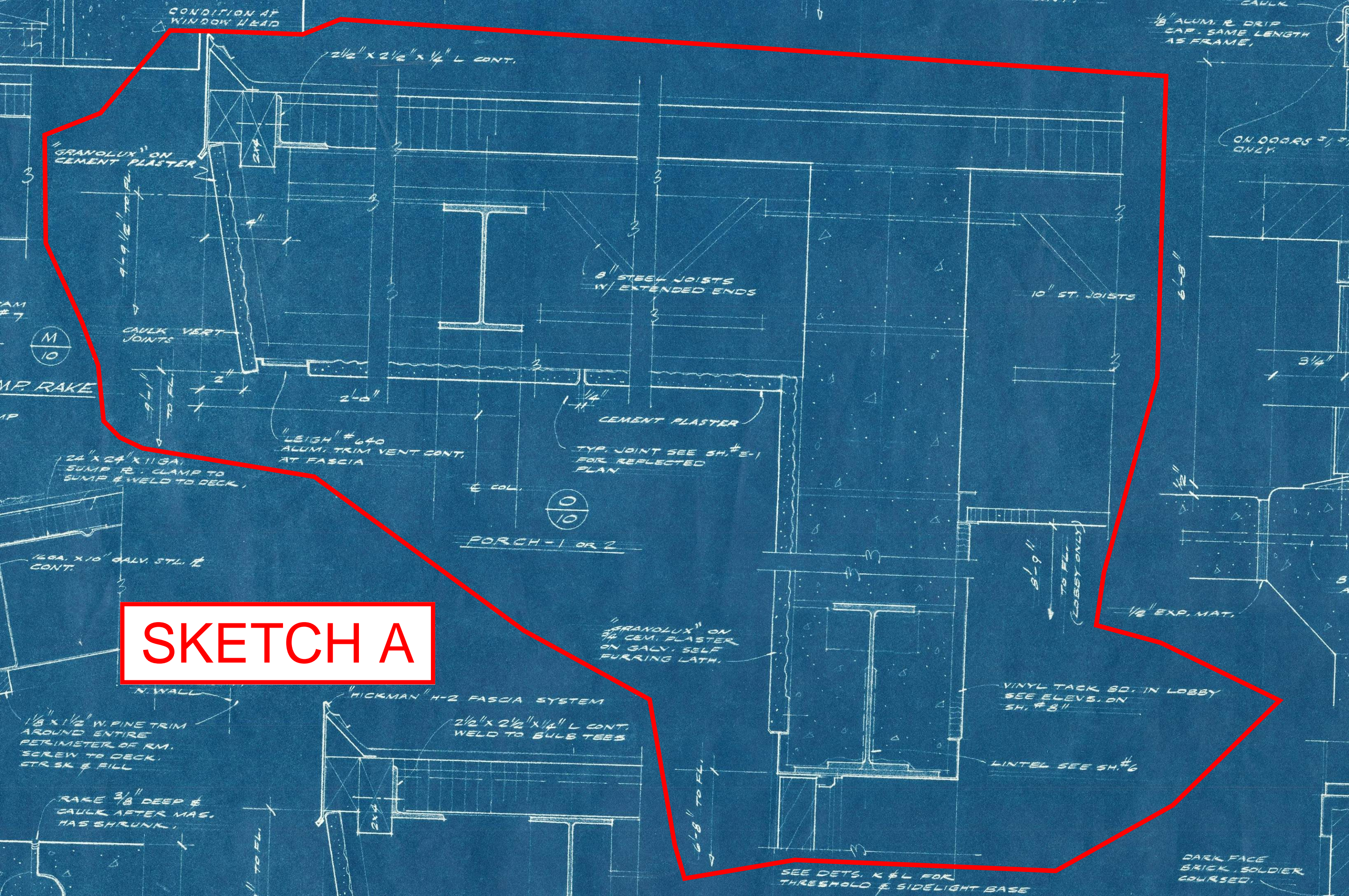
AD010, A010, A011, A101, A141, A301, ED100

Clarifications 1, 2, 3, 4

**END OF ADDENDUM NO. 1**



SKETCH A





KEYNOTES

- 1

2" ASPHALT MILL AND OVERLAY
- 2

REMOVE EXISTING CONCRETE PAD AND SUBGRADE. PREP FOR NEW SUBGRADE AND ASPHALT.
- 3

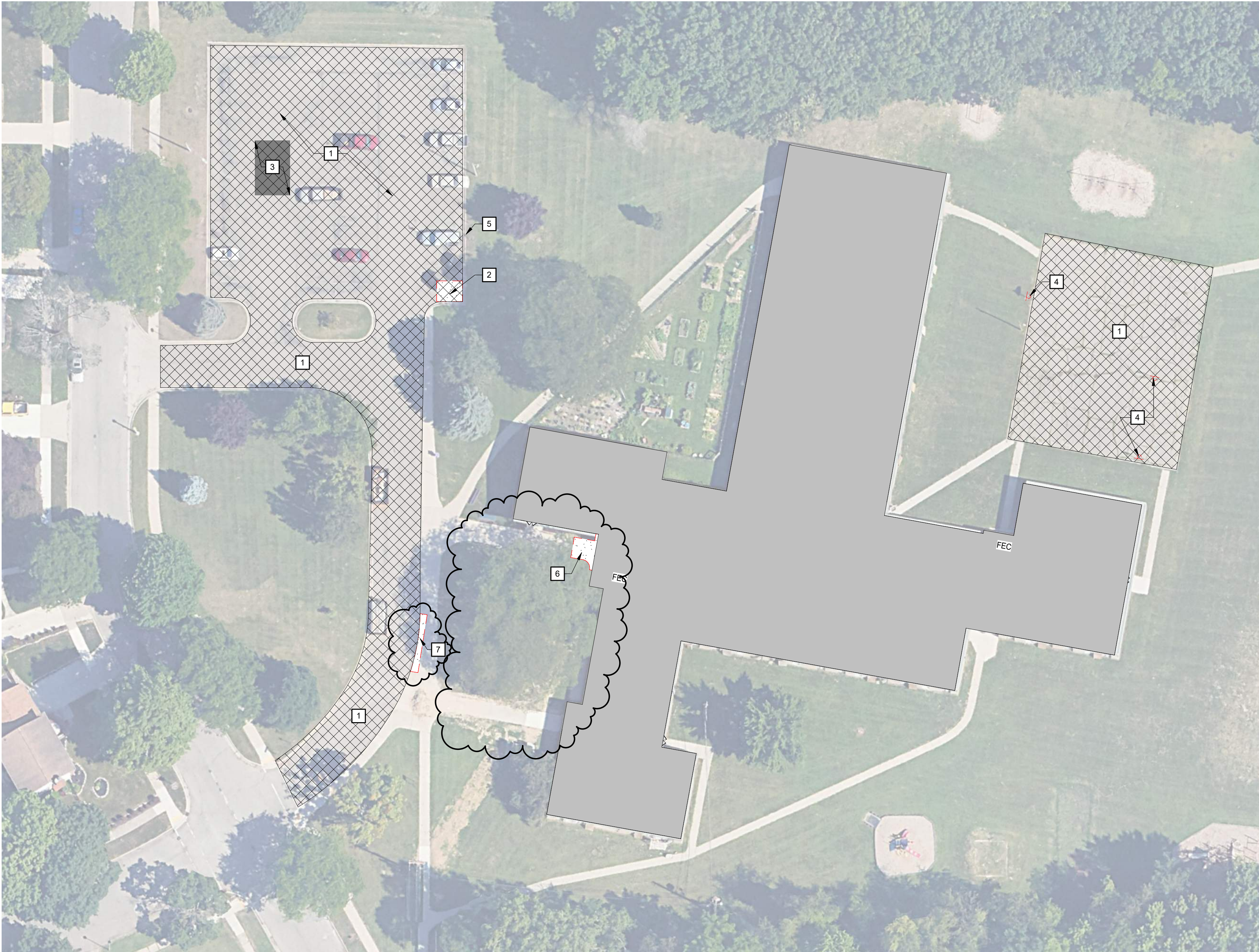
AREA OF EXISTING ASPHALT TO BE REMOVED (APPROX 500SF) , REPLACED W/ LIKE MATERIAL. UNDERCUT AND COMPACT TO STABILIZE SUBGRADE AND ADD ADDITIONAL COMPACTED BASE STONE AS NEEDED TO RAISE AREA BACK TO ORIGINAL GRADE.
- 4

REMOVE EXISTING BASKETBALL HOOPS, POLES AND FOUNDATIONS.
- 5

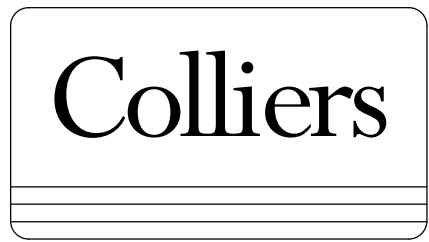
REMOVE EXISTING ADA PARKING SIGN.
- 6

REMOVE EXISTING CONCRETE PAD AND SUBGRADE. PREP FOR NEW SUBGRADE AND CONCRETE. REFER TO ARCHITECTURAL FLOOR PLANS AND SECTIONS FOR MORE DETAIL.
- 7

REMOVE PORTION OF EXISTING TURN DOWN CONCRETE SIDEWALK AND SUBGRADE. PREP FOR NEW SUBGRADE AND CONCRETE. EXISTING CONCRETE SIDEWALK IS SETTLING REMOVE BACK TO NEAREST CONTROL JOINT. APPROXIMATELY 3'-6" x 30'-0".



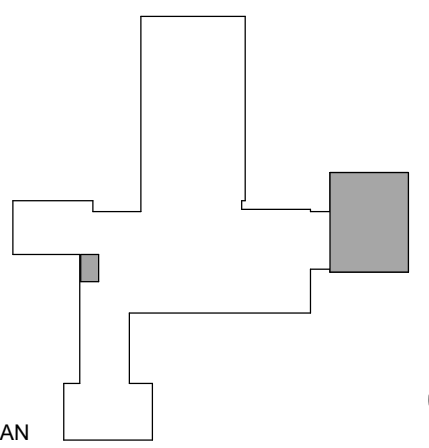
1 DEMO SITE PLAN  
SCALE : 1" = 30'-0"



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REV	DATE	DESCRIPTION
1	11/14/2025	BIDS & PERMITS
2	12/04/2025	ADDENDUM #1

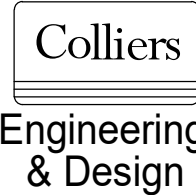


LANSING SCHOOL DISTRICT

AVERILL ELEMENTARY RENOVATION SO-1847

3201 AVERILL DR  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605



GRAND RAPIDS  
560 5th St. NW  
Suite 305  
Grand Rapids, MI 49504  
Phone: 616.827.4270

Colliers Engineering & Design,  
Architecture, Landscape Architecture,  
Surveying, CT P.C.

PROJECT MANAGER:	DISCIPLINE LEAD:
B. HUYLER	C. NORRIS
DESIGNER:	REVIEWER:
C. NORRIS	B. HUYLER
DATE ISSUED:	PROJECT NUMBER:
11/14/2025	25013568A

SHEET NAME:

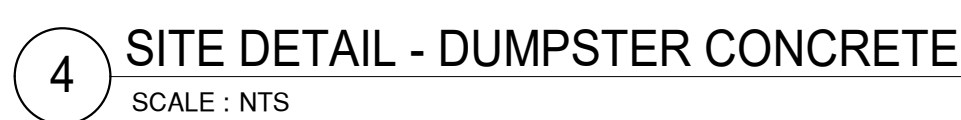
SITE DEMO PLAN

DRAWING NUMBER:

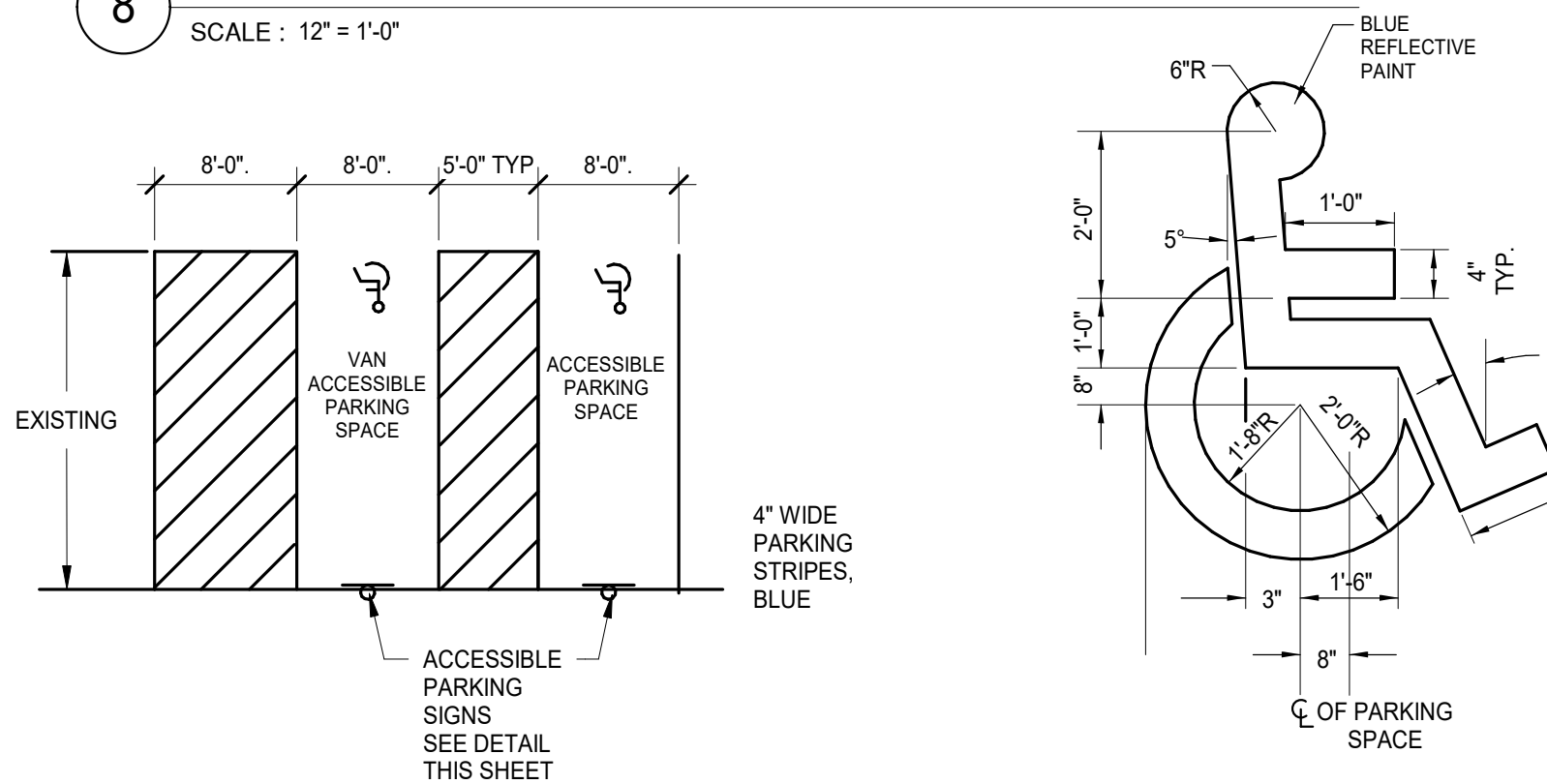
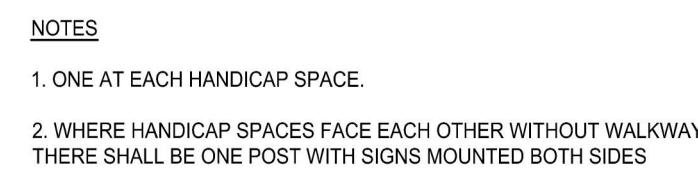
AD010

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.





- 11 FOLLOW TYPICAL SPACING WITH 4" WHITE LINES AFTER 2 ADA  
PARKING SPOTS.
- 12 NEW PEDESTRIAN PAINT LINES TO MATCH EXISTING.
- 13 NEW SUBGRADE AND CONCRETE, TURN DOWN SLAB WITH REBAR  
TO MATCH EXISTING. CONCRETE SECTION REFER TO DETAIL  
3/A/10. CONTRACTOR RESPONSIBLE TO REPAIR ASPHALT AND  
SUBBASE AS REQUIRED FOR NEW SIDEWALK REPAIR.



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2	12/04/2025	ADDENDUM #1

**LANSING SCHOOL  
DISTRICT**

**AVERILL ELEMENTARY  
RENOVATION SO-1847**

3201 AVERILL DR  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605

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PROJECT MANAGER:	DISCIPLINE LEAD:
B. HUYLER	C. NORRIS
DESIGNER:	REVIEWER:
C. NORRIS	B. HUYLER
DATE ISSUED:	PROJECT NUMBER:
11/14/2025	25013568A
SHEET NAME:	

SITE

DRAWING NUMBER:  
**A010**



REV	DATE	DESCRIPTION
1	11/14/2025	BIDS & PERMITS
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LANSING SCHOOL  
DISTRICTAVERILL ELEMENTARY  
RENOVATION SO-18473201 AVERILL DR  
LANSING, MI 48911MI ARCHITECTURE  
FIRM LICENSE # NLP000605

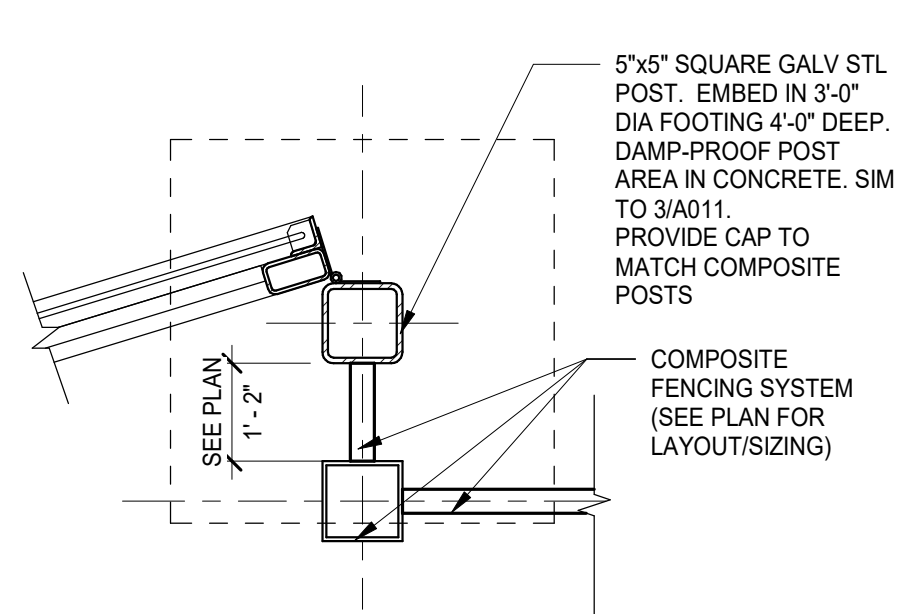
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B. HUYLER	C. NORRIS
DESIGNER:	REVIEWER:
C. NORRIS	B. HUYLER
DATE ISSUED:	PROJECT NUMBER:
11/14/2025	25013568A
SHEET NAME:	

## SITE DETAILS

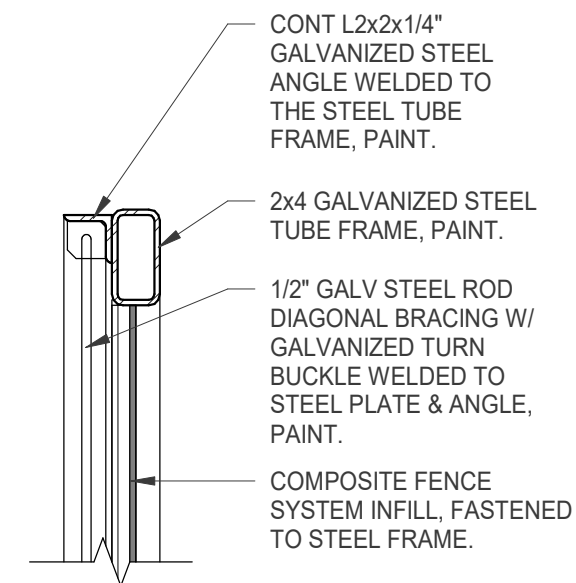
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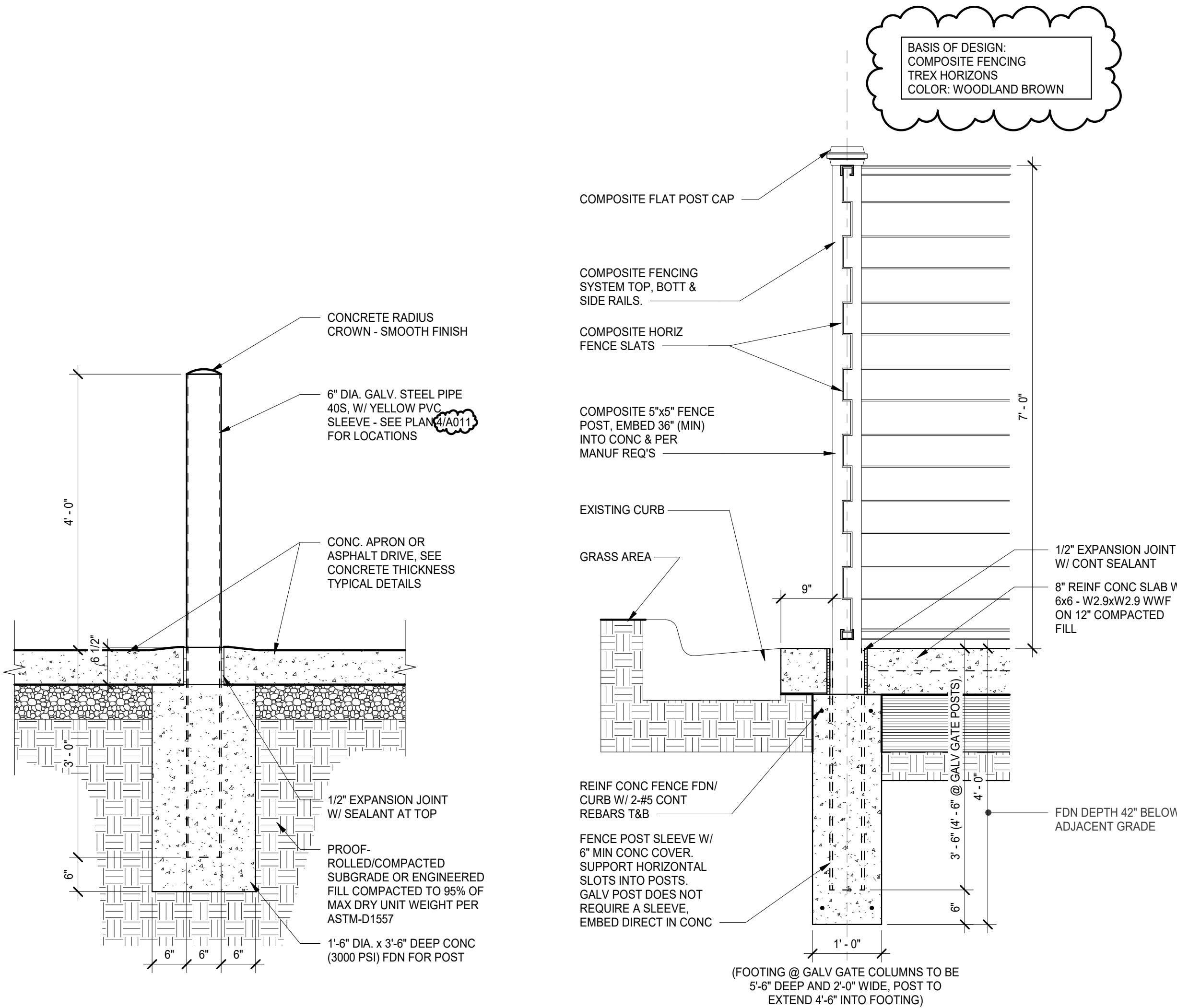
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

DUMPSTER ENCLOSURE  
GATE POST PLAN DETAIL

SCALE : 1" = 1'-0"

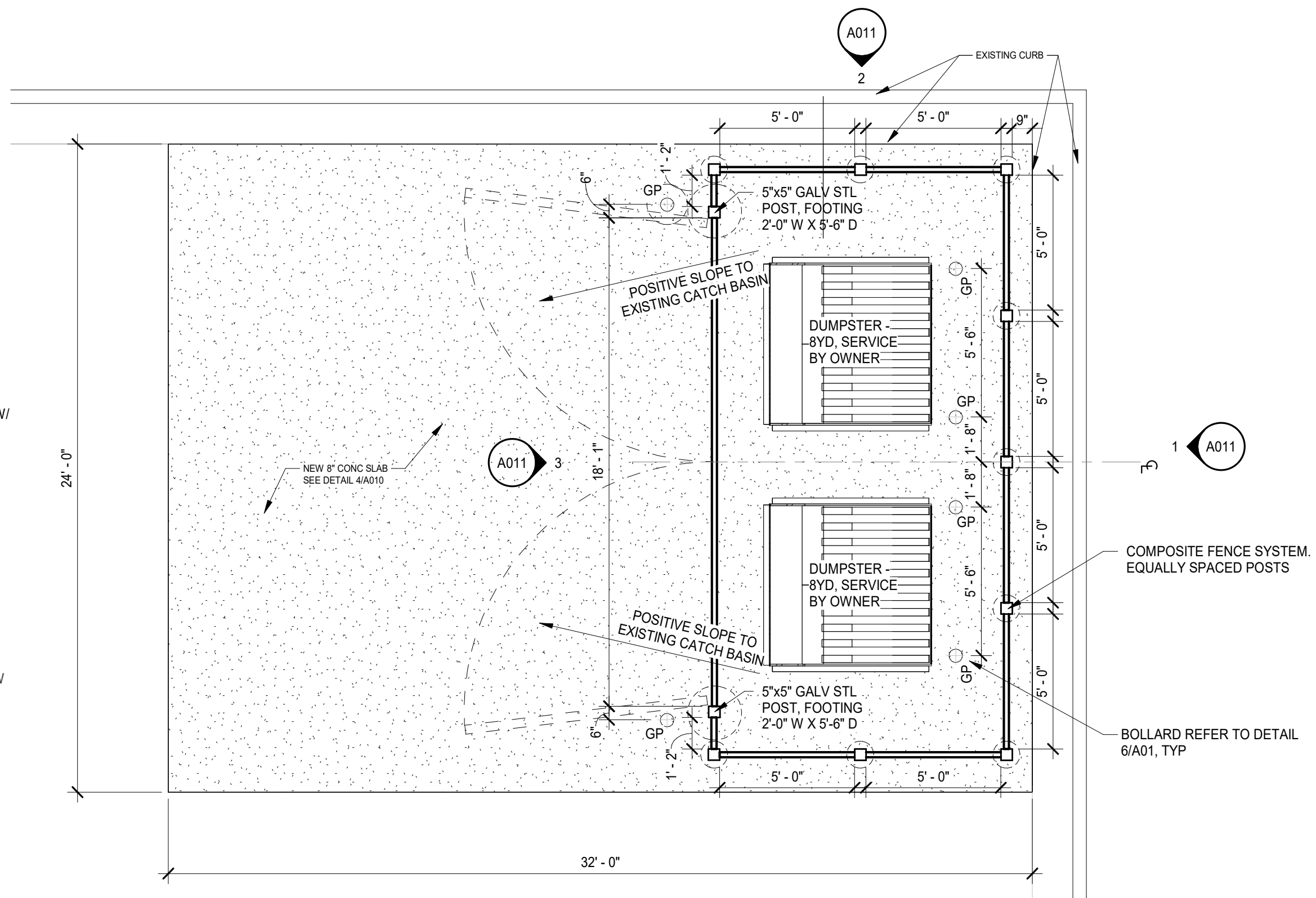
DUMPSTER ENCLOSURE  
GATE TOP RAIL DETAIL

SCALE : 1 1/2" = 1'-0"



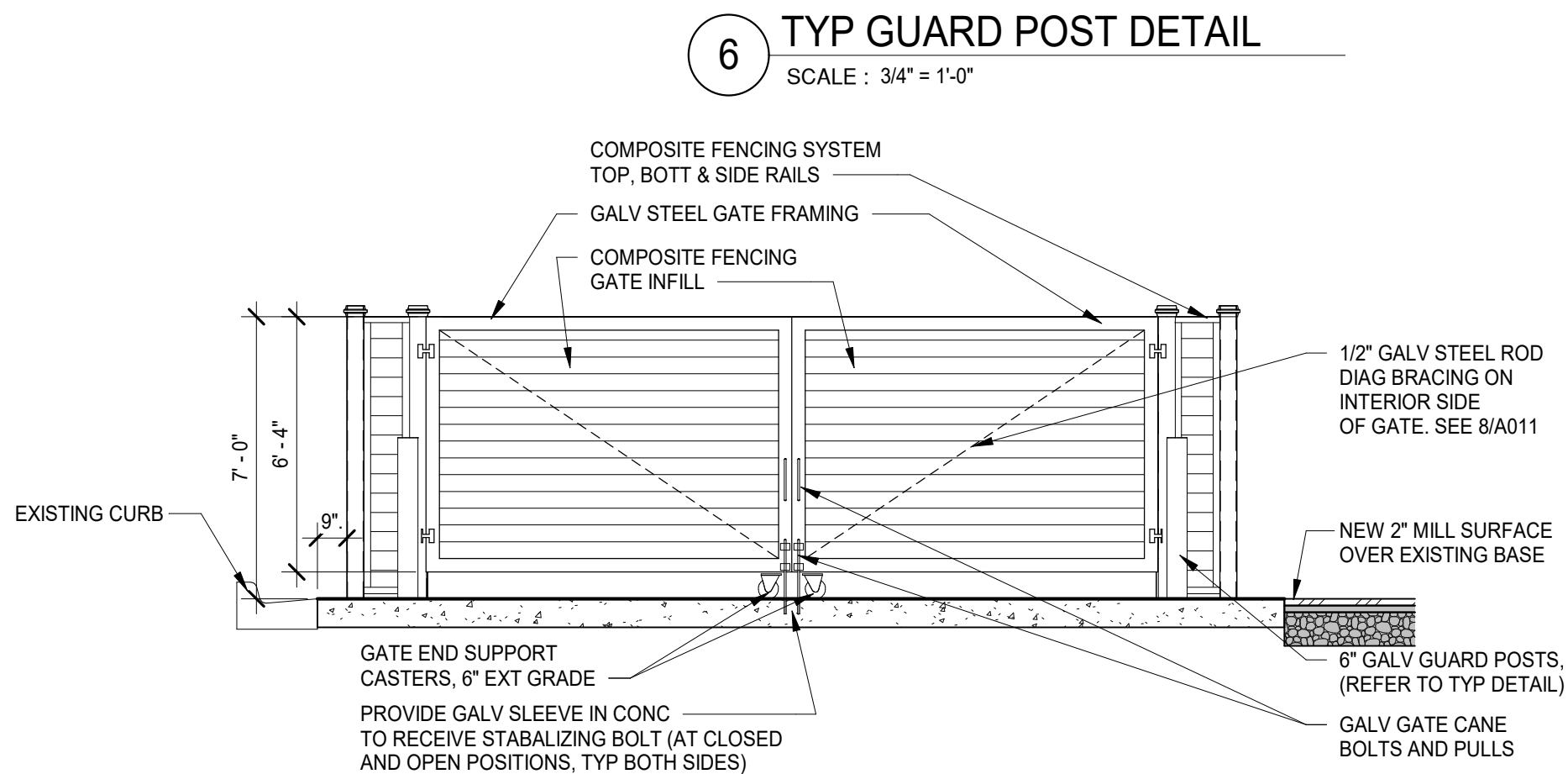
DUMPSTER ENCLOSURE SECTION, TYP

SCALE : 3/4" = 1'-0"



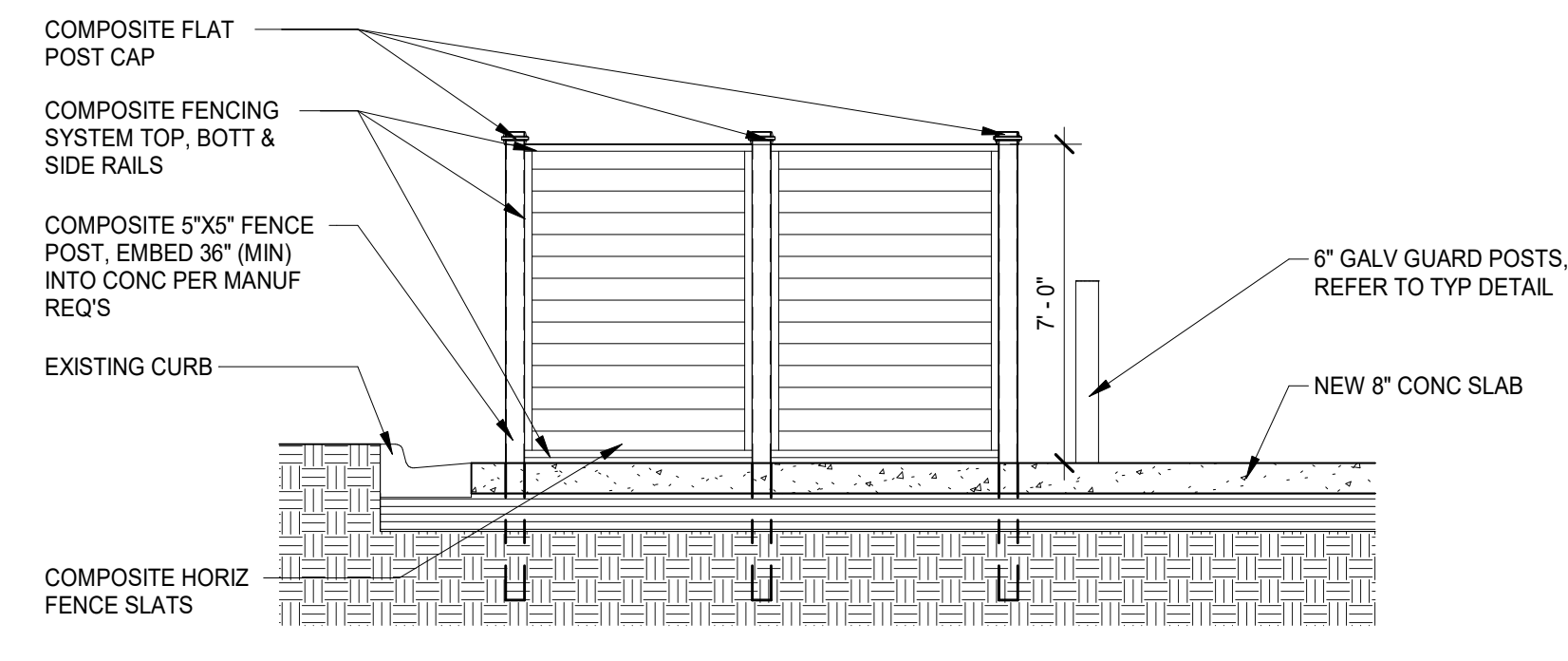
DUMPSTER ENCLOSURE ENLARGED PLAN

SCALE : 1/4" = 1'-0"



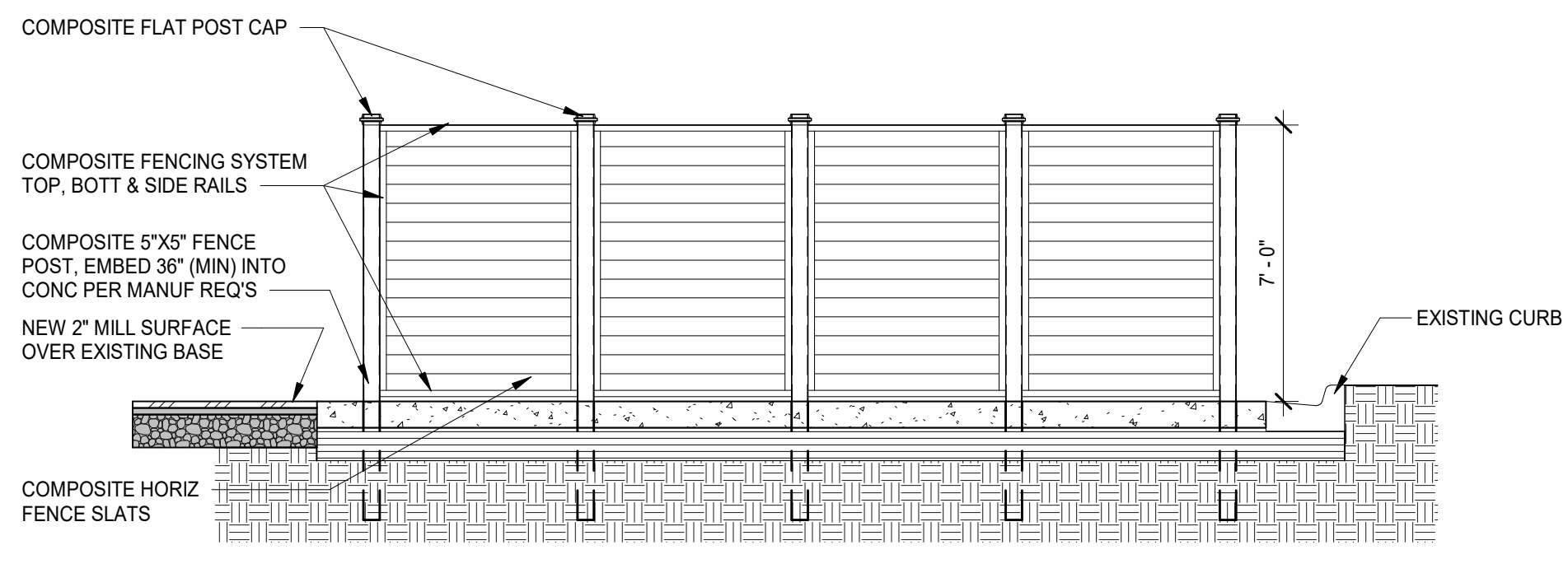
DUMPSTER GATE ELEVATION

SCALE : 1/4" = 1'-0"



DUMPSTER ENCLOSURE EL NORTH

SCALE : 1/4" = 1'-0"



DUMPSTER ENCLOSURE EL EAST

SCALE : 1/4" = 1'-0"

TYP GUARD POST DETAIL

SCALE : 3/4" = 1'-0"







BASIS OF DESIGN	
09 51 13 ACOUSTIC PANEL CEILINGS	
<b>ACT-1</b> MATCH EXISTING OR	
MANUFACTURER:	ARMSTRONG
STYLE:	SCHOOL ZONE FINE FISSURED SQUARE LAY-IN
SIZE:	24" X 24"
COLOR:	WHITE
GRID:	15/16" PRELUDE - WHITE
PERIMETER TRIM:	AXIOM TRIM - WHITE

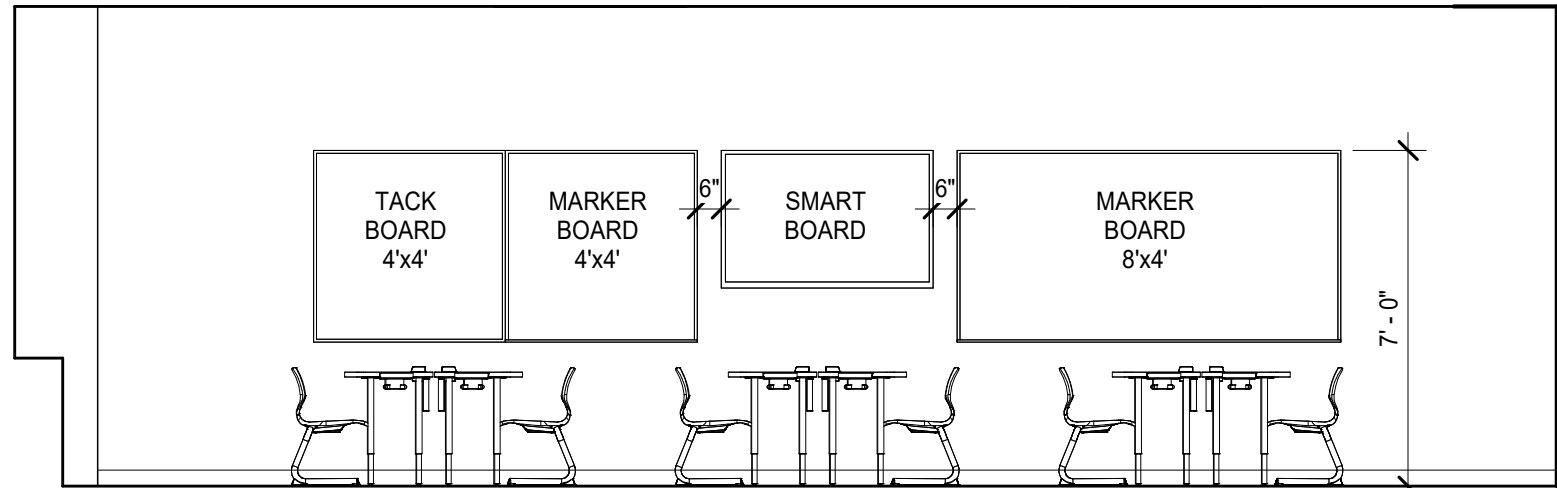
09 65 13 RESILIENT BASE AND ACCESSORIES	
<b>RB-1</b>	
SIZE:	4" COVE
COLOR:	MATCH EXISTING

09 68 13 TILE CARPETING	
<b>WOF-1</b> MANUFACTURER: MILLIKEN STYLE: OBEX TILE CUT / GRAIN SIZE: 9'64" X 39.37" INSTALL: ASHLAR	
<b>CPT-1</b> MANUFACTURER: TARKETT STYLE: 2ND POWER II 11648 COLOR: COOL WATER 71620 SIZE: 24"x24" INSTALL: MATCH EXISTING	

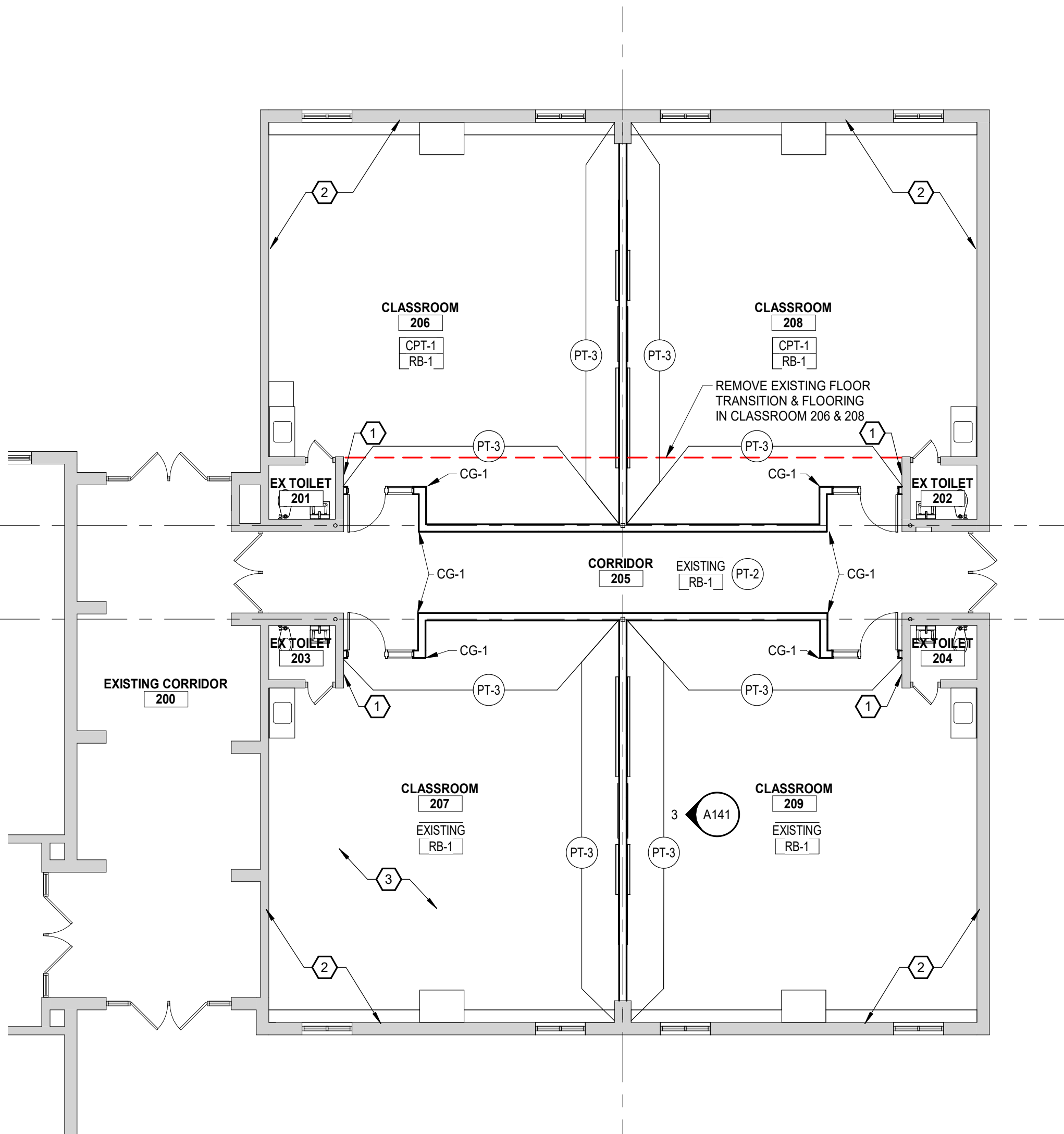
09 91 23 INTERIOR PAINTING	
<b>PT-1</b>	
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	MATCH EXISTING SOFIT COLOR
FINISH:	MATCH EXISTING
LOCATION:	GYP CEILING/ EXISTING CEMENT PLASTER
<b>PT-2</b>	
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	MATCH EXISTING
FINISH:	SEMI-GLOSS
LOCATION:	CORRIDOR
<b>PT-3</b>	
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	MATCH EXISTING
FINISH:	EGGSHELL
LOCATION:	CLASSROOM COLOR

10 26 00 WALL AND DOOR PROTECTION	
<b>CG-1</b>	
MANUFACTURER:	SURFACE MOUNT CORNER GUARD:
COLLECTION:	FULL HEIGHT 8"H, 2" WING, 90 DEGREE
STYLE:	INPRO
COLOR:	SURFACE MOUNT CORNER GUARD
LOCATION:	2" LEG, 160BN BLUNOSE HIGH IMPACT
	TBD FROM STANDARD COLORS
	REFER TO FINISH PLAN

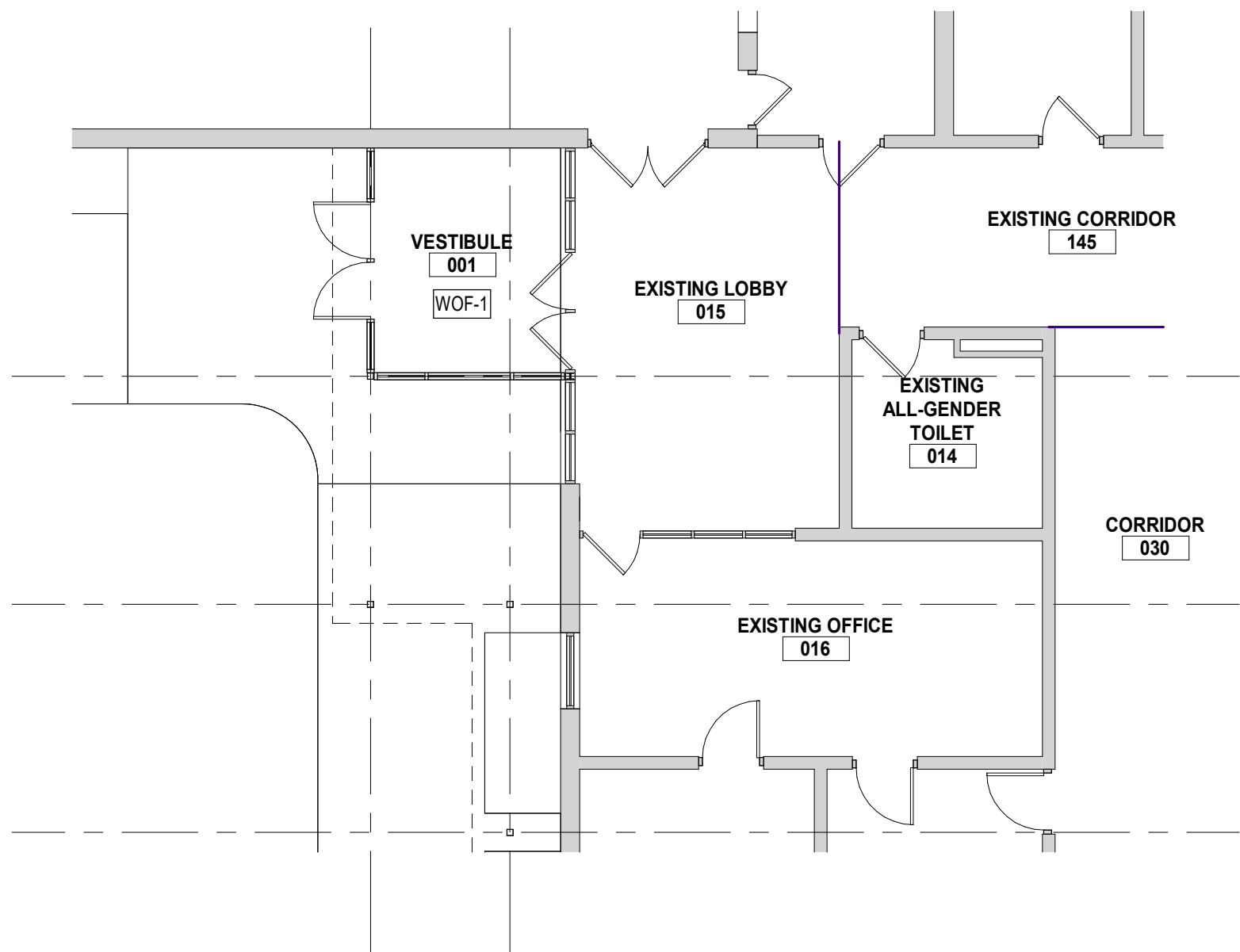
ROOM FINISH SCHEDULE									
ROOM		FLOOR	BASE	WALL FINISH				CEILING FINISH	REMARKS
NUMBER	NAME			NORTH	EAST	SOUTH	WEST		
FIRST FLOOR									
001	VESTIBULE	WOF-1	--	EXISTING	EXISTING	STOREFRONT	STOREFRONT	PT-1	
205	CORRIDOR	EXISTING	RB-1	PT-2	PT-2	PT-2	PT-2	ACT-1	
206	CLASSROOM	CPT-1	RB-1	EXISTING	PT-3	EXISTING	EXISTING	EXISTING	
207	CLASSROOM	EXISTING	RB-1	PT-3	PT-3	EXISTING	EXISTING	EXISTING	
208	CLASSROOM	CPT-1	RB-1	EXISTING	EXISTING	PT-3	PT-3	EXISTING	
209	CLASSROOM	EXISTING	RB-1	PT-3	EXISTING	EXISTING	PT-3	EXISTING	



3 TYP CLASSROOM ELEVATION  
SCALE : 1/4" = 1'-0"



1 FIRST FLOOR CLASSROOMS FFE PLAN  
SCALE : 1/8" = 1'-0"



2 FIRST FLOOR VESTIBULE FFE PLAN  
SCALE : 1/8" = 1'-0"

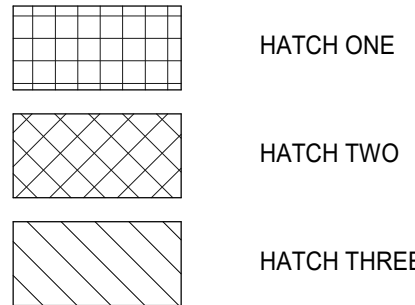
GENERAL NOTES

- COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
- PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
- REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
- FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER
- DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- PAINT DESIGNATIONS INDICATE COLOR ONLY, REFER TO SPECIFICATION FOR FINISH TYPE.
- EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
- WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - PREPARE/PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
  - FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
- PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION.
- INSTALL TILE PER THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS.
- PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION
- CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
- REFER TO ELEVATIONS FOR MILLWORK FINISHES.

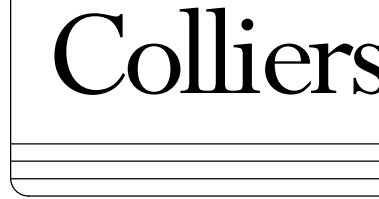
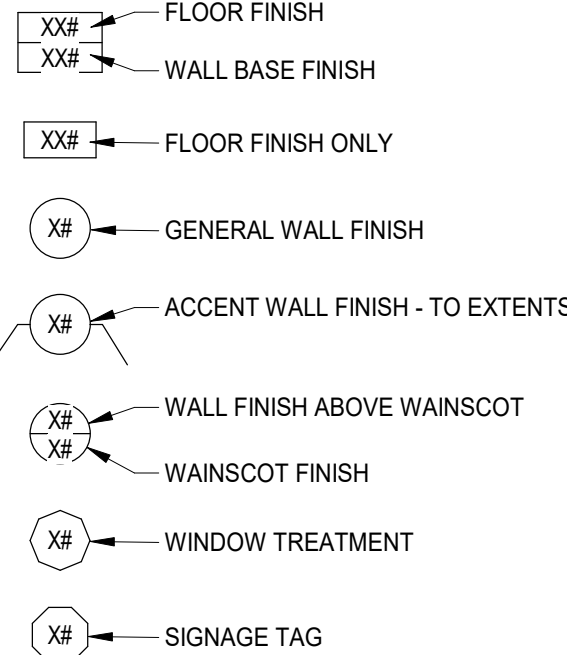
KEYNOTES

- PAINT EXISTING WALL AND NEW WIRE MOLD FOR RELOCATED THERMOSTAT TO MATCH EXISTING.
- EXISTING WALLS TO REMAIN AS IS.
- PATCH CARPET TILE AS REQUIRED AFTER REMOVAL OF POWER POLES.

FINISH HATCH LEGEND



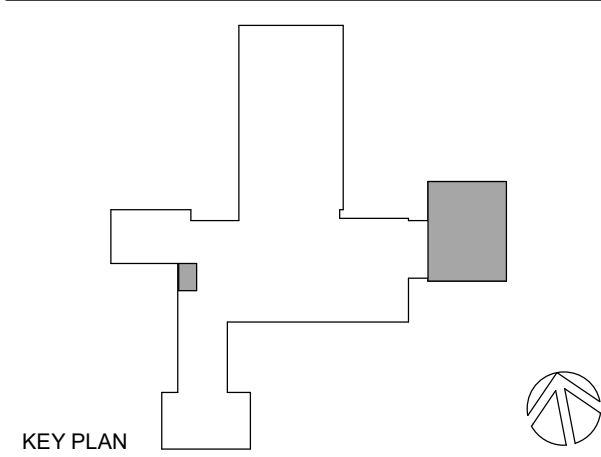
FINISH SYMBOL LEGEND



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REV	DATE	DESCRIPTION
1	11/14/2025	BIDS & PERMITS

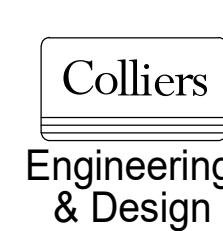


LANSING SCHOOL DISTRICT

AVERILL ELEMENTARY RENOVATION SO-1847

3201 AVERILL DR  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605



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Colliers Engineering & Design,  
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PROJECT MANAGER:	DISCIPLINE LEAD:
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DESIGNER:	REVIEWER:
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SHEET NAME:	

FINISH PLANS

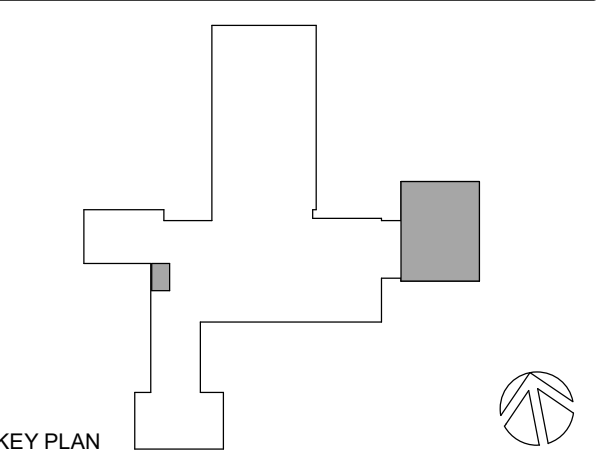
DRAWING NUMBER:

A141

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.



REV	DATE	DESCRIPTION
1	11/14/2025	BIDS & PERMITS
2	12/04/2025	ADDENDUM #1

LANSING SCHOOL  
DISTRICTAVERILL ELEMENTARY  
RENOVATION SO-18473201 AVERILL DR  
LANSING, MI 48911MI ARCHITECTURE  
FIRM LICENSE # NLP000605

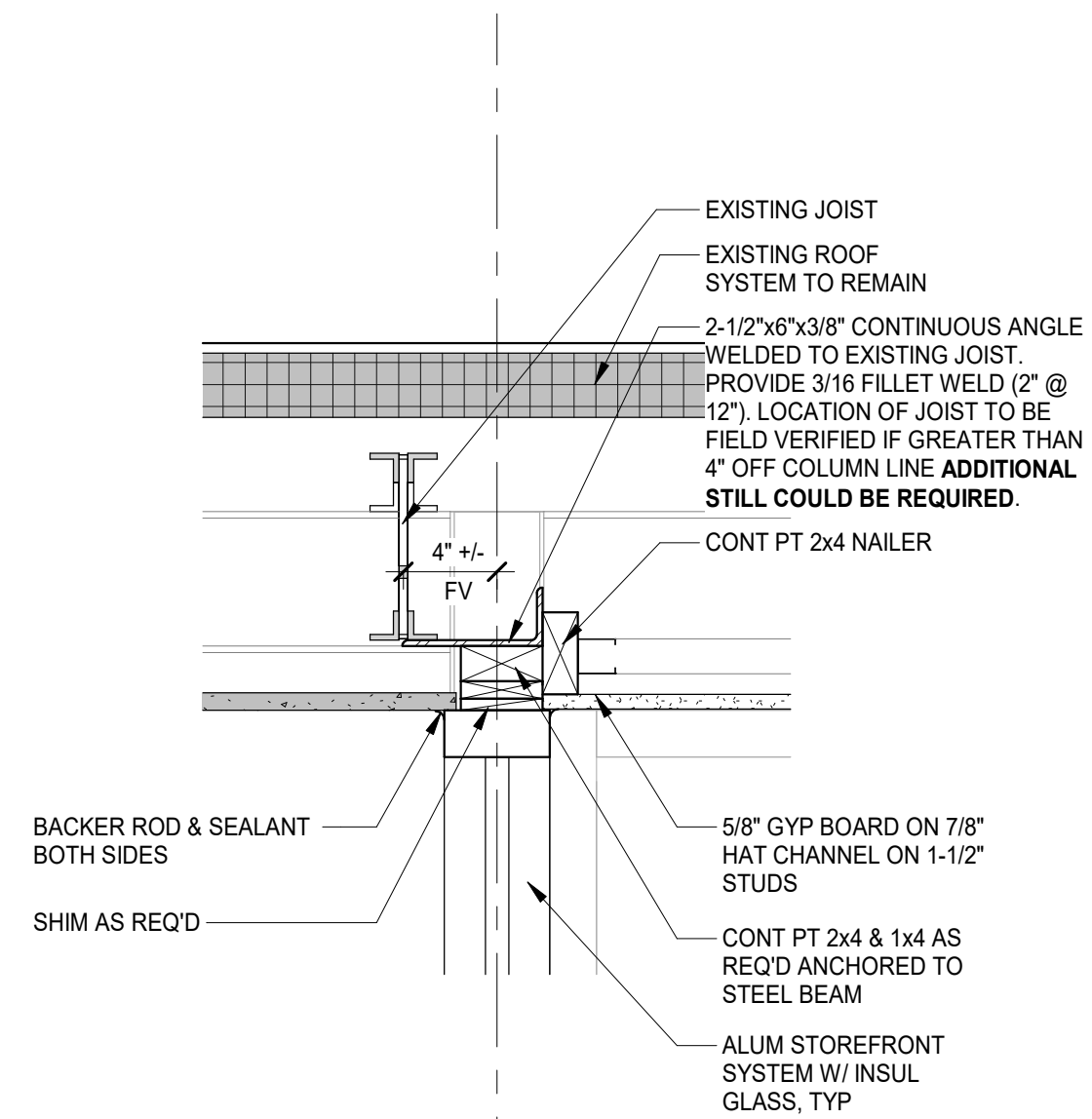
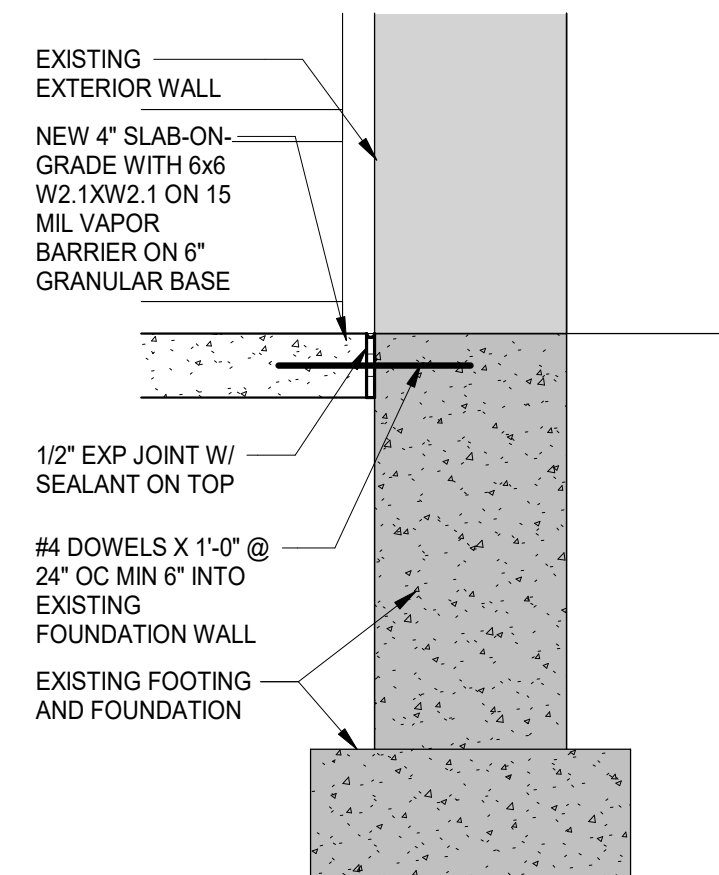
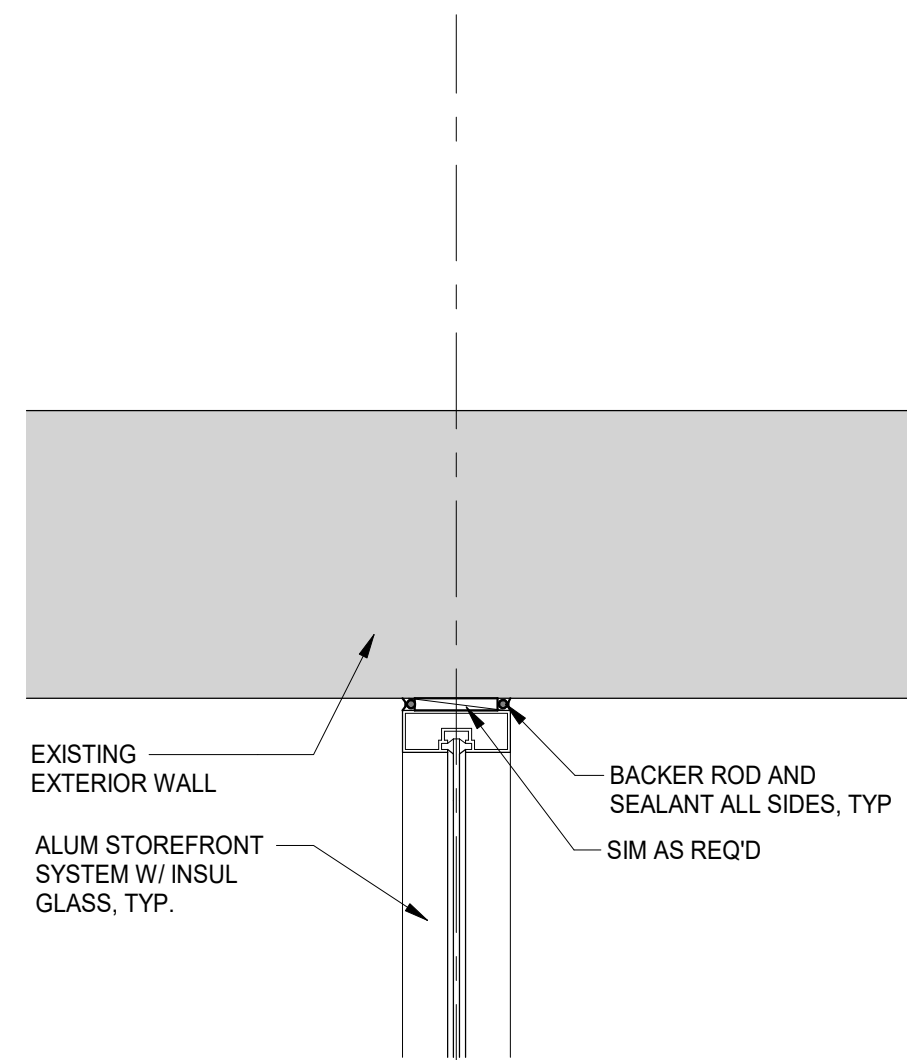
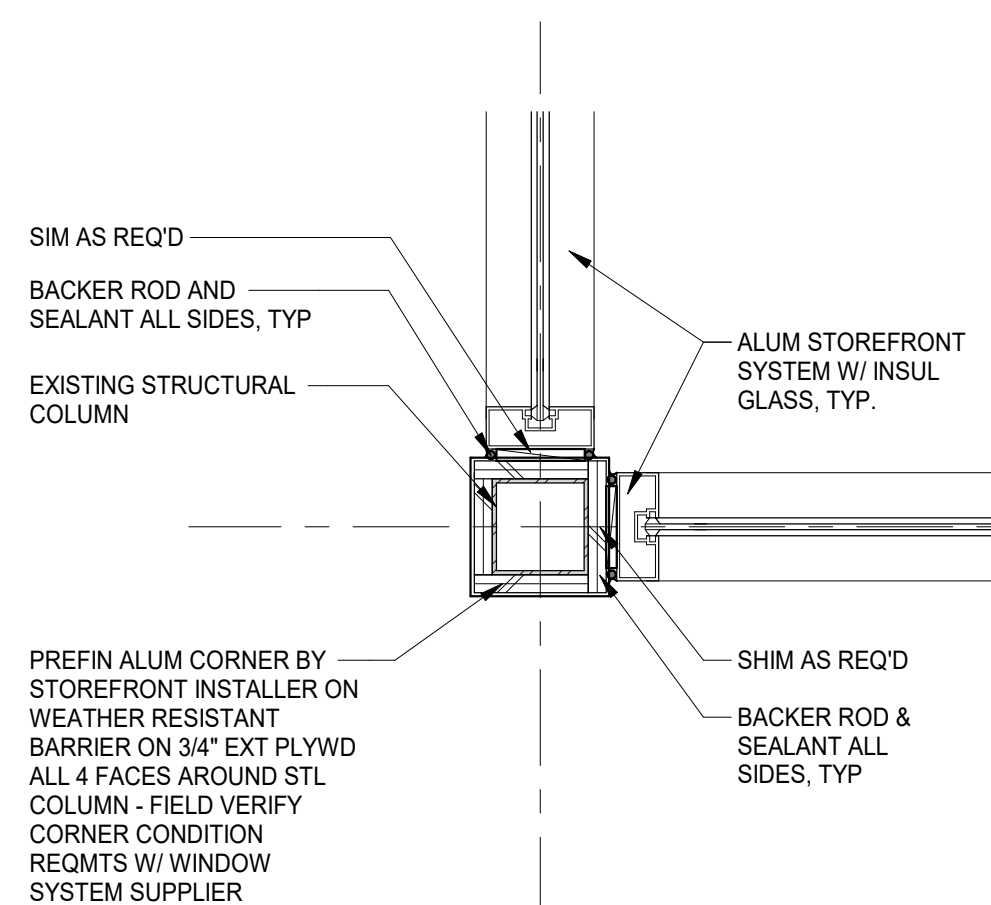
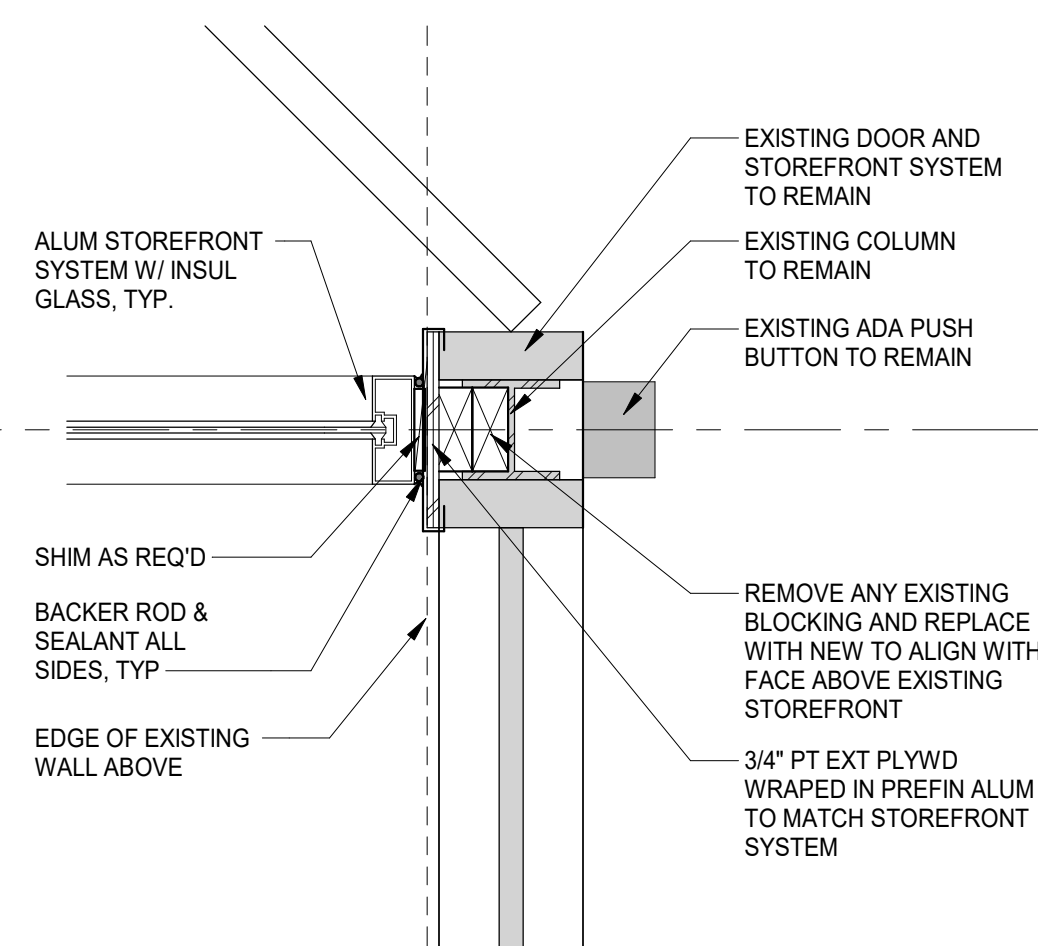
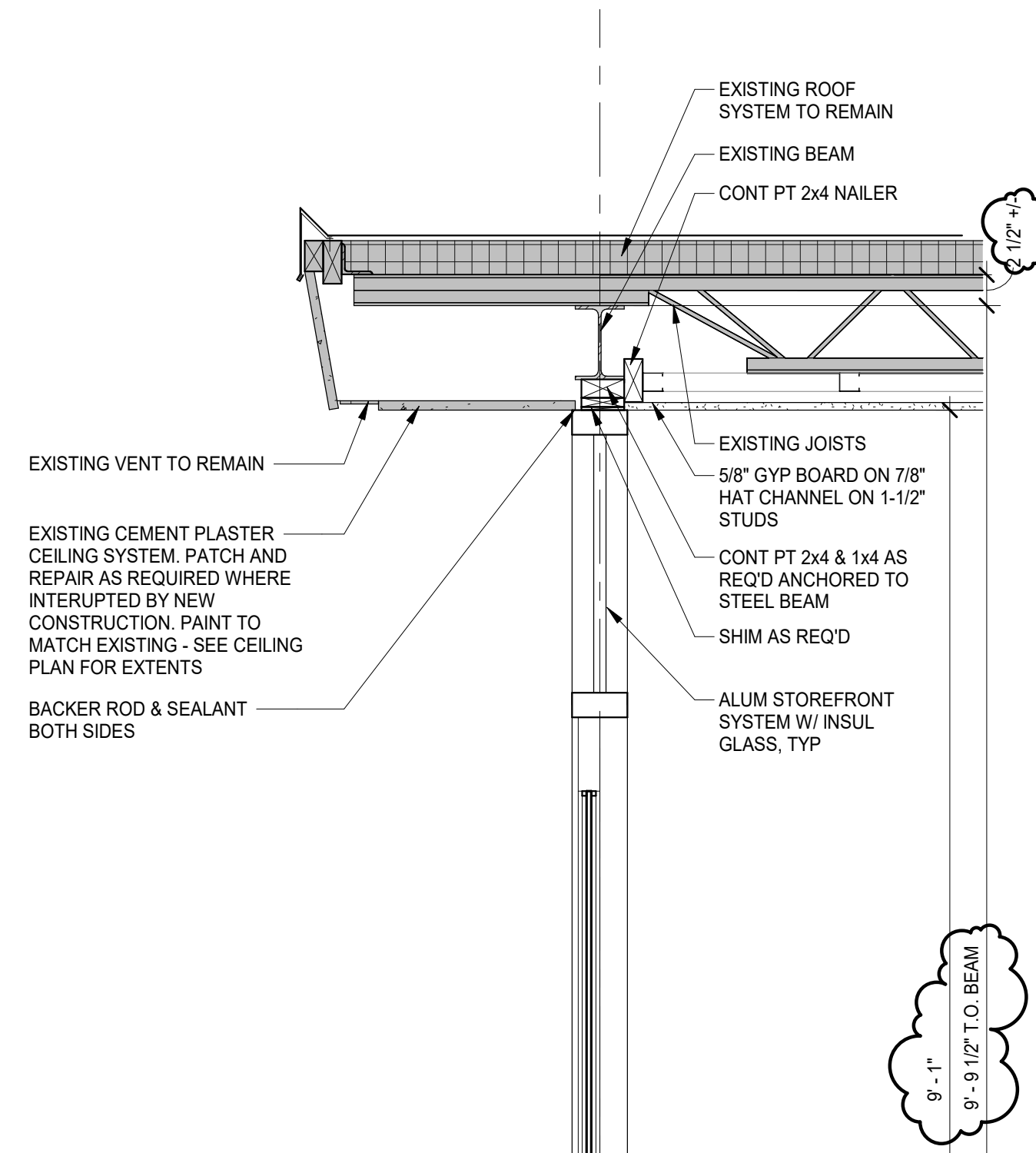
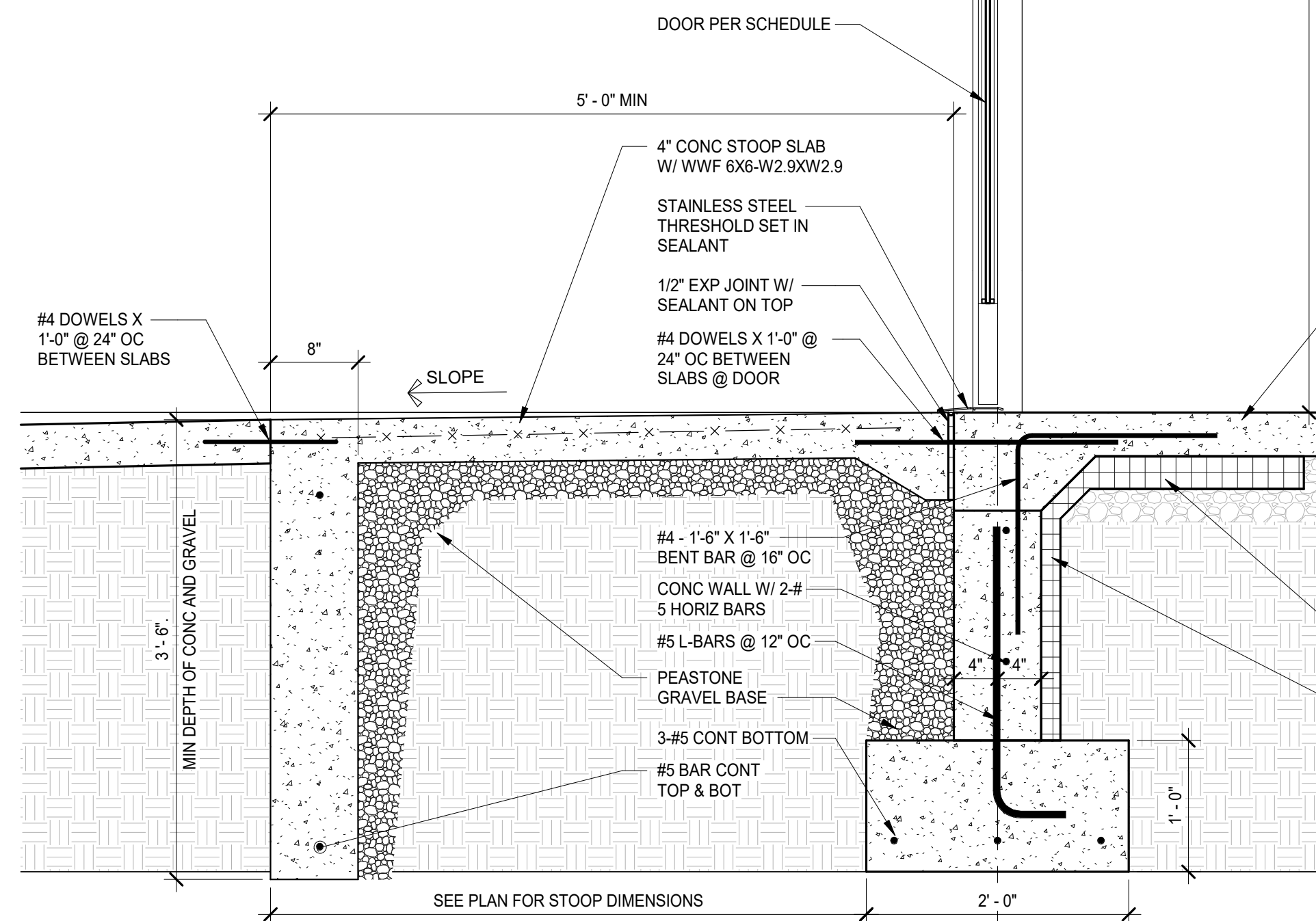
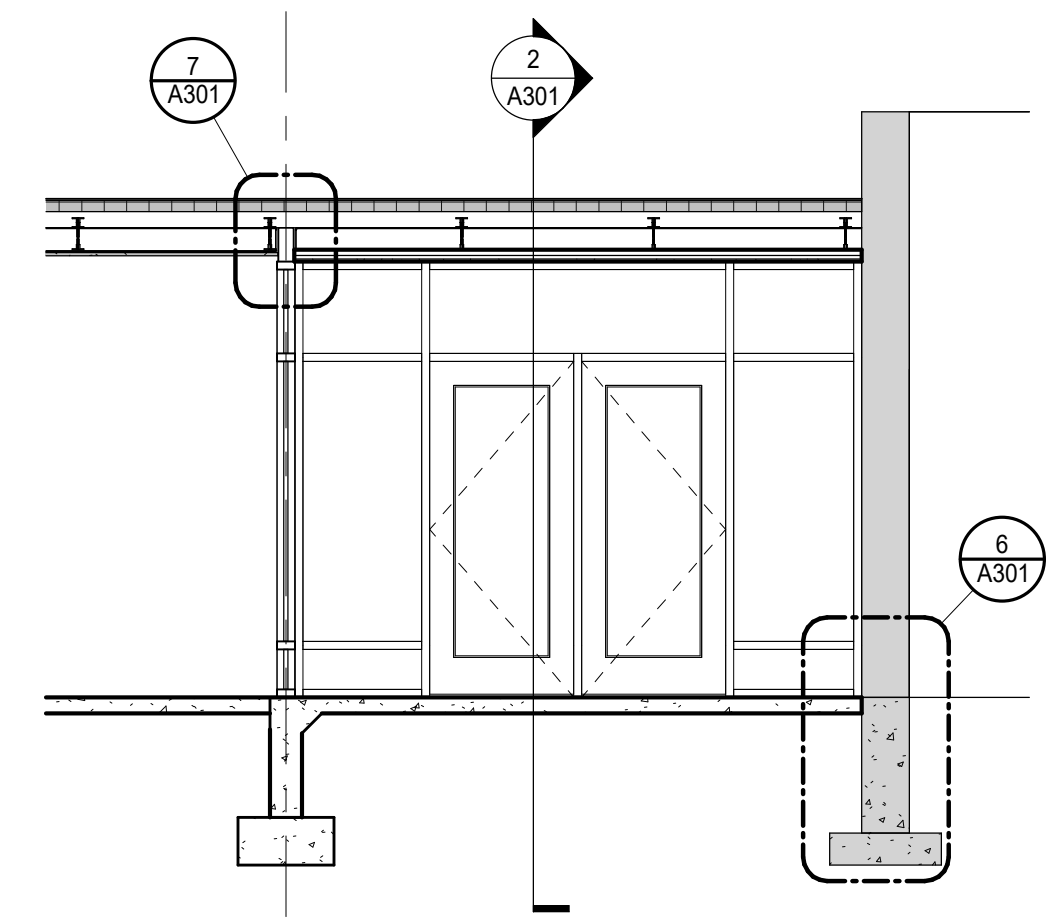
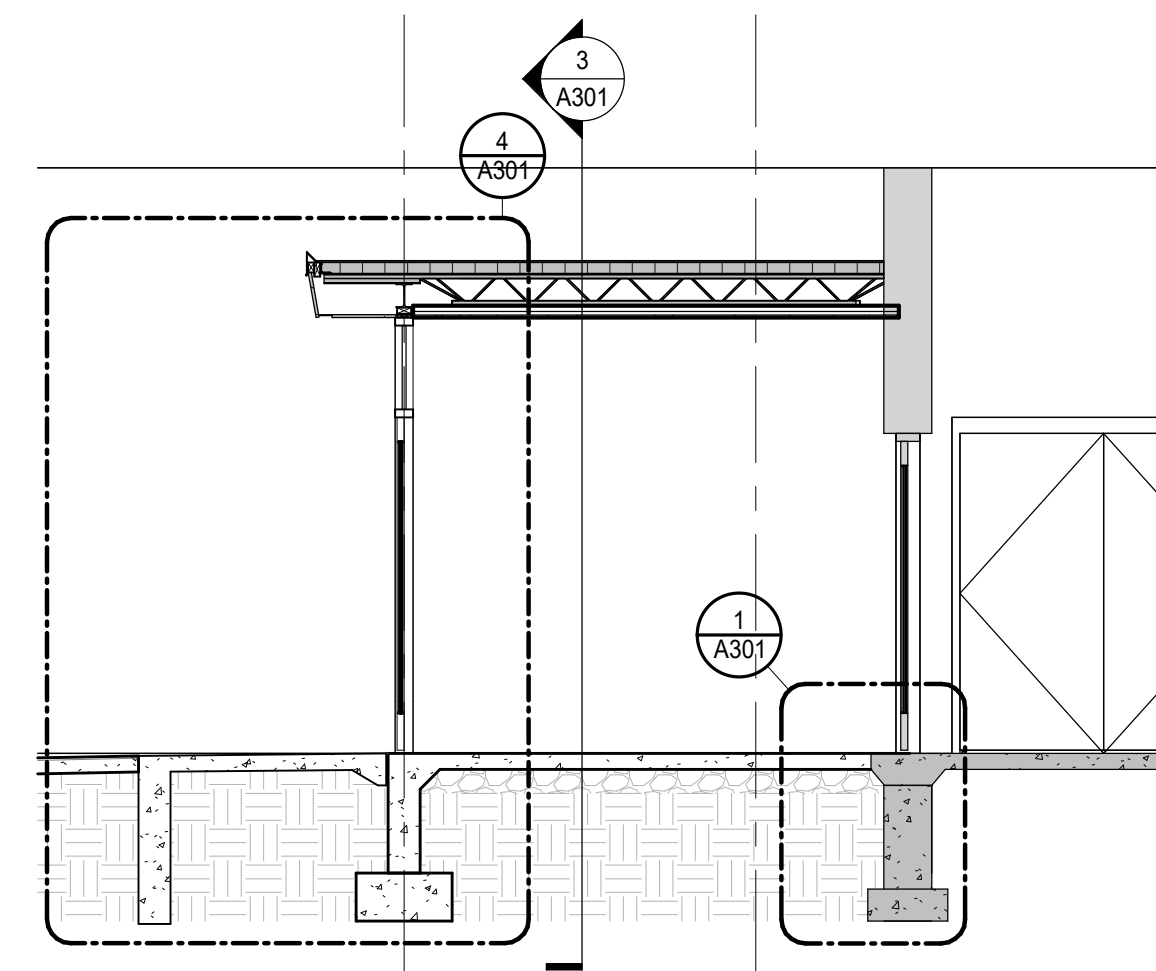
PROJECT MANAGER:	DISCIPLINE LEAD:
B. HUYLER	C. NORRIS
DESIGNER:	REVIEWER:
C. NORRIS	B. HUYLER
DATE ISSUED:	PROJECT NUMBER:
11/14/2025	25013568A
SHEET NAME:	

## SECTIONS &amp; DETAILS

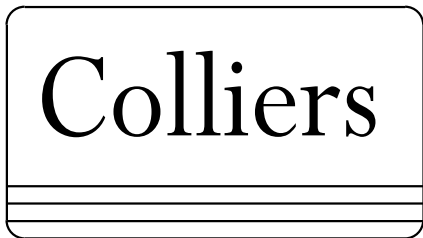
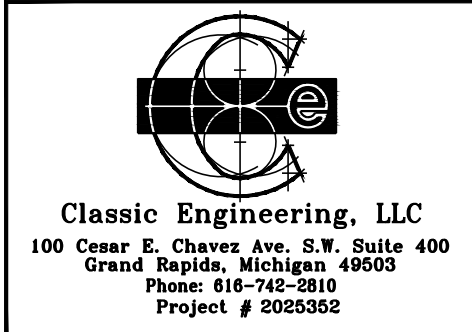
DRAWING NUMBER:

A301

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

7 TOW VESTIBULE SECTION  
SCALE : 1 1/2" = 1'-0"6 VESTIBULE SECTION @ EXISTING  
SCALE : 1" = 1'-0"9 VESTIBULE PLAN DETAIL @ EX MASONRY WALL  
SCALE : 1 1/2" = 1'-0"8 VESTIBULE PLAN DETAIL @ COLUMN  
SCALE : 1 1/2" = 1'-0"5 VESTIBULE PLAN DETAIL @ EX STOREFRONT  
SCALE : 1 1/2" = 1'-0"4 VESTIBULE WALL SECTION  
SCALE : 1" = 1'-0"1 VESTIBULE THRESHOLD @ EXISTING  
SCALE : 1" = 1'-0"3 N/S SECTION @ VESTIBULE  
SCALE : 1/4" = 1'-0"2 E/W SECTION @ VESTIBULE  
SCALE : 1/4" = 1'-0"

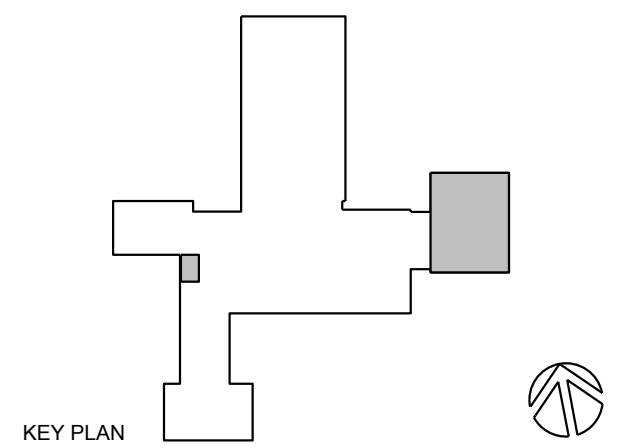




# Engineering & Design

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REV	DATE	DESCRIPTION
11-14-2025		BIDS & PERMITS
12-05-2025		ADDENDUM #1

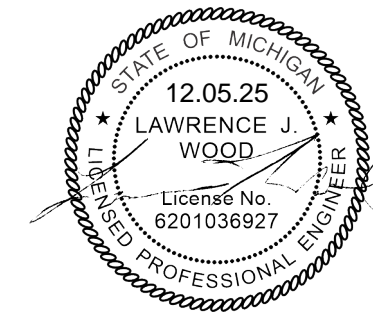


## LANSING SCHOOL DISTRICT

## AVERILL ELEMENTARY RENOVATION

3201 AVERILL DR  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605



Colliers Engineering & Design	GRAND RAPIDS 560 5th St. NW Suite 305 Grand Rapids, MI 49504 Phone: 616.827.4270
LARRY WOOD PROJECT MANAGER:	CINDY LADEWIG DISCIPLINE LEAD:
MIKE DELORA DESIGNER:	CINDY LADEWIG REVIEWER:

DATE ISSUED: 11-14-25	PROJECT NUMBER: 2025352
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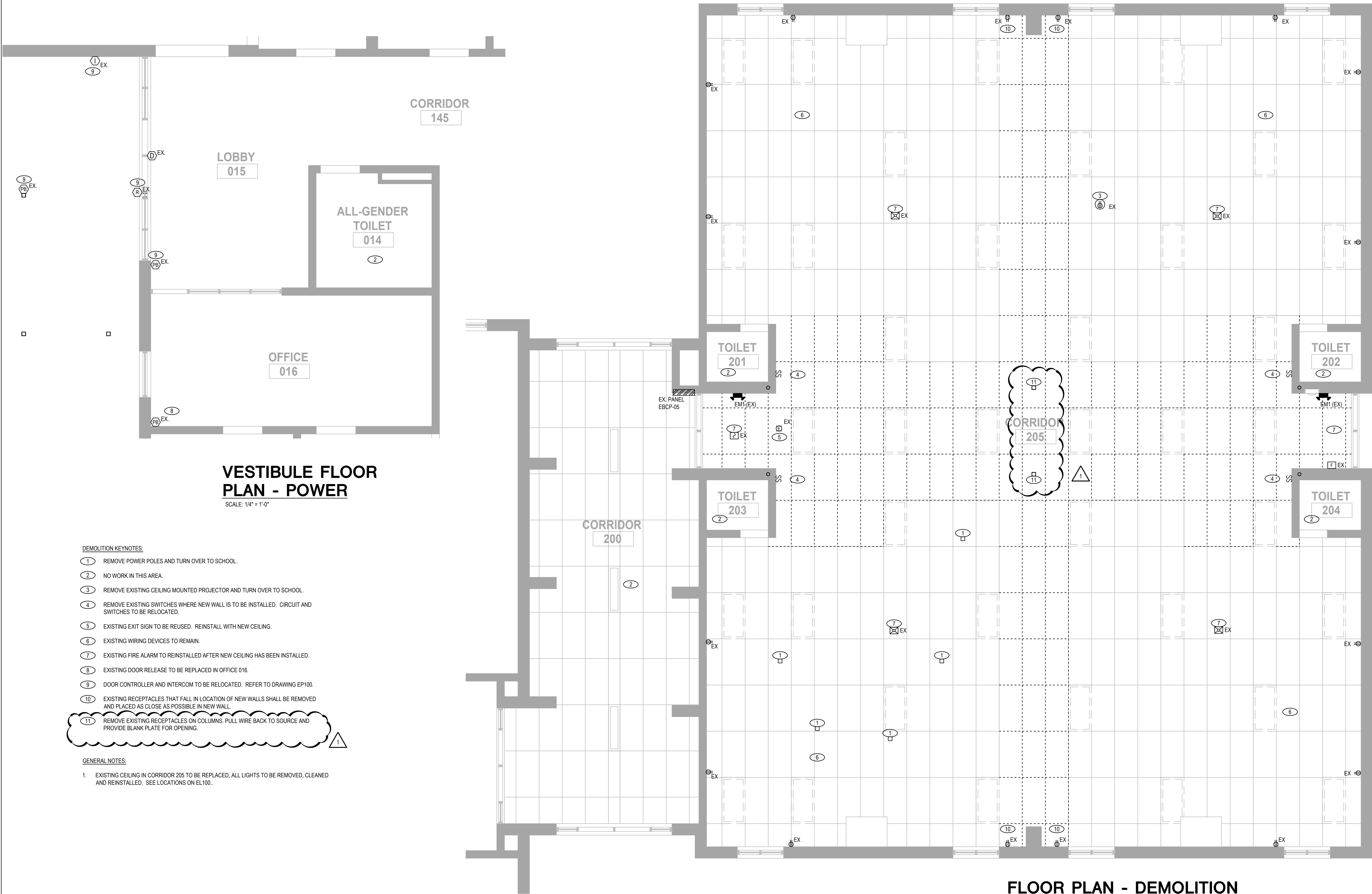
SHEET NAME:

## FLOOR PLAN - DEMOLITION

DRAWING NUMBER:

ED100

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.



## FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"

### DEMOLITION KEYNOTES:

- 1 REMOVE POWER POLES AND TURN OVER TO SCHOOL.
- 2 NO WORK IN THIS AREA.
- 3 REMOVE EXISTING CEILING MOUNTED PROJECTOR AND TURN OVER TO SCHOOL.
- 4 REMOVE EXISTING SWITCHES WHERE NEW WALL IS TO BE INSTALLED. CIRCUIT AND SWITCHES TO BE RELOCATED.
- 5 EXISTING EXIT SIGN TO BE REUSED. REINSTALL WITH NEW CEILING.
- 6 EXISTING WIRING DEVICES TO REMAIN.
- 7 EXISTING FIRE ALARM TO REINSTALLED AFTER NEW CEILING HAS BEEN INSTALLED.
- 8 EXISTING DOOR RELEASE TO BE REPLACED IN OFFICE 016.
- 9 DOOR CONTROLLER AND INTERCOM TO BE RELOCATED. REFER TO DRAWING EP100.
- 10 EXISTING RECEPTACLES THAT FALL IN LOCATION OF NEW WALLS SHALL BE REMOVED AND PLACED AS CLOSE AS POSSIBLE IN NEW WALL.

### GENERAL NOTES:

1. EXISTING CEILING IN CORRIDOR 205 TO BE REPLACED, ALL LIGHTS TO BE REMOVED, CLEANED AND REINSTALLED. SEE LOCATIONS ON EL100.





**CM CLARIFICATION #1**

**Posted By David J. Beckering 11/20/25**

**GENERAL NOTES**

1. **Bids will be opened publicly and read aloud at 2:00 PM on December 9, 2025.** We would appreciate it if we could receive bids by 1:30 PM, so we have time to sort them before the official opening.
2. The Lansing School District issued several pages of documentation beyond the typical Beckering Construction documents. Please proceed in the following manner:
  - A. Sign and return the Statement of No Bid to the CM.
  - B. Sign and seal the Affidavit of Bidder regarding family relationships to Board of Education and include it with your bid.
  - C. Sign and seal the 'Non-Discrimination in Employment Certification' and include it with your bid.
  - D. Sign and seal the Affidavit of Bidder regarding Non-Collusion and include it with your bid.
  - E. Sign and seal the Iran Economic Sanctions Act Certificate and include it with your bid.
  - F. Sign and seal the 'Legal Status of Bidder' form and include it with your bid.
  - G. Review the 'Non-Discrimination and Equal Employment Opportunity' document, dated 11/1/2016. No signature required.
  - H. Review the Lansing Board of Education Policy Reports (22 pages). No Signature required.

**Division D - Drywall / Acoustic:**

- As detailed on Sheet A121, the Vestibule 001 will get a new gypsum board ceiling.
- The existing soffit will need to be carefully cut at the line where the new aluminum storefront system and related wood blocking butt up to the soffit / ceiling. Cutting and demo of the existing soffit is covered by Division B – General Trades. Plaster soffit that remains in place must be patched by Division D contract. We assume this will take (1) man, (16) hours and miscellaneous patching material. See Sketch 'A'.
- See Sketch 'B' - Detail 4/A301, the roof deck scales to be 10'3" AFF and the ceiling scales to be 9'0" AFF.





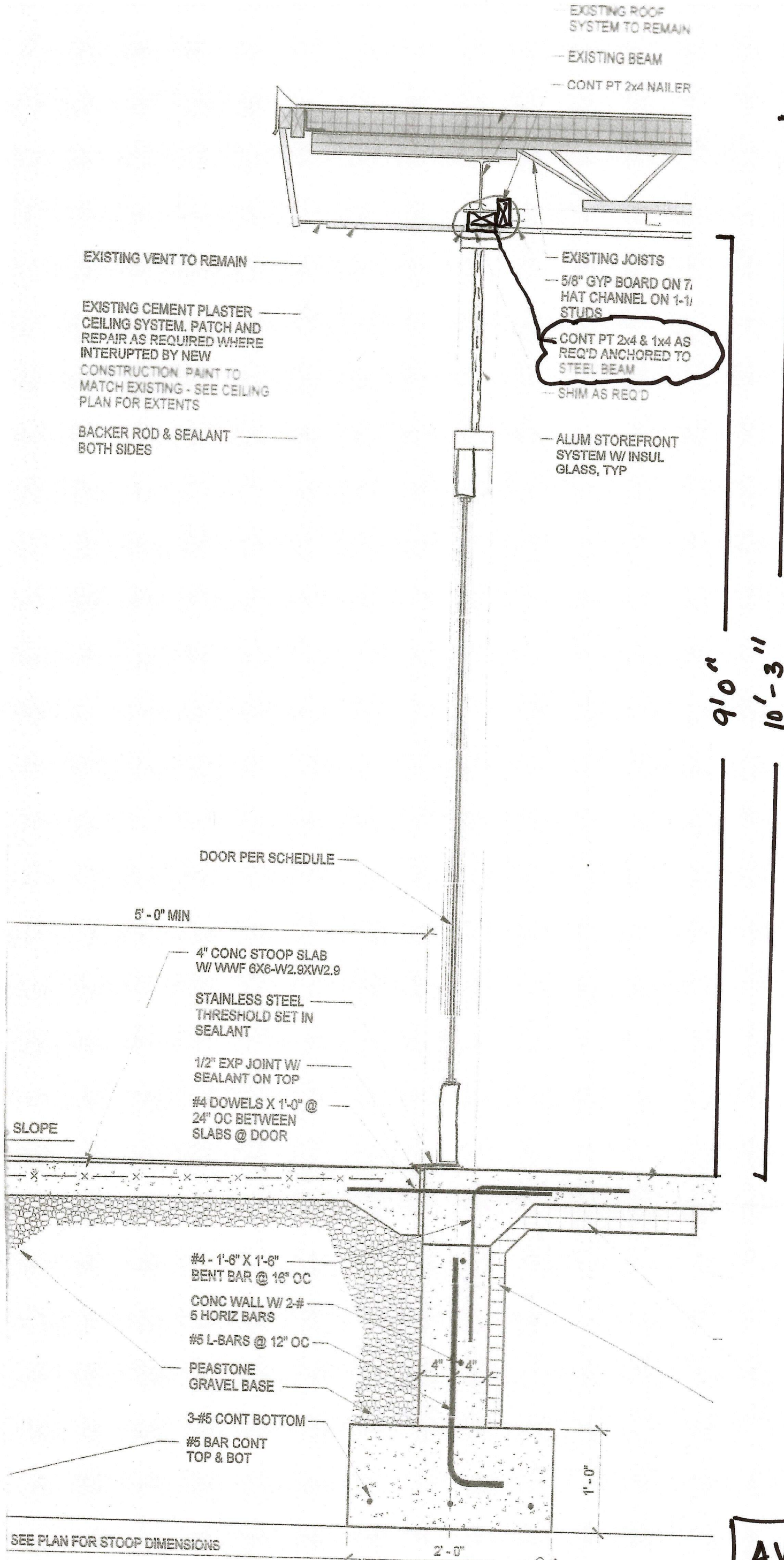
Division B - General Trades

- See Sketch 'B', existing plaster soffit must be carefully cut at the line where the new storefront system and related blocking butt up to the new ceiling / soffit.
- General Trades - Division B covers all wood blocking at junction point between the new storefront system and the soffit ceiling, including PT 2x4 and 1x4, per Sketches 'A' and 'C', wood shims are included in Division C – Aluminum / Glass.
- General Trades - Division B also includes all required interior non-com wood blocking at classroom door frames, (12) classroom marker tackboards, (8) 8'0" long corner guards and blocking for upper and lower cabinets along (1) 15'6" wall in each classroom. See Sketch 'C'.
- Inpro corner guards are covered in the General Trades - Division B. There are (8) corner guards as noted on Sketch 'C'.
- All plywood blocking at steel columns is included in General Trades - Division B.
- Supply and installation of the steel angle as noted in Detail 7/A301 is included in General Trades – Division B. See Sketch 'C'.

Division C – Aluminum & Glass

- As noted in the original bid scope, aluminum door hardware will be supplied by Division B – General Trades and installed by Division C – Aluminum & Glass.
- All 2x4, 1x4 and  $\frac{3}{4}$ " plywood blocking, as noted in Details 4, 5, 7 and 8 on Sheet A301, will be supplied and installed by Division B – General Trades.
- Division C – Aluminum & Glass includes all wood shims, aluminum wrapping and caulking for the entire storefront system.



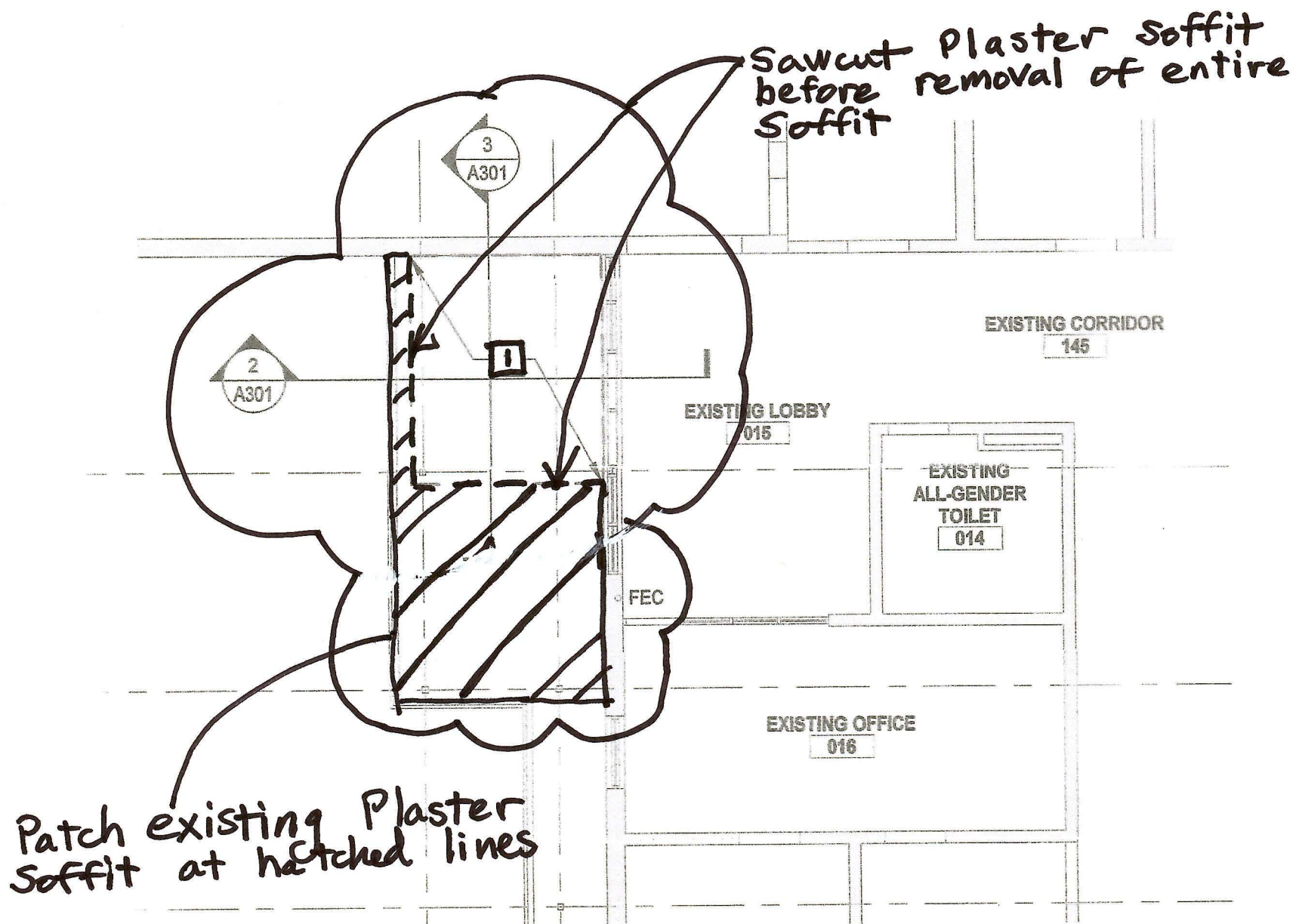


4 VESTIBULE WALL SECTION  
SCALE: 1" = 1'-0"

AVERILL ELEM  
SKETCH 'A'



Key Note  
1 Remove existing Soffit



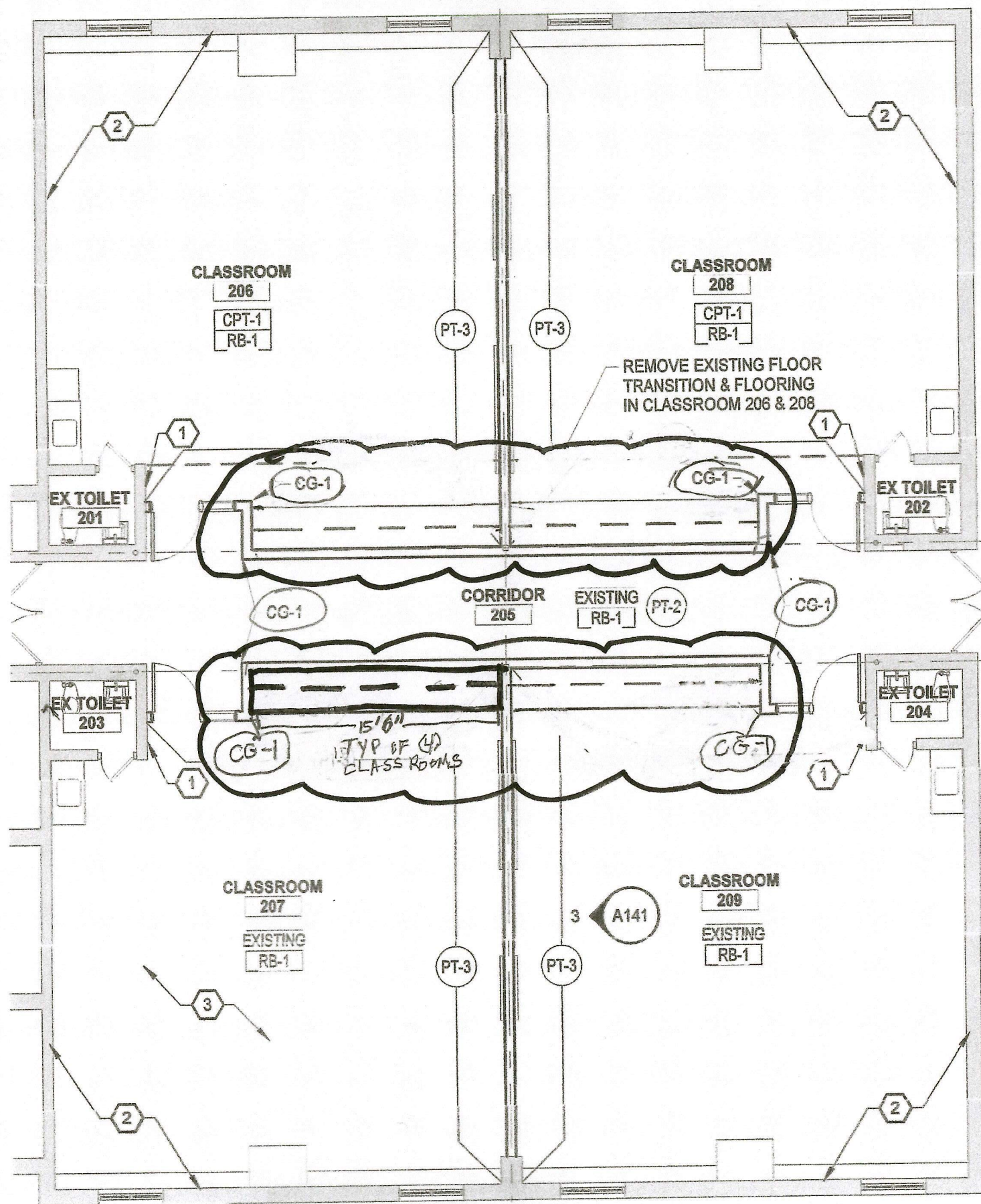
FIRST FLOOR VESTIBULE REFLECTED CEILING  
DEMOLITION PLAN

4

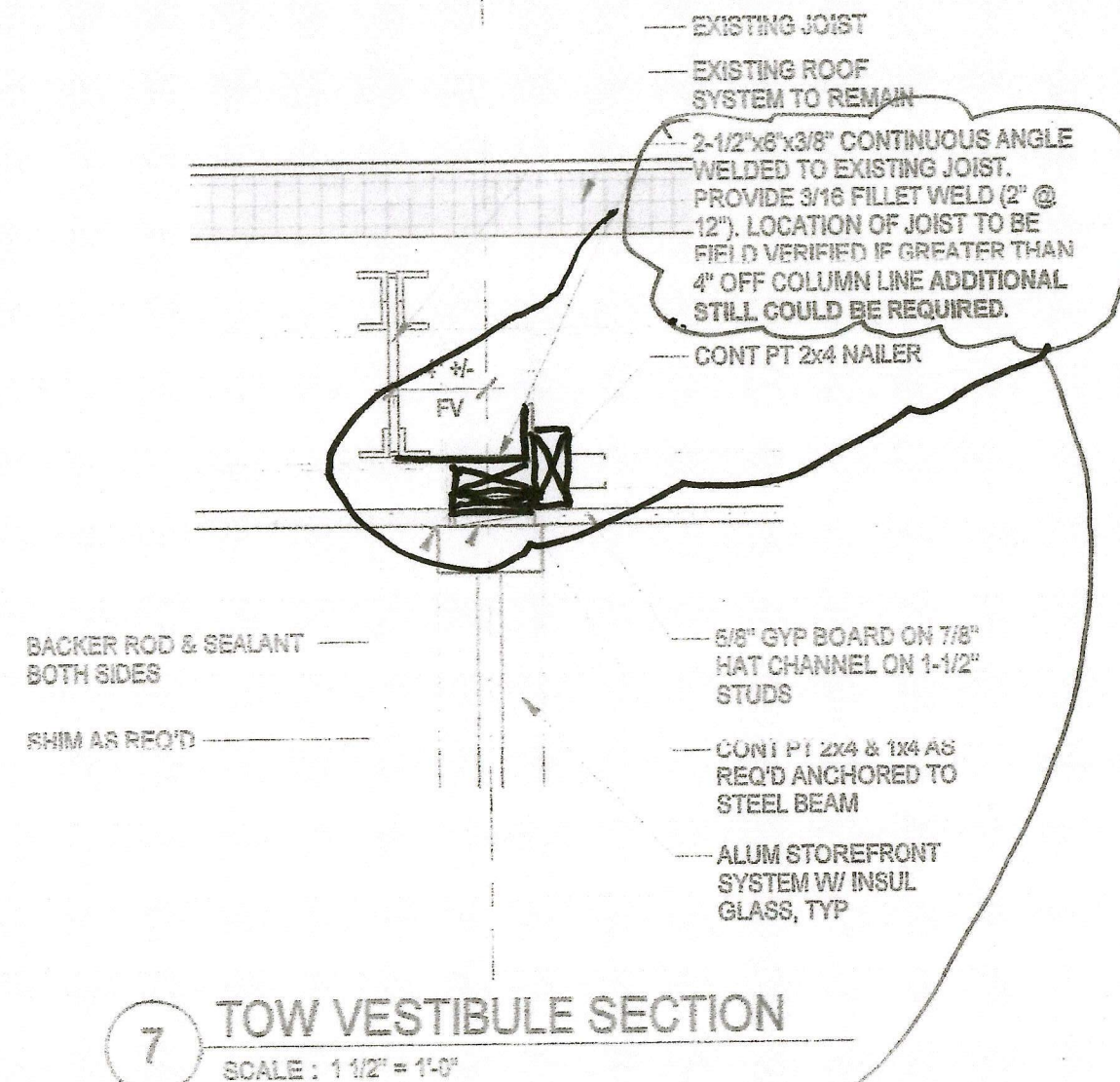
SCALE: 1/8" = 1'-0"

AVERILL ELEM.  
SKETCH 'B'





1 FIRST FLOOR CLASSROOMS FFE PLAN  
SCALE : 1/8" = 1'-0"



7 TOW VESTIBULE SECTION  
SCALE : 1 1/2" = 1'-0"

There is 12 lf of this Angle Detail

AVERILL ELEM  
SKETCH 'C'





**CM CLARIFICATION #2**  
**Posted By David J. Beckering 12/2/25**

**GENERAL NOTES**

- A. A copy of the Sign In Sheet for the Pre-Bid Meeting is attached for your information.

Division A – Sitework / Asphalt / Concrete:

- This division includes labor and material to install all handicap parking signs.
- Division 'A' includes installation of (6) 6" x 7'0" Galvanized Steel Pipe Bollards and (2) 4" x 5'0" Galvanized Steel Pipe Bollards. These pipe bollards will be supplied by the Division 'B' General Trades.
- The Division 'A' Bid Scope calls for a 1 ½" mill and fill, but it is actually a 2" mill and fill as detailed on the plans.

Division B - General Trades

- This division includes cost to supply (6) 6" x 7'0" Pipe Bollards and (2) 4" x 5'0" Pipe Bollards. These bollards will be installed by Division 'A.' Division 'B' must provide and install the yellow PVC pipe sleeves for each bollard, the sleeves will need to be cut to size, installed on the bollards and caulked top and bottom.
- Bid Division 'B' includes HM, hardware, and wood doors at openings #206, #207, #208 and #209. These doors and sidelite frames are rated at 45 Min., the glass is rated at 45 Min. and the doors are rated at 20 Min.
- There are no toilet accessories on this project. The current plan is to perform no work in the Toilet Rooms.
- The existing wardrobe cabinets in the classroom area must be removed by Division 'B' and turned over to the Owner.

Division D – Drywall / Acoustical

- Mechanical drawing shows relocation of an existing ceiling mounted cabinet unit heater. The CUH does not move to a new location, it simply needs to be temporarily raised up so the Division 'D' contractor can revise the ceiling grid to fit around the unit. The Division 'D' contractor must provide temporary support for the CUH while the ceiling grid is revised.

Division G – Electrical

- Bid Division 'G' includes all Fire Alarm revisions as noted on the drawings. The existing fire alarm system is "National Time." This division includes design of the fire alarm system and submission of drawings to the State of Michigan for approval.





- The new thermostats are supplied and installed by Division 'G.' See the original Electrical Bid Scope for contact information for contractor that performs the Temperature Control work for the Lansing School District.





**CM CLARIFICATION #3**  
**Posted By David J. Beckering 12/3/25**

**GENERAL NOTES**

- A. The drawing shows new carpet at Rooms 206 and 208. The architect should provide a spec for this new carpet.

Division A – Sitework / Concrete / BT:

- Excavation and fill for the new fence posts at the dumpster enclosure will be performed by Division 'A.'
- The Division 'B' contractor will install the fence posts and specified concrete.
- All exterior saw cutting and demolition work will be performed by Division 'A.'

Division B - General Trades

- Excavation and fill for the new fence posts at the dumpster enclosure will be performed by Division 'A' Site / Concrete / BT. Installation of the fence posts and specified concrete is included in Division 'B' General Trades.
- The basis of design for the visual display boards is Cig Jan or approved equal.
- The basis of design for the composite fence system is "Trex Seclusions" with typical 5'0" x 7'0" panels. The gate pieces will need to be custom-fabbed, infilled with composite fencing material and installed with heavy duty gate hardware as noted in Detail 3/A011.
- The gaga pit slab will be installed by Division 'A' Site / Concrete / BT. The owner will provide and install the gaga pit walls.
- Demolition inside the building walls be performed by Bid Division 'B' General Trades. Demolition outside the building walls, including sawcutting and removal of existing sidewalks and existing slab at new Vestibule #001 will be performed by Division 'A' Site / Concrete / BT.

Division D – Drywall / Acoustical

- There are no stud / drywall walls at new Vestibule #001, so deck height at that location is not relevant to Division 'D' Bidders.
- In the wing where new stud / drywall partitions create new classrooms 206, 207, 208 and 209, the deck is approximately 15'0" AFF.





**CM CLARIFICATION #4**  
**Posted By David J. Beckering 12/4/25**

- The architect will verify in Addendum #1 that the basis of design for the dumpster fence is “Trex Horizon” with horizontal composite panels.
- In the classroom wing where new stud / drywall partitions create new classrooms #206, 207, 208 and 209, the metal deck is approximately 15'0” AFF.
- The architect may be able to provide a contact number for the Access Control contractor so the bidders can request a bid.
- All low voltage wiring is provided and installed by Division 'G' Electrical. The low voltage wiring will be terminated at the user ends and coiled and labeled in the MDF Rooms.
- If the architect does not provide a name and model for the card reader, the electrical bidder should include an allowance of \$1,000.00 for this item.