



**Lansing School District  
North Elementary Interior Renovations Bid Package 1**

**Addendum 01**

**January 13, 2026**

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This document is to serve as Addendum No. 01 with the purpose of providing clarifications or modifications to the original bid documents dated November 18, 2025 and shall take precedence over them. All incidental items required for the following changes are to be included even if not specifically described.

**Receipt of this addendum is to be noted on the bid form.**

**ATTACHMENTS:** Pre Bid Sign-in sheet  
Pre Bid Agenda  
Post Bid Interview Schedule  
Approved Substitution Request  
Updated Project Manual  
North Elementary Furniture Package  
Colliers LSD North Addendum #1 Narrative  
Drawings **North Elementary (Interior Renovation) Addendum #1 1/13/2026:**

**BID DATE:** Bid date remains UNCHANGED.

**BID FORM:**

A. Alternate Bids:

• **Work Category 02A- Demolition / Abatement**

- Alternate #1 – Demo existing ceiling grid  
Add to Base Bid \$ \_\_\_\_\_

• **Work Category 09A- Carpentry and Interiors**

- Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.  
Add to Base Bid \$ \_\_\_\_\_

**DRAWINGS:** Drawing updates attached and referenced in Colliers **North Elementary (Interior Renovation) Addendum #1 1/13/2026:**  
G000, G001, G002, G003, A001, A002, AD101, A102, A121, A421, A422, A501, P101, M101, E1.00, E2.00, ED101, EL101, EP101

**TECH SPECS:**

**Substitution Requests:**

- **Plumbing Fixture list**
  - Specified product: Plumbing Fixtures U-1, WC-1, L-1
  - Substitution: Zurn Finish Plumbing Fixtures
  - Reason: Alternate manufacturer providing equal quality products
  - Differences: none
  - Decision: **Acceptable**

**RFI RESPONSES:**

**Q:** Looking at the new out for bid documents compared to the most recent North project completed in 2021 by Centennial, there is already emergency lighting meeting current code within the cafeteria. This emergency lighting is fed from the emergency generator system and not battery packs. Please verify if new emergency lighting is required and where?

**A:** See attached updated electrical drawings removing appropriate emergency lighting.

**Q:** Hardware Set #02 is for a pair of doors but only has 1 hinge, No flushbolts, No lockset and only 1 closer. Please verify this hardware set is complete and accurate.

**A:** See attached updated hardware specifications on A002.

Hardware set #04 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

**A:** See attached updated hardware specifications on A002

Hardware set #05 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

**A:** See attached updated hardware specifications on A002.

**Q:** I don't see in the plans any lighting controls in the drawings for the new bathroom lights. Will those be ceiling occupancy sensors, or wall switches? And if it is wall switches, what style of switch will be required?

**A:** See attached updated electrical drawings for added lighting controls

**Q:** The asbestos survey provided only shows flooring materials where tested. Do you have sampling results for the other materials being impacted by this project, i.e. ceiling tile, ceramic cove in the bathrooms, fire-doors on room 205, plaster/drywall walls in the observation room?

**A:** There is an AHERA Management Book on site that can be reviewed at any time. Please consider these items to be asbestos containing until proven otherwise.



**PROJECT MANUAL:**

Cover Page: SO-1844

Table of Contents: Added WC 12A Furnishings

Available Project Information: North Elementary furniture layout

Bid form: allowances and alternates updates

Price and Payment Procedures: Allowances updated

WC 02A- Demolition / Abatement:

- Alternate Requested, Alternate #1 – Demolish and dispose of existing ceiling grid.

WC 09A – Carpentry and Interiors:

- Alternate Requested, Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.

WC 09B – Floor Coverings:

- Line 6. Provide moisture test of existing floor to confirm acceptable substrate for new flooring.
- Allowance #2 - \$300 Material allowance for replacement in observation area

WC 09C- Painting

- Line 9. Prep and Paint brick wall as specified and noted, include caulking the corners of masonry before painting.

WC 22A – Plumbing/Mechanical:

- Plumbing, Line 11. Perform visual scope of UG/In wall plumbing from the cafeteria area to the center hallway by the main office. Provide video recording of the scope for engineers/owners review prior to start of any underground work.
- Mechanical, Line 9. Perform pre-test and balance and post-test and balance, provide reports before and after work commences.

WC 12A- Furnishings

- Added entire work category

Bid# SO-18441

For North Calteria Remodel  
Date/Time 1/6/26 3:30 pm Pre Bid

Name	Company	Address	City/State/Zip	Phone #	Email Address
Todd Lee	Lansing Schools				
Mac Gethin	CMX				
Brian Dredon	Orthopaedic and Sports Medicine			517 745-7367	hiring@mittelmedicinet.com
Sam Brown	Summit	PO Box 219 #	WASLETT/MI 48840	517-322-6259	
Collin Hannahs	Hannahs Electric			517-231-8977	hannahs.electric@comcast.net
Eric Kuznicki	AAI			517-719-2512	ekuznicki@oneaa.com
Tan Martin	Martin & Associates Environmental			616-344-1200	tan.martin@environmentalbiz.com
Brent Buttles	CBG				
Courtney Young	CBG				
Taff Thain	Supervisor Electric			517 712 3430	
Chris Moore	Shawnee			(269) 274-3818	(- more PS handles broken)
Alex Coulombe	Shouldice			269-567-0765	A_Coulombe@shouldiceother.com
Dave Hendricks	Elite Coatings				

For \_\_\_\_\_  
Bid# \_\_\_\_\_

Date/Time



517-694-0117  
517-694-0359  
info@lauxconstruction.com  
www.lauxconstruction.com

## Pre-Bid Meeting Agenda

### Lansing School District North Elementary

(333 E Miller Rd, Lansing, MI 48911)

1/6/2026 @ 3:30PM EST

#### 1.) Introductions

#### 2.) Project Background / Scope of Work

#### 3.) Project Documents

- a. CM Project Manual
- b. Drawings by Colliers
- c. Flooring Assessment by Tri Terra

#### 4.) Important Dates

- a. Bid submission deadline: Tuesday, January 20, 2026 @ 2:00 pm
- b. Questions due: Friday, January 9, 2026 @ 5:00 pm
- c. Project Start: June 2026
- d. Substantial Completion: Mid-August 2026

#### 5.) Bidding Requirements:

- a. Accepting bids for multiple work categories only at this time. (See Project Manual)
- b. THREE (3) Hard copies need to be submitted in a sealed envelope to the Lansing School District by 2:00 pm on 1/20. Late submissions will not be accepted. Emailed submissions will not be accepted. Submit to 519 W. Kalamazoo Lansing, MI.
- c. 5% bid security is required.
- d. Use the bid form and LSD documents provided in the project manual for submission. Do NOT submit your own quote form.
- e. Prevailing wages/certified payroll is NOT required.**
- f. There will be a public bid opening immediately following the deadline at LSD. Results will NOT



1018 Hogsback Road, Mason, MI 48854



be distributed to anyone after the bid opening has concluded.

- g. Post bid interviews will be held via TEAMS on January 21st, 22nd, and 23rd. Times TBD.
- h. Questions are to be emailed to [estimating@lauxconstruction.com](mailto:estimating@lauxconstruction.com) and [max@lauxconstruction.com](mailto:max@lauxconstruction.com)

#### 6.) Project Administration

- a. Laux is the construction manager. All trade contractors will receive a work order from Laux.
- b. Trade contractors will receive access to Procore project management software and will be expected to utilize it for submittals, RFI's, closeouts, and project document access.
- c. SOV's will be required from each trade contractor and will need to be broken down by labor and materials.
- d. Pay applications are due to Laux on the 15<sup>th</sup> of each month in AIA format. Only work that is either completed or stored may be billed for. No projections.
- e. IOM's, warranties, and as-builts will be required before release of final payment.
- f. A mandatory kickoff meeting will be held with trade contractors at the site. Weekly progress meetings will be held on TEAMS and onsite every other week (mandatory for all trade contractors).

#### 7.) Site

- a. Hard hats, work boots, long pants, sleeved shirts, and high vis will be required.
- b. No tobacco products, vaping, or e-cigarettes will be allowed on campus. No exceptions.
- c. No interaction with students or staff will be allowed.
- d. Laux will place a dumpster and outhouse on site for the duration of the project.
- e. Water and electricity from the facility may be used by trades.
- f. Cleanup, as required to maintain a safe and orderly site, will be required by all trades. Laux will provide clean up of "undefinable" items (not directly related to a trade).

#### 8.) Questions

#### 9.) Site Walkthrough



**LSD North Elementary**  
**Post Bid Interview Schedule**

**Interviewer:** **Max Griffith**  
WC02A 1/21 8:00-8:20  
WC02A 1/21 8:30-8:50

**Interviewer:** **Max Griffith**  
WC08A 1/21 11:00-11:20  
WC08A 1/21 11:30-11:50

**Interviewer:** **Max Griffith**  
WC09A 1/21 1:00-1:20  
WC09A 1/21 1:30-1:50

**Interviewer:** **Max Griffith**  
WC09B 1/21 2:00-2:20  
WC09B 1/21 2:30-2:50

**Interviewer:** **Max Griffith**  
WC09C 1/21 3:00-3:20  
WC09C 1/21 3:30-3:50

**Interviewer:** **Max Griffith**  
WC10A 1/22 8:00-8:20  
WC10A 1/22 8:30-8:50

**Interviewer:** **Max Griffith**  
WC22A 1/22 9:00-9:20  
WC22A 1/22 9:30-9:50

**Interviewer:** **Max Griffith**  
WC26A 1/22 10:00-10:20  
WC26A 1/22 10:30-10:50

# **SUBSTITUTION REQUEST**

**(During the Bidding/Negotiating Phase)**



**PROJECT:** North Elementary School

TO: Laux Construction  
Max Griffith  
RE: Substitution Request

**SUBSTITUTION  
REQUEST NUMBER:** Z-1

**FROM:** Balfrey-Johnston, Inc

DATE: 1-5-26

A/E PROJECT NUMBER: 25-1118

**CONTRACT FOR:** WC 22A Plumbing

**SPECIFICATION TITLE:** North Elementary School  
**SECTION:** \_\_\_\_\_ **PAGE:** P101

## Plumbing Fixtures

**PROPOSED SUBSTITUTION:** Zurn Finish Plumbing  
**MANUFACTURER:** Zurn **ADDRESS:** 5900 Elwin Buchanan, Sanford, NC **PHONE:** 800-997-3786  
**TRADE NAME:** Zurn Finish Plumbing **MODEL NO.:** Various

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified. Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

**SUBMITTED BY:** Dick Vredevoogd, Specification Manager  
*Dick Vredevoogd*

**SIGNED BY:**

**FIRM:** Balfrey-Johnston, Inc

**ADDRESS:** 13050 Northend Ave Oak Park MI 48237

**TELEPHONE:** 248-384-8781

### A/E's REVIEW AND RECOMMENDATION:

- Approve Substitution—Make submittals in accordance with Specification Section 01 33 00 Submittal Procedures.
- Approve Substitution as noted—Make submittals in accordance with Specification Section 01 33 00 Submittal Procedures.
- Reject Substitution—Use specified materials.
- Substitution Request received too late—Use specified materials.

**SIGNED BY:**

DATE:

**SUPPORTING DATA ATTACHED:**  **Drawings**  **Product Data**  **Samples**  **Tests**  **Reports**



**SECTION 01 25 19.01 - SUBSTITUTION REQUEST FORM**

DATE: 1-5-26

TO: Laux Construction

ATTENTION: Max Griffith max@lauxconstruction.com

PROJECT: LSD North Elementary Interior Renovations: Bid Package 1

We submit for your consideration the following product as a substitution for the specified product:

Section No.	Paragraph	Specified Product
	<u>Plan P101</u>	<u>Plumbing Fixture List</u>

Proposed Substitution:

Zurn Finish Plumbing Fixtures per attached

Reason for Substitution:

Requesting Zurn be considered equal to the specified fixtures on Plan Page P101

Product Data:

Attach complete technical data for both the specified product and the proposed substitution. Include information on changes to Contract Documents that the proposed substitution will require for its proper installation.

Samples:

X Attached        Will be furnished upon request

Does the substitution affect dimensions shown on Drawings?

X No        Yes (explain)

Effects of proposed substitution on other Work:

No effect on other work

Differences between proposed substitution and specified Product:



Lansing School District  
North Elementary Interior Renovations -BP 1  
01 25 19.01-Substitution Request Form

Alternate manufacturer providing equal quality products

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Manufacturer's warranties of the proposed substitution are:

Same       Different (explain)

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Maintenance service and spare parts are available for proposed substitution from:

Parts available from local Zurn distributors

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Previous installations where proposed substitution may be seen:

Project: Haverhill Elementary School-Portage

Project: Redford Township Library

Owner: Haverhill Elementary School

Owner: Redford Township

Architect: Tower Pinkster

Architect: MCD Architects

Date Installed: \_\_\_\_\_

Date Installed: \_\_\_\_\_

Cost savings to be realized by Owner, if proposed substitution is approved:

N/A Pre bid request

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Change to Contract Time, if proposed substitution is approved:

No Change       Add \_\_\_\_\_ days       Deduct \_\_\_\_\_ days

Submittal constitutes a representation that Contractor has read and agrees to the provisions of Section 01 20 00.

Submitted by Contractor:

Firm Name Balfrey-Johnston, Inc

Date 1-5-26

Name Dick Vredevoogd, Specification Manager

Signature Dick Vredevoogd



Lansing School District  
North Elementary Interior Renovations -BP 1  
01 25 19.01-Substitution Request Form

For Use by Design Professional:

Based on the information supplied by the Contractor the Design Professional has reviewed the proposed substitution on the basis of design concept of the Work and conformance with information given in Contract Documents.

Approved     Approved as Noted     Rejected

Submit Additional Information:

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Firm Name Classic Engineering

Date 01/06/26

Name Larry Wood

Signature 

**Architectural/Engineering Specification:**

Exposed, quiet diaphragm-type, chrome plated flushometer valve with a polished exterior. Complete with a chloramine resistant, dual seal diaphragm with a clog resistant by-pass. The valve is ADA compliant with a nonhold open and no leak handle feature. Internal seals are made of chloramine resistant materials.

**PRODUCT FEATURES:**

- Control Stop has internal siphon-guard protection, sweat solder kit, wall flange with set screw.
- High back pressure vacuum breaker with one piece hex coupling nut
- Chloramine resistant Internal seals
- Adjustable tailpiece
- Spud coupling and flange for top spud connection

**VALVE HEIGHT OPTIONS:**

	Vacuum Tube Length	Rough-in Height "A"
<input checked="" type="checkbox"/> Standard	8-1/2" [216"]	11-1/2" [292]
<input type="checkbox"/> -1	13" [330]	16" [406]
<input type="checkbox"/> -2	21" [533]	24" [610]
<input type="checkbox"/> -3	24" [610]	27" [686]

**FLOW OPTIONS:**

	Flush Volume	Dual Flush	*WaterSense Labeled
<input type="checkbox"/> -ONE	1.1 gpf		X
<input type="checkbox"/> -HET	1.28 gpf	1.28/1.1 gpf	X
<input checked="" type="checkbox"/> -WS1	1.6 gpf	1.6/1.1 gpf	
<input type="checkbox"/> -Standard	3.5 gpf		

**SUFFIX OPTIONS:**

<input type="checkbox"/> -BG	BioCare ADA Handle
<input type="checkbox"/> -DF	Dual Flush
<input type="checkbox"/> -H	Handle on Front of Flush Valve
<input type="checkbox"/> -L	1" [25mm] Metal Push Button
<input type="checkbox"/> -VC	Vandal Resistant Stop Cover
<input type="checkbox"/> -YJ	Split Ring Pipe Support
<input type="checkbox"/> -YK	Solid Ring Pipe Support

**Product Compliance:**

ADA

ASSE 1037/ASME A112.1037/CSA B125.37

ASSE 1037

CSA B125.37, CSA 125.3

IPC

WaterSense

\*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.



\*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

*\*Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

[Installation Guide - FV250.pdf](#)

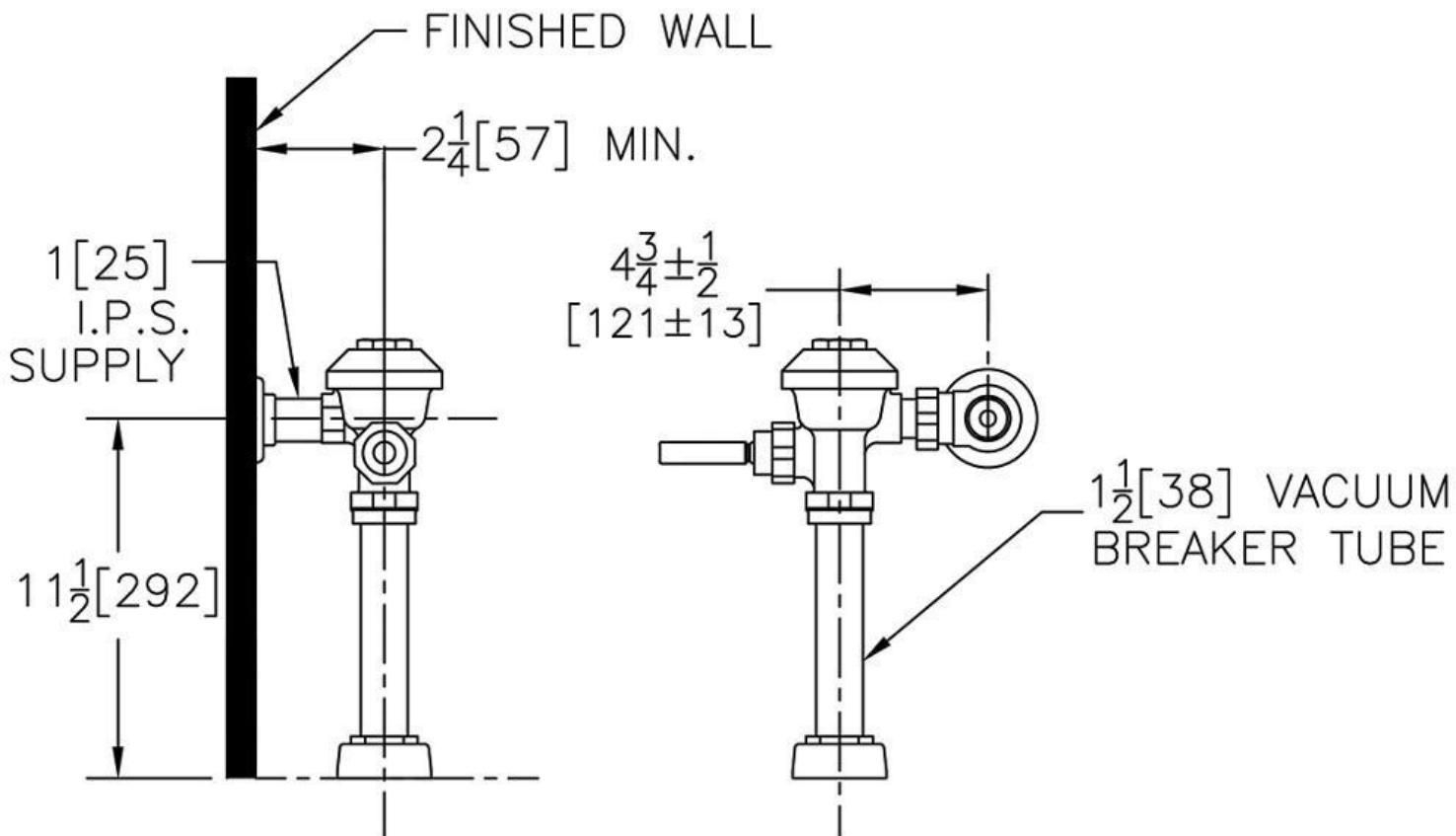
Architectural/Engineering Approval

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

⚠ WARNING: Cancer and Reproductive Harm - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)

⚠ ADVERTENCIA: Cáncer y daño reproductivo - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)

⚠ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)



NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

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**Architectural/Engineering Specification:**

Vitreous China, 1.1 gpf [4.2 Lpf] or greater high efficiency wall hung toilet with siphon jet flushing action, elongated front rim with 1-1/2" [39mm] top spud. Universal high efficiency toilet is designed to exceed industry standards with flush volumes of 1.1 gallons per flush.

**PRODUCT FEATURES:**

- Zurn High Efficiency Toilets and paired performance flush valve systems are designed to exceed industry standards, while using as little as 1.1 gallons of water per flush.
- Universal high efficiency toilet can be specified with 1.1 gpf [4.2 Lgf], 1.28 gpf [4.8 Lpf], 1.6 gpf [6.0 Lpf] or dual flush valves.
- Vitreous china
- ZurnSHIELDTM ceramic glaze creates a permanent surface that protects the fixture by inhibiting the growth of stain and odor causing mold, mildew and bacteria, thus reducing the amount of time, chemicals and water to clean the bowl.
- Elongated front rim
- 2-1/8" fully glazed trapway
- High efficiency siphon jet flush action
- Shipping Weight: 40 lbs.
- System MaP score of 1,000 grams at 1.28 gpf with Zurn Flush Valve
- Static weight load of 1,000 lbs\*

**Product Compliance:**

ASME A112.19.2/CSA B45.1  
CEC  
CSA B45.1  
IPC  
WaterSense



\*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

\*Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.

**VARIANT OPTIONS:**

<input checked="" type="checkbox"/>	Z5615-BWL	Top spud toilet
<input type="checkbox"/>	Z5615-BWL-AM	Top spud toilet with ZurnSHIELD™ glaze

**Recommended Trim:**

<input type="checkbox"/>	Z5610-NUT-EXT-KIT	Retrofit nut kit for extending carrier studs from existing wall
<input type="checkbox"/>	Z1201 or Z1202	EZCarry™ 500 lbs load rated High Efficiency Carrier
<input type="checkbox"/>	Z5955SS-EL	Elongated, standard white, open front toilet seat less cover with stainless steel check hinge

[Installation Guide - fv868.pdf](#)

**Z5615-BWL ZURN ONE SYSTEMS**

Complete fixture package with bowl, flush valve, seat and trim

Item Number	Description	Flush Valve GPF
<input type="checkbox"/> Z.WC1.M	Manual Z6000AV-ONE system	1.1
<input type="checkbox"/> Z.WC1.S	EZ Flush ZER6000AV-ONE-SM system	1.1
<input type="checkbox"/> Z.WC1.S.TM	Top Mount Sensor ZER6000AV-ONE system	1.1
<input type="checkbox"/> Z.WC2.M	Manual Z6000AV-HET system	1.28
<input type="checkbox"/> Z.WC2.S	EZ Flush ZER6000AV-HET-SM system	1.28
<input type="checkbox"/> Z.WC2.S.TM	Top Mount Sensor ZER6000AV-HET system	1.28

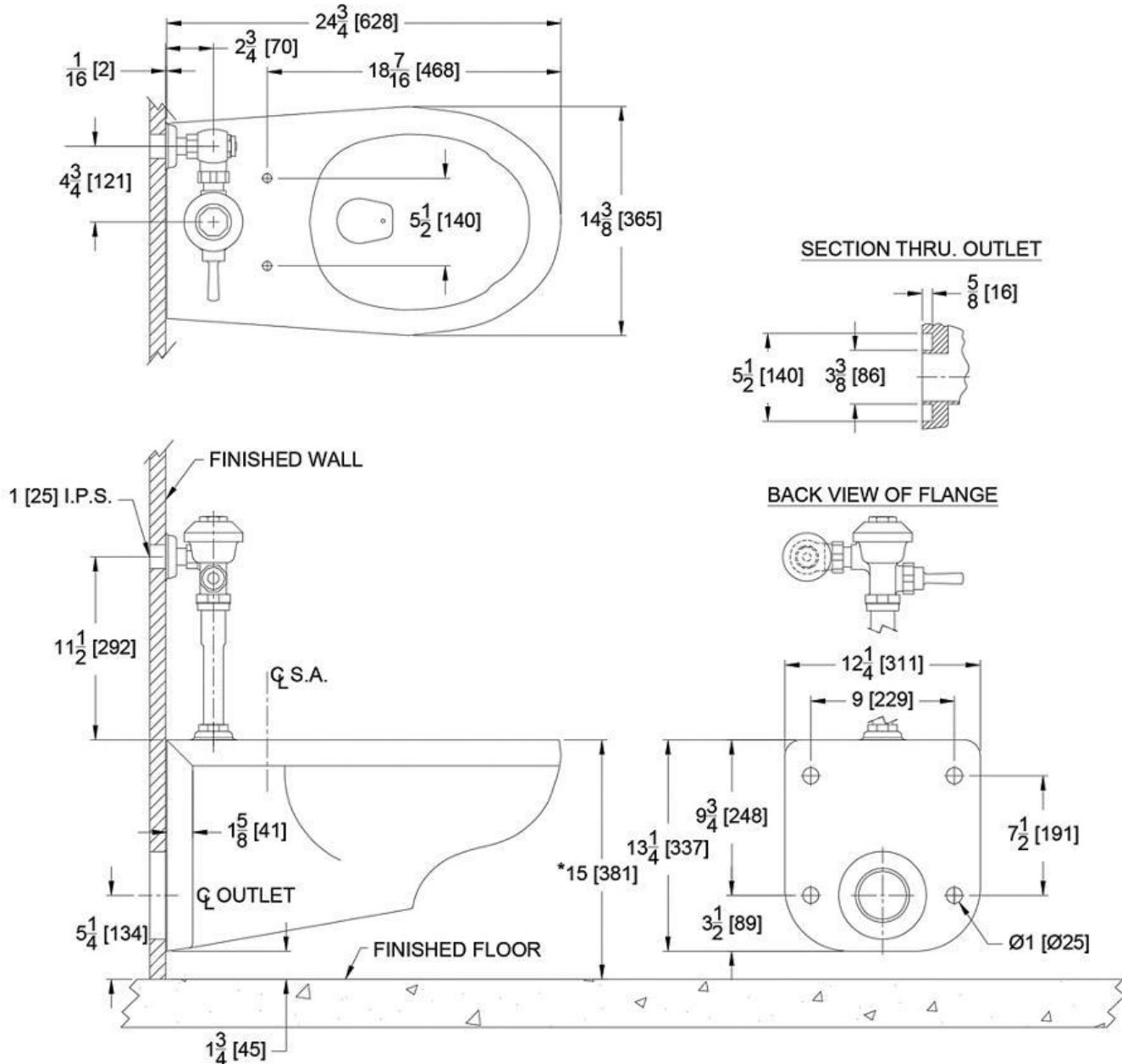
Architectural/Engineering Approval

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\*NOTE: For ADA compliance, top of seat height should be installed at 17" [431mm] - 19" [482mm] from finished floor.

NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

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# Z5755-U

TAG U-1

## Omni-Flo™ Top Spud Urinal 0.125 gpf to 1.0 gpf



\*Shown with  
ZTR6203 Flush Valve

### Z5755 SERIES

#### Recommended Trim:

##### **ZTR6203-ULF-LL\***

Sensor Long Life Battery Operated Urinal  
Flush Valve. 0.125 gpf[0.5 Lpf]

##### **ZTR6203-QRT-LL\***

Sensor Long Life Battery Operated Urinal  
Flush Valve. 0.25 gpf[1.0 Lpf]

##### **ZTR6203-EWS-LL\***

Sensor Long Life Battery Operated Urinal  
Flush Valve. 0.5 gpf [1.9 Lpf]

##### **ZTR6203-WS1-LL**

Sensor Long Life Battery Operated Urinal  
Flush Valve. 1.0 gpf [3.8 Lpf]

\*This product should be used with a  
WaterSense labeled counterpart with a  
compatible flush volume to ensure that the  
entire system meets the requirements for



These dimensions and specifications are subject to change without notice.

Fixture dimensions meet ANSI/ASME standard A112.19.2 and CAN/CSA B45 requirements.

Meets the American Disabilities Guidelines and ANSI A117.1 requirements when urinal is installed 432mm (17") from finished floor.

ZURN INDUSTRIES, LLC. ♦ COMMERCIAL BRASS OPERATION  
5900 ELWIN BUCHANAN DRIVE ♦ SANFORD NC 27330  
PHONE: 1-800-997-3876 ♦ FAX: 919-775-3541  
WWW.ZURN.COM

IN CANADA: ZURN INDUSTRIES LIMITED  
7900 GOREWAY DRIVE UNIT 10 ♦ BRAMPTON, ONTARIO L6T5W6  
PHONE: 905-405-8272 FAX: 905-405-1292

EcoVantage® is a registered trademark of Zurn Industries, LLC.

### Z5755 Urinal Series

- Zurn Ultra Low Consumption Urinal designed for optimal performance when paired with Zurn flush valve to save water while exceeding industry performance standards
- Based on flush valve it can flush 0.125 gpf [0.5 Lpf] to 1.0 gpf [3.8 Lpf]
- Vitreous china
- Asymmetric backwall resulting in reduced splash back
- Patent Pending
- High efficiency washdown flushing action
- Oversized footprint to make retrofit easy
- 3/4" top spud
- 2" I.P.S. outlet flange and rubber gasket with integral trap
- 14" extended rim for handicap compliance when installed at proper height
- Vandal resistant outlet strainer included
- Shipping Weight: 60 lbs.

### Engineering Specification:

#### **Z5755 EcoVantage® Urinal**

0.125 gpf [0.5 Lpf] to 1.0 gpf [3.8 Lpf] vitreous china, wall hung, integral trap, washdown urinal complete with 3/4" top spud connection, concealed universal retrofit wall bracket, 2" outlet connection and vandal resistant outlet strainer.

\*Replaces Zurn Z5750 and Z5798-U



This space is for Architectural/engineering Approval

See Zurn One Systems for suggested packages.

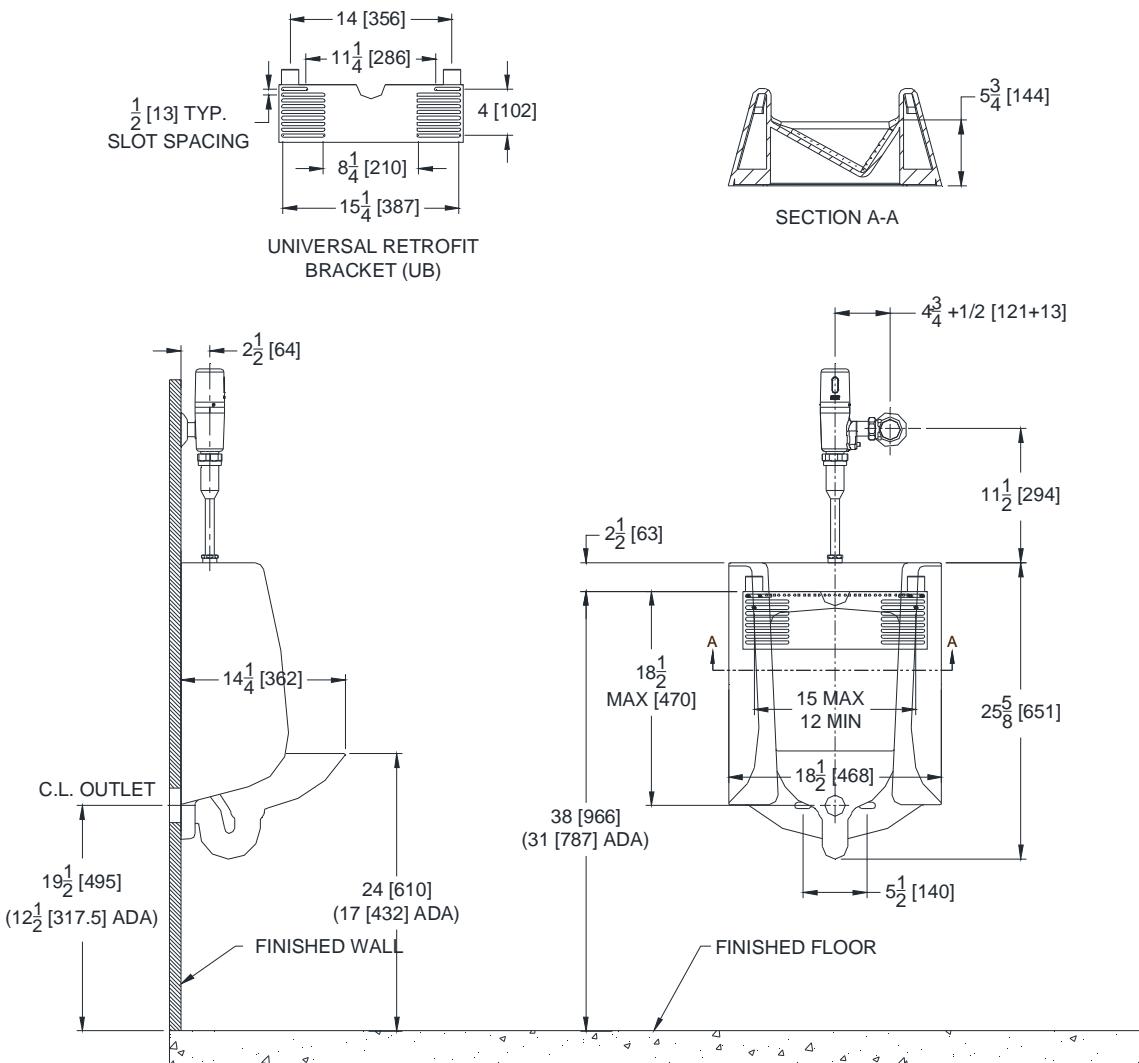
The information contained in this document is subject to change without notice.  
Please contact Zurn for most up to date information.

**Z5755-U**

TAG U-1

**Omni-Flo™ Top Spud Urinal**  
**0.125 gpf to 1.0 gpf**

Rough-in dimensions for Z5755-U Series



These dimensions and specifications are subject to change without notice.

Fixture dimensions meet ANSI/ASME standard A112.19.2 and CAN/CSA B45 requirements.

Meets the American Disabilities Guidelines and ANSI A117.1 requirements when urinal is installed 432mm (17") from finished floor.



ZURN INDUSTRIES, LLC. ♦ COMMERCIAL BRASS OPERATION  
5900 ELWIN BUCHANAN DRIVE ♦ SANFORD NC 27330

PHONE: 1-800-997-3876 ♦ FAX: 919-775-3541  
WWW.ZURN.COM

IN CANADA: ZURN INDUSTRIES LIMITED  
7900 GOREWAY DRIVE UNIT 10 ♦ BRAMPTON, ONTARIO L6T5W6  
PHONE: 905-405-8272 FAX: 905-405-1292

**Architectural/Engineering Specification:**

Exposed, quiet diaphragm-type, chrome plated flushometer valve with a polished exterior. Complete with a chloramine resistant, dual seal diaphragm with a clog resistant by-pass. The valve is ADA compliant with a nonhold open and no leak handle feature. Internal seals are made of chloramine resistant materials.

**PRODUCT FEATURES:**

- Control Stop has internal siphon-guard protection, sweat solder kit, wall flange with set screw.
- High back pressure vacuum breaker with one piece hex coupling nut
- Chloramine resistant Internal seals
- Adjustable tailpiece
- Spud coupling and flange for top spud connection

**VALVE HEIGHT OPTIONS:**

	Vacuum Tube Length	Rough-in Height "A"
<input checked="" type="checkbox"/> Standard	8-1/2" [216"]	11-1/2" [292]
<input type="checkbox"/> -1	13" [330]	16" [406]
<input type="checkbox"/> -2	21" [533]	24" [610]
<input type="checkbox"/> -3	24" [610]	27" [686]

**FLOW OPTIONS:**

	Flush Volume	*WaterSense Labeled
<input type="checkbox"/> -ULF	0.125 gpf	X
<input type="checkbox"/> -EWS	0.5 gpf	X
<input checked="" type="checkbox"/> -WS1	1.0 gpf	
<input type="checkbox"/> -Standard	1.5 gpf	

**SUFFIX OPTIONS:**

<input type="checkbox"/> -BG	BioCare ADA Handle
<input type="checkbox"/> -D1	1" Supply
<input type="checkbox"/> -H	Handle on Front of Flush Valve
<input type="checkbox"/> -HL	1" [25mm] Metal Push Button on Front
<input type="checkbox"/> -L	1" [25mm] Metal Push Button
<input type="checkbox"/> -VC	Vandal Resistant Stop Cover
<input type="checkbox"/> -YJ	Split Ring Pipe Support
<input type="checkbox"/> -YK	Solid Ring Pipe Support

**Product Compliance:**

ADA

ASSE 1037/ASME A112.1037/CSA B125.37

ASSE 1037

CSA B125.37

IPC

WaterSense

\*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.



\*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

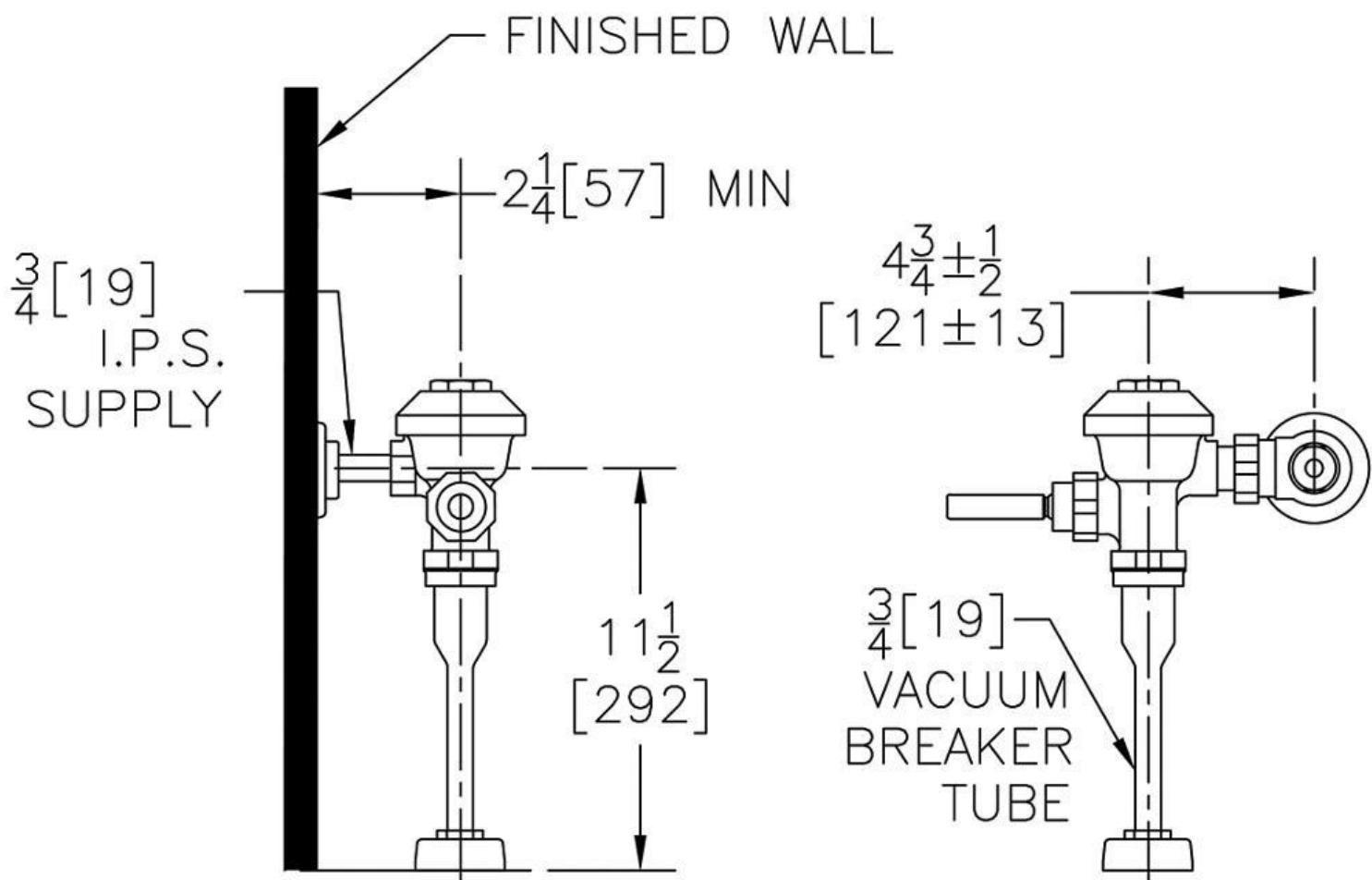
\*Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.

[Installation Guide - FV250.pdf](#)

Architectural/Engineering Approval

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

⚠ WARNING: Cancer and Reproductive Harm - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)  
 ⚠ ADVERTENCIA: Cáncer y daño reproductivo - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)  
 ⚠ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - [www.P65warnings.ca.gov](http://www.P65warnings.ca.gov)



NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

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**Architectural/Engineering Specification:**

20" [508 mm] x 18" [457 mm] vitreous china wall hung lavatory.  
Provided with hanger plate and holes for concealed arm carrier systems.

- 20" [508 mm] x 18" [457 mm] Vitreous china
- 4" high back splash
- Faucet holes for single, 4", or 8" centers
- Wall hung lavatory provided with wall hanger or for use with concealed arm carrier systems
- Front overflow
- Waste: 1-1/4" O.D.
- Depth: 5-3/4"
- Shipping Weight: 42 lbs

**Product Compliance:**

ADA  
ASME A112.19.2/CSA B45.1  
CSA B45.1  
IPC

\*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.

*\*Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

**CONFIGURATIONS:**

<input type="checkbox"/>	Z5361	Sink with single faucet hole
<input checked="" type="checkbox"/>	Z5364	Sink with 4" [102mm] center faucet holes
<input type="checkbox"/>	Z5368	Sink with 8" [203mm] center faucet holes

**RECOMMENDED TRIM:**

<input type="checkbox"/>	Z8743-PC	Grid Strainer
<input type="checkbox"/>	Z8700 Series	P-Trap
<input type="checkbox"/>	Z8800 Series	Top with Flexible Supplies
<input type="checkbox"/>	Z8946-1-NT	ADA Trap, Stop, and Supply Protectors

**OPTIONAL TRIM:**

<input type="checkbox"/>	Z8746-PC	ADA Grid Strainer
<input type="checkbox"/>	Z8946-3-NT	ADA Trap, Stop, and Supply Protectors for Offset Grid Strainer

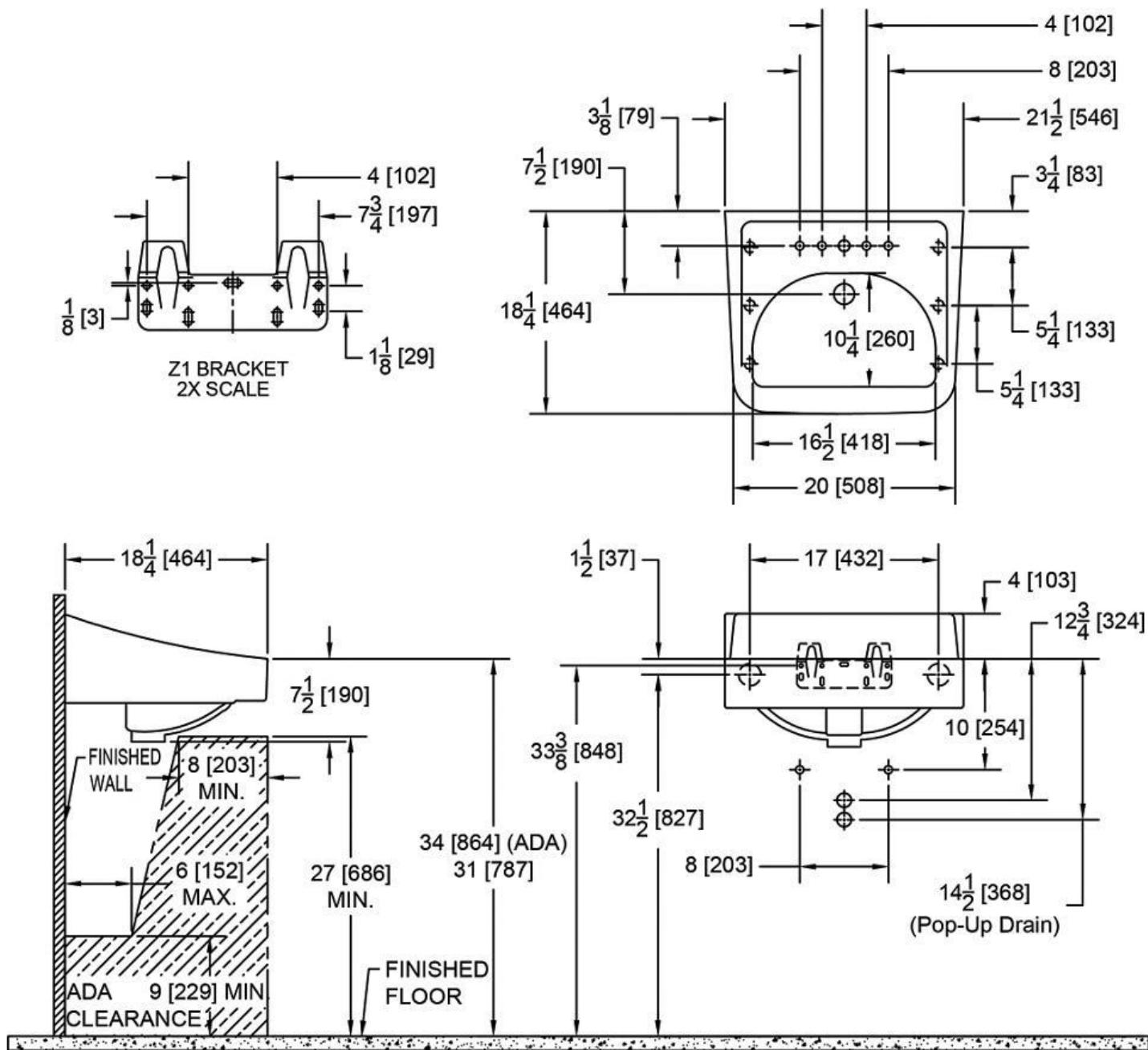
Architectural/Engineering Approval

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# **Lansing School District North Elementary (Interior Renovation)**

AE Project 25-1118

CM Project 25070

LSD SO Project 1844

**333 E. Miller Rd  
Lansing, MI 48911**

**Bid Package 1**

November 18, 2025

## TABLE OF CONTENTS

<b>SECTION NUMBER</b>	<b>SECTION TITLE</b>
---------------------------	--------------------------

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### **DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS**

00 11 00	Advertisement for Bids
00 30 00	Available Project Information
00 41 00	Bid Form
	LSD Supplier/Vendor Application
	LSD Commodity List
	LSD Statement of No Bid
	Affidavit of Bidder-Familial Disclosure
	Non-Discrimination in Employment Certification
	LSD Non-Discrimination Policy
	Affidavit of Bidder-Non Collusion
	Iran Economic Sanctions Act Certificate
	Legal Status of Bidder
	LSD General Conditions and Instructions to Bidders
	LSD Purchasing Policy

### **DIVISION 01 - GENERAL REQUIREMENTS**

01 20 00.01	Price and Payment Procedures (includes alternates, allowances, and unit prices)
01 25 19.01	Substitution Request Form
01 50 00.01	Temporary Facilities and Controls

### **OTHER**

#### Work Category Descriptions

- General Requirements for All Trades (includes Preliminary Project Schedule)
- WC 02A Demolition / Abatement
- WC 08A HM Doors, Wood doors, Frames, HW
- WC 09A Carpentry and Interiors
- WC 09B Floor Coverings
- WC 09C Painting
- WC 10A Specialties
- WC 12A Furnishings
- WC 22A Plumbing / Mechanical
- WC 26A Electrical / Fire Alarm

Sample Work Order/Purchase Order  
A201-2017 (For Reference)



## **DOCUMENT 00 30 00 - AVAILABLE PROJECT INFORMATION**

### **1.1 Documents**

- A. Project manual by Laux Construction, dated December 23, 2025.
- B. Drawings by Colliers Engineering and Design, dated November 18, 2025.
- C. Lansing School District Flooring Assessment Report, dated December 23, 2025
- D. North Elementary Furniture Package

**END OF DOCUMENT**



**DOCUMENT 00 41 00 - BID FORM**

**DATE** \_\_\_\_\_

**PROJECT** **North Elementary Interior Renovations  
Bid Package #1**

**OWNER** Lansing School District

**DESIGN PROFESSIONAL** Colliers Engineering and Design

**BIDDER** \_\_\_\_\_

**WORK CATEGORY** \_\_\_\_\_

**1.1 ACKNOWLEDGEMENTS**

- A. Bidder accepts the provisions of Bidding Documents.
- B. Bidder will enter into a contract with the Construction Manager for this work within 10 days after notification of acceptance of this Bid.
- C. Bidder will complete the Work in accordance with the Bidding Documents prepared by Colliers/Laux Construction.
- D. Bidder has received the following Addenda:

No. \_\_\_\_\_ Dated \_\_\_\_\_, 20\_\_\_\_

**1.2 BID SUMS**

- A. Base Bid: Bidder will complete the Project for stipulated sum of: \$\_\_\_\_\_

\_\_\_\_\_  
Dollars and 00/100----



B. Alternate Bids:

• **Work Category 02A- Demolition / Abatement**

- Alternate #1 – Demo existing ceiling grid  
Add to Base Bid \$\_\_\_\_\_

• **Work Category 09A- Carpentry and Interiors**

- Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.  
Add to Base Bid \$\_\_\_\_\_

C. Unit Prices:

**Work Category 09B – Flooring**

Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

\$\_\_\_\_\_ /sf

**Work Category 26A—Electrical**

Lineal foot cost to add/delete conduit support, including low voltage, from the 500 If that is to be included in the base bid of this work category.

\$\_\_\_\_\_ /lf

**1.3 TIME FOR PERFORMANCE OF WORK**

A. All work is to be completed in order for the school to be occupied and operational no later than August 21, 2026

**1.4 EMR Ratings:**

A. 2023 \_\_\_\_\_

B. 2024 \_\_\_\_\_

C. 2025 \_\_\_\_\_

Submitted by:

Firm Name \_\_\_\_\_ By \_\_\_\_\_

Street Address \_\_\_\_\_ Signature \_\_\_\_\_



Lansing School District  
North Elementary Interior Renovations -BP 1  
00 41 00-Bid Form

City, State and Zip Code \_\_\_\_\_

Title \_\_\_\_\_

Telephone \_\_\_\_\_

Bidder is a (corporation) (partnership) (sole proprietorship) (Bidder strike out inapplicable terms)

Corporations affix Corporate Seal

State in which incorporated \_\_\_\_\_

END OF DOCUMENT



## SECTION 01 20 00.01 - PRICE AND PAYMENT PROCEDURES

### • GENERAL

#### .1 CASH ALLOWANCES

A. Cash Allowances: The following allowances are to be included in the base bid for the respective work categories listed below. Allowances will be only be utilized at the owner's discretion and written authorization.

- **Work Category 02A—Demolition / Abatement**

Allowance #1: 10,000 to be used at Owner's discretion.

- **Work Category 09A – Carpentry / Interiors**

Allowance #1: \$5,000 to be used at Owner's discretion.

- **Work Category 09B – Floor Coverings**

Allowance #1: \$2,500 to be used at Owner's discretion

Allowance #2: \$300 Material allowance for replacement in observation area

- **Work Category 09C— Painting**

Allowance #1: \$2,500 to be used at Owner's discretion.

- **Work Category 10A — Specialties**

Allowance #1: \$2,500 to be used at Owner's discretion.

- **Work Category 22A – Plumbing / Mechanical**

Allowance #1: \$7,500 to be used at Owner's discretion.

- **Work Category 26A – Electrical / Fire Alarm**

Allowance #1: \$5,000 to be used at Owner's discretion.

#### .2 UNIT PRICES

A. Unit Prices: The following unit prices will be used to establish rates for extra work and/or evaluation of bids by the CM.

- **Work Category 09B – Flooring**

Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

\$ \_\_\_\_\_ /sf



- **Work Category 26A—Electrical**

Lineal foot cost to add/delete conduit support, including low voltage, from the 500 If that is to be included in the base bid of this work category.

\$ \_\_\_\_\_ /lf

.1 ALTERNATES

- **Work Category 02A- Demolition / Abatement**

○ Alternate #1 – Demo existing ceiling grid  
Add to Base Bid \$ \_\_\_\_\_

- **Work Category 09A- Carpentry and Interiors**

○ Alternate #1 – Replace all ceiling grid  
Add to Base Bid \$ \_\_\_\_\_

.2 PRODUCT SUBSTITUTIONS

- Substitutions during Bidding: Only substitutions submitted and approved via written addendum PRIOR TO SUBMISSION OF BIDS.
- Submit substitution requests to Laux Construction via e-mail to [max@lauxconstruction.com](mailto:max@lauxconstruction.com)
- Requests are to be submitted on the form provided in Section 01 2519.01

.3 REQUESTS FOR INFORMATION (RFI)

- Definition: Request from trade contractors/vendors seeking interpretation or clarification of Contract Documents not involving Substitutions or changes to Contract Sum or Contract Time.
- Do not submit RFI's to request approval of Substitution, request changes involving changes to Contract Sum or Contract Time, request approval of submittals, or to submit Project Record Documents.
- Submit electronically via email to [max@lauxconstruction.com](mailto:max@lauxconstruction.com)
- Questions are to be submitted no later than 5:00 pm on Friday, January 9, 2026.

.4 CONTRACT MODIFICATION PROCEDURES

- Architect's Supplemental Instructions: Design Professional will advise of minor changes in Work not involving an adjustment to Contract Sum or Contract Time as authorized by the Conditions of the Contract.
- Bulletins:
  - Construction Manager may issue a bulletin detailing a proposed change with supplemental or revised Drawings and Specifications.
  - Submit estimate of any change to Contract Sum or Contract Time within 5 days after receipt.
  - Submit electronically in Adobe PDF format.
  - Do not proceed with change until a written authorization from Laux Construction is received.
- Contractor Proposed Changes:
  - Describe proposed change, reason for change, effect on Work, and any changes to Contract Sum or Contract Time.
  - Document proposed substitutions in accordance with Section 01 20 00.
  - Submit electronically in Adobe PDF format.
- Construction Change Directive: Construction Manager may issue a directive, pre-approved by Owner, instructing Trade Contractor/Vendor to proceed with a change for subsequent inclusion in a Change Order.



- E. Change Orders: Change Orders will be prepared by the construction manager for signature of parties as provided in Conditions of the Contract.
- .5 SCHEDULE OF VALUES
  - A. Submit Schedule of Values (for contracts totals over \$5,000) to construction manager within 5 days of receipt of contract.
    - 1. If requested, furnish data to support values given.
    - 2. Approved Schedule of Values will be used as basis for reviewing trade contractors'/vendors' Applications for Payment.
  - B. Format: Use Table of Contents of Project Manual as basis for listing costs of work.
    - 1. List values in sufficient detail to serve as basis for computing values for progress payments.
    - 2. When payment is requested for stored materials, break down value into cost of materials and total installed value.
    - 3. Total of costs listed in Schedule shall equal Contract Sum.
  - C. Review and Resubmittal:
    - 1. After review by Owner and CM/Design Professional, revise and resubmit if required.
    - 2. Resubmit along with next Application for Payment when Change Orders are issued. List each Change Order as new line item.
- .6 APPLICATIONS FOR PAYMENT
  - A. Format: AIA Document G702 - Application and Certification for Payment, supported by AIA Document G703 - Continuation Sheet.
  - B. Use data from approved Schedule of Values as basis. Provide dollar value in each column for each line item representing portion of work performed.
  - C. List each authorized Change Order as separate line item.
  - D. When Owner or CM/Design Professional require substantiating information, submit data justifying dollar amounts in question.
  - E. Only work that has been completed or stored can be invoiced for. Projections will not be permitted on monthly pay applications.
  - F. Ten (10%) percent retainage will be required on monthly pay applications.
  - G. Further information regarding pay application process will be provided at the project kickoff meeting.

- **PRODUCTS**

Not used

- **EXECUTION**

Not used

END OF SECTION

---

## Work Category 02A: Demolition / Abatement

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering Design drawings date 11-18-25
2. Provide legal, off-site disposal of all debris generated by this work category.
3. Provide containment and dust control measures required to prevent spread of dust/debris/contaminants outside of immediate work areas.
4. Provide protection of HVAC system from intake of airborne dust/debris.
5. Provide temporary protection of surrounding finishes/fixtures to remain (Plastic/Masonite/ramboard,etc.)
6. Provide shoring as necessary at areas of structural demo. Leave shoring in place until completion of structural work. Remove when structural work is complete.
7. Provide demolition and abatement work depicted on the plans per all demo and removal key notes
8. Coordinate with Tri-Terra for air monitoring and testing as needed for abatement work.
9. Provide proper disposal of all items removed.
10. Remove and salvage doors and hardware scheduled to be re-used, turn over to GC for future construction prep
11. Protect existing Door frames, TV's, Display boards, conduit to remain
12. Re-locate existing LSD rolling refrigerators to room 205 and/or per LSD direction.

---

### Alternates:

1. **Work Category 02A- Demolition / Abatement**
  - a. Alternate #1 – Demo existing ceiling grid  
Add to Base Bid \$ \_\_\_\_\_

### Allowances:

*Allowances are to be utilized at the owner's discretion and by their authorization only.*

1. \$10,000.00 to be used at Owner's discretion.

---

## Work Category 09A: Carpentry and Interiors

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Remove existing door hardware from doors that are scheduled to remain and turn over to owner for salvage. This is to be completed prior to start of demolition activities by WC 02A.
3. Temporary board up of windows and door openings as required.
4. Provide and install all wood backing and blocking for all items, including, but not limited to plumbing fixtures, bath accessories, bath partitions, owner provided furnishings, etc.
5. Patch all walls and ceilings where necessary from WC 02A demolition activities.
6. Receive, transport, and install HM doors, wood doors, and all associated hardware (provided by WC 08A)
7. Provide and install FRP-1 full height and trims on walls indicated and per manufacturers recommendations.
8. Provide new ceiling grid in areas scheduled.
9. Provide and install ACP-1 and ACP-2 as scheduled
10. Infill wall where door and frame was removed, match adjacent materials.
11. Install new doors and hardware into existing frames, provided by WC 08A, where specified.
12. Perform patching of wall where plumber is installing in-wall plumbing (Refer to P sheets).
13. Provide continuous firestopping sealant @ gyp as required.
14. Perform all modifications, repairs, and prep work required at existing frames to remain.  
Coordinate with WC 08A for existing frame prep to receive new doors as specified and noted.
15. Provide, hang, finish, and sand all gyp board as specified and in locations noted.
16. Patch and sand holes, dents, and rough areas at existing gyp bd to remain in work areas.
17. Provide containment and protection of surrounding areas during drywall finishing and sanding activities to prevent spread of dust and debris to other areas/finishes.
18. Upon completion of sanding activities, perform a thorough cleaning of all debris and dust generated by these activities. Vacuum dust from all surfaces utilizing a HEPA vac.
19. Touch up gyp board after priming activities are completed by
20. Patch all drywall ceiling affected by MEP trades.
21. Provide removal and reinstallation of ceiling grid/tile in areas scheduled to remain where MEP/Tech trades need to access space above for their work.
22. Extend existing wall to meet existing fire rating as needed

---



**Alternates:**

- Work Category 09A- Carpentry and Interiors
  - Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.

Add to Base Bid \$\_\_\_\_\_

**Allowances:**

\$5,000 to be used at Owner's discretion.

**END OF WORK CATEGORY**



## Work Category 09B: Floor Coverings

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Perform preparation of floor slab as required by manufacturers' recommendations.
3. Patch and prep floors due to demo activities as needed, as specified, and noted.
4. Provide and install all floor coverings per manufacturers' instructions, including:
  - a. EP-1– color TBD - with integral base. Prep and patch as required for new floor
  - b. EP2 – color TBD - with integral base. Prep and patch as required for new floor
  - c. Provide and install RB-1
5. Coordinate with WC 09A for wall infill and patch prior to integral base installation. Coordinate with WC 09A for FRP panel and trim installation
6. Provide moisture test of existing floor to confirm acceptable substrate for new flooring.

### Allowances:

1. \$2,500 to be used at Owner's discretion.
2. \$300 Material allowance for replacement in observation area

### Unit Prices:

1. Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

**END OF WORK CATEGORY**

---

## Work Category 09C: Painting

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering & Design plans dated 11/18/2025.
2. Provide complete protection of all surrounding finishes and surfaces during execution of scope under this WC. Clean up of any overspray, spillage, etc. will be the responsibility of this WC.
3. Provide and install caulk and joint sealants at perimeter of hollow metal door frames.
4. Apply one coat of primer to new gypsum board surfaces. Upon completion of priming activities, this WC is to mark any areas of concern (ie, defects, rough area, dents, etc.). WC 09A will patch and sand these areas ONE TIME.
5. Apply finish paint to gypsum board as specified and noted.
6. Apply filler material (i.e, bondo) over heads of HM frame anchors (ground down by WC 09A) and over slush holes in frames. Sand and prep for paint.
7. Paint hollow metal frames and doors. This WC to confirm compatibility of finish paint with factory primer.
8. Prep and paint existing frames to remain as noted. WC 09A will perform any major modifications/repairs. Painting WC to perform final touch ups/prep of frame prior to painting.
9. Prep and Paint brick wall as specified and noted
10. Prep and paint soffit as specified and noted
11. Prep and paint conduit as specified and noted, coordinate with WC 26A.
12. Prep and paint access panel and wall grilles and specified and noted, coordinate with WC 09A and 22A.

### Allowances:

1. \$2,500 to be used at Owner's discretion

**END OF WORK CATEGORY**

---

## Work Category 22A: Plumbing / Mechanical

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

#### **Plumbing**

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Provide plumbing permit and inspections by SOM BCC.
3. Demo existing plumbing fixtures and piping as indicated.
4. Furnish and install new fixtures as scheduled.
5. Provide and install insulation as required.
6. Field inspect existing fixture carriers and make adjustments as necessary for new fixtures.
7. Install penetration firestopping at any penetrations related to this scope of work as required.
8. Provide product data/shop drawing submittals separated by specification sections. Submittals with multiple sections grouped together as one file will not be accepted.
9. Coordinate with WC 09A for wall patching, and new wall finish prior to new fixture install.
10. Coordinate with WC 26A for final connections to new equipment.
11. Perform visual scope of UG/In wall plumbing from the cafeteria area to the center hallway by the main office. Provide video recording of the scope for engineers/owners review prior to start of any underground work.

#### **Mechanical**

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Provide mechanical permit and inspections by SOM BCC.
3. Demo existing diffusers, grilles, sensors and as indicated
4. Furnish and install new diffusers and grilles as scheduled
5. Furnish and install all materials/equipment as noted on M sheets.
6. Install penetration firestopping at any penetrations related to this scope of work as required.
7. Provide product data/shop drawing submittals separated by specification sections. Submittals with multiple sections grouped together as one file will not be accepted.
8. Coordinate with WC 09A for wall and ceiling patching and adjustments prior to new device install.
9. Perform pre-test and balance and post-test and balance, provide reports before and after work commences.

---

### Allowances:

*Allowances are to be utilized at the owner's discretion and by their authorization only.*

1. \$5,000 to be used at Owner's discretion.



## Work Category 12A: Furnishings

### Specific Notes/Scope:

*The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.*

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering Design drawings date 11-18-25
2. Furnish and install all furniture listed in the Furniture package
3. Furnish and install a complete furniture package, including delivery and set up.
4. Provide protection of adjacent and existing materials during the delivery and set up.

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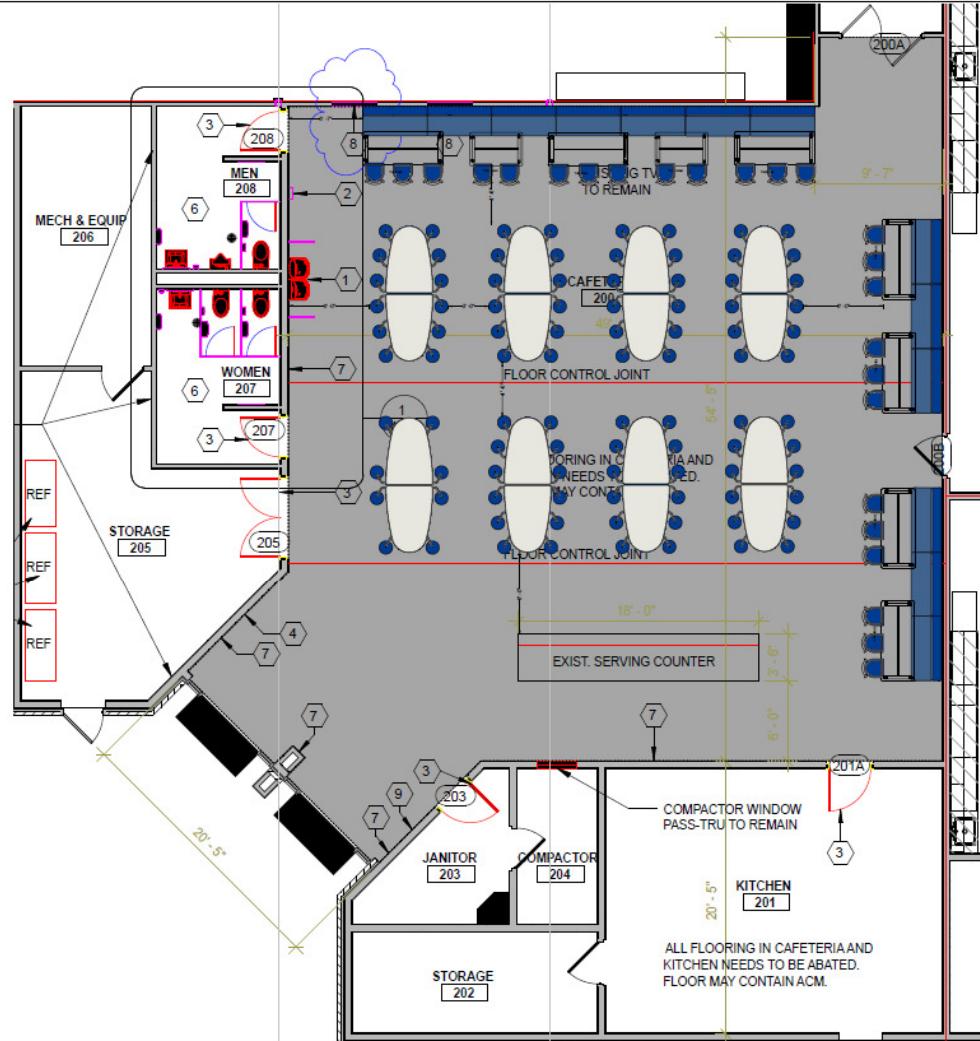
**END OF WORK CATEGORY**

# North Elementary School

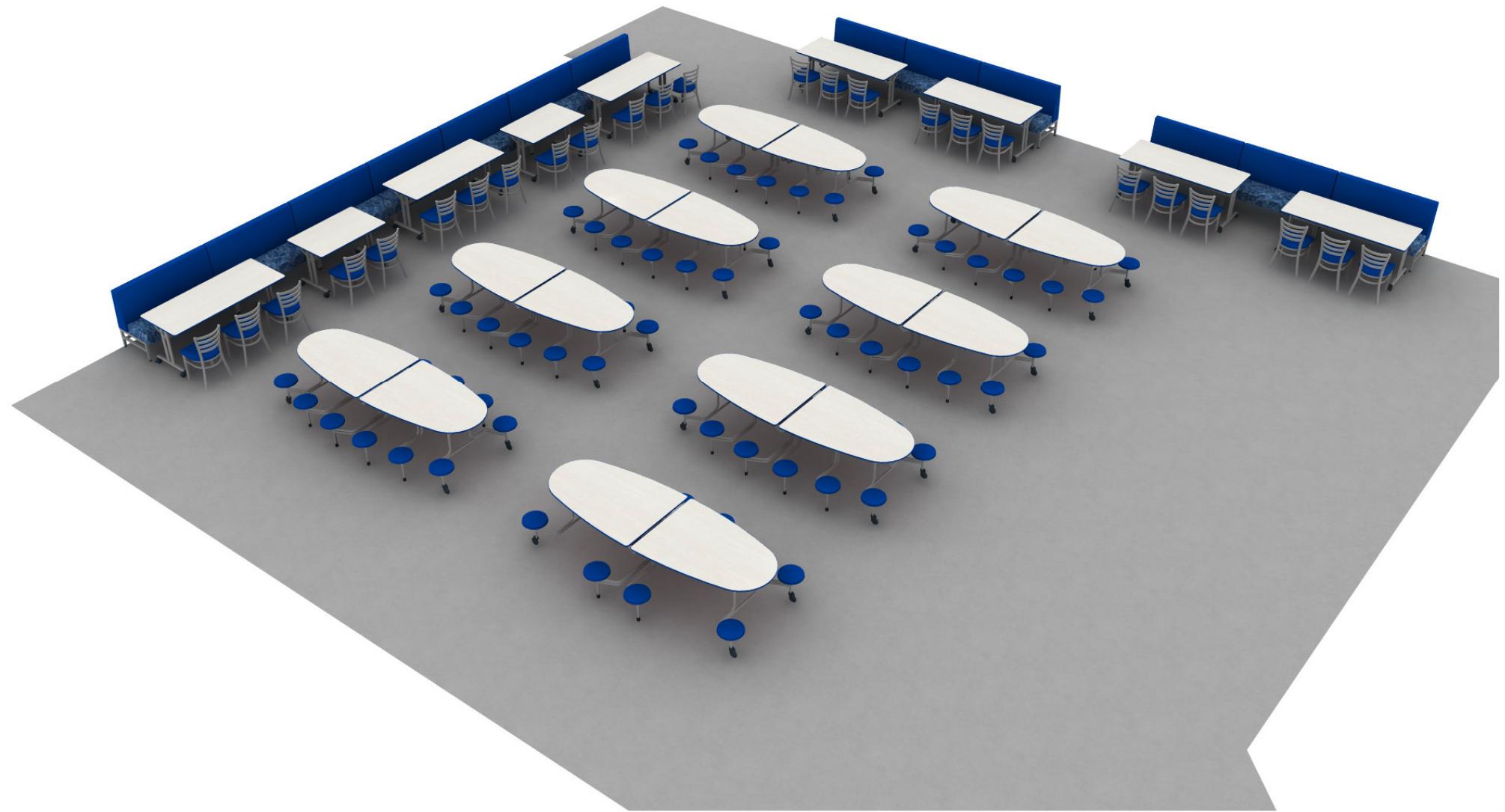
Furniture Package

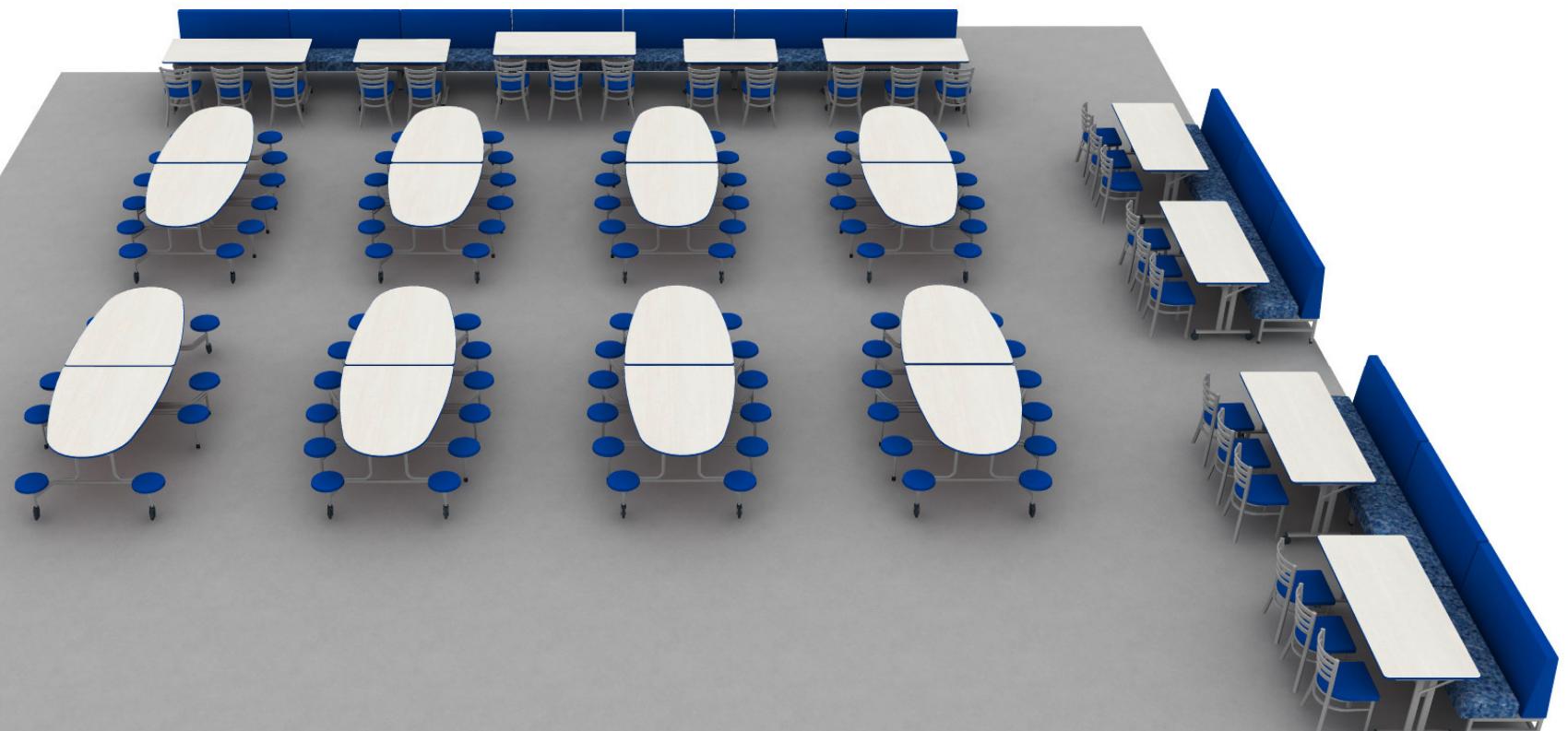
## CAFETERIA FURNITURE PLAN

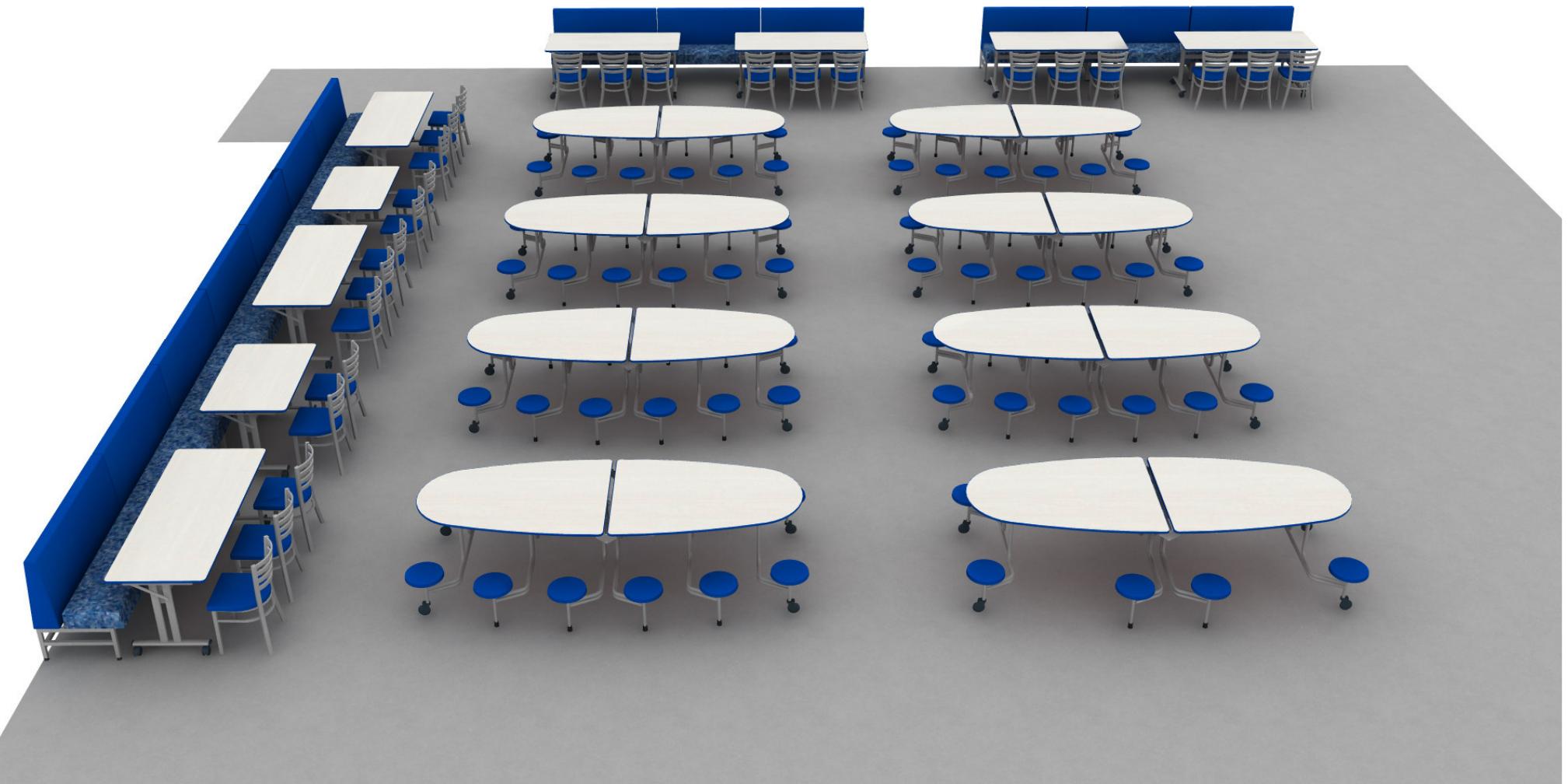
- Seating for 142
- Provide 4 ADA Wheelchair spaces

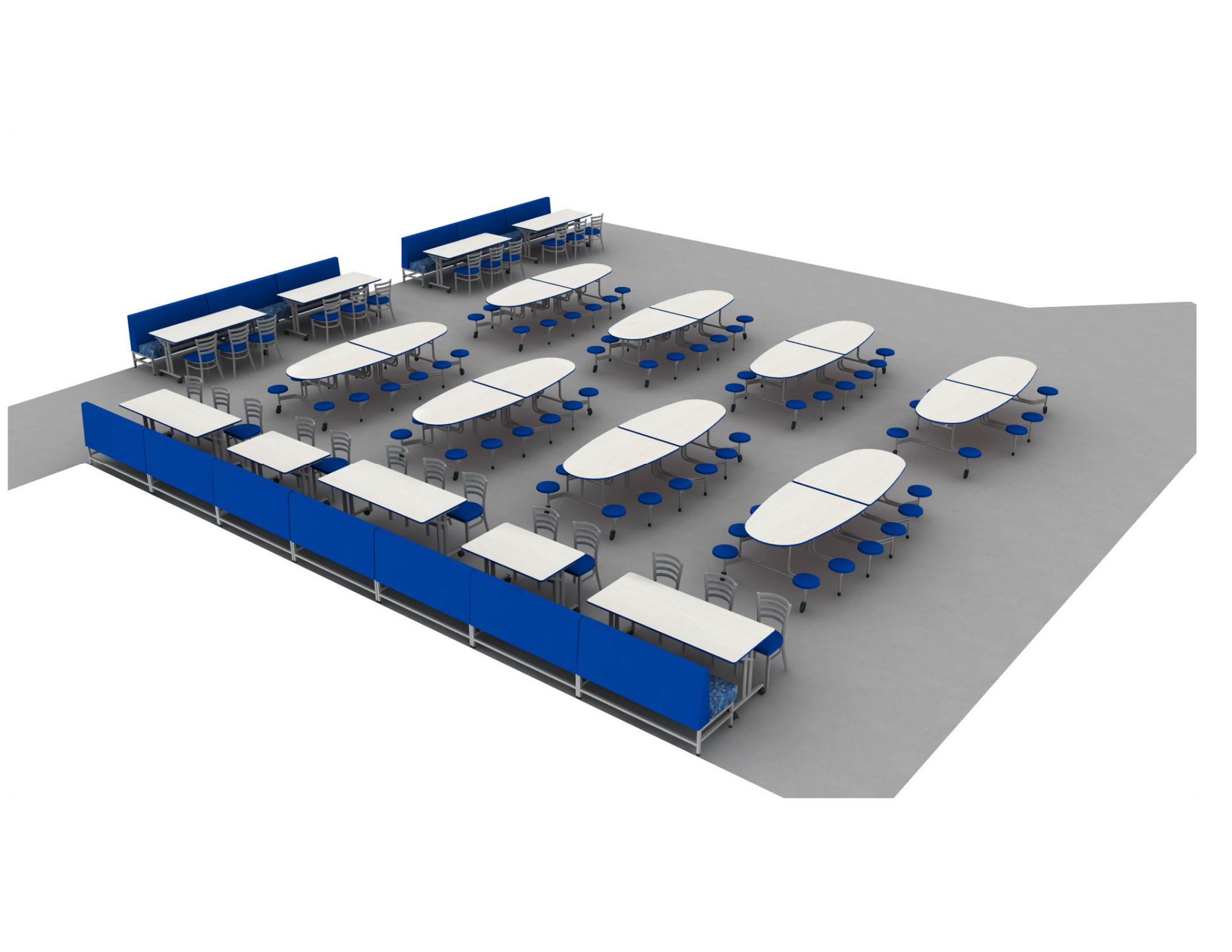


North Elementary School  
Lansing, MI





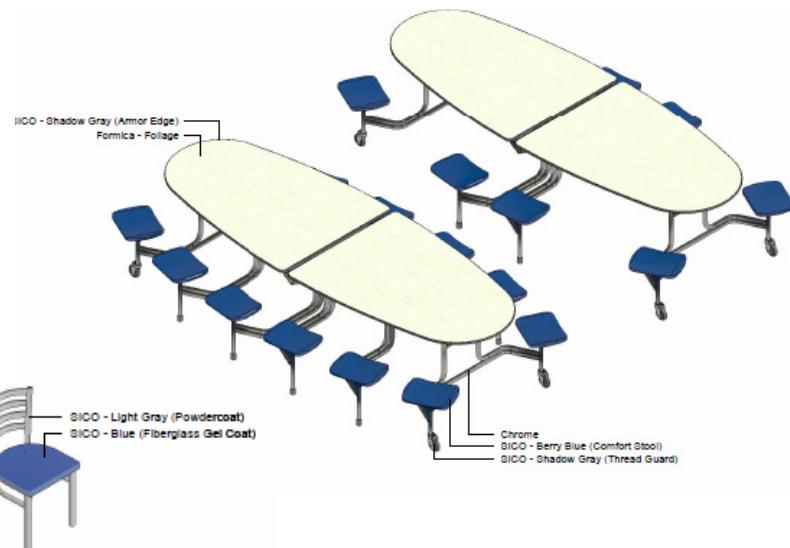




## North Elementary School

Qty	Mfg	Part Number	Part Description
13	SICO	EDBO11-C3-GG	Mankato 58"L Single Booth with Fiberglass Back
			Standard Finish Options
25	SICO	EDCS11-C18	Horizon 18"Slat Back chair
			Standard Finish Options
7	SICO	TTQ61D	Communicator 30"Height table with 12 Stools
			Standard Finish Options
1	SICO	TTS61G	Communicator 30"Height table with 8 Stools with 4 wheel chairs
			Standard Finish Options
2	SICO	TUD31WQG	30"D x 48"W x 29"H Rectangular Multi-App II Table
			Standard Finish Options
7	SICO	TUD31WQI	30"D x 72"W x 29"H Rectangular Multi-App II Table
			Standard Finish Options

Note: Finishes shown are for example only.  
Final standard finish selections TBD.



Horizon Slat Back Chair



Mankato Single Booth



MultiApp IIS (TYP)

# LSD North Addendum No. 1

## Narrative of Changes

<b>Project Name:</b>	NORTH ELEMENTARY SO-1844	<b>Date:</b>	January 13, 2026
<b>Project Location:</b>	33 E MILLER RD	<b>Architect's Project #:</b>	25013752A
<b>Owner/Client:</b>	LANSING SCHOOL DISTRICT	<b>Attention:</b>	Max Griffith
<b>Issued to:</b>	LAUX CONSTRUCTION	<b>Email:</b>	max@lauxconstruction.com
<b>City/State:</b>	LANSING, MI	<b>Zip:</b>	48911

**Delivered via:**

<input type="checkbox"/> Messenger	<input type="checkbox"/> Hand-carried	Address Sent to:	<input checked="" type="checkbox"/> Newforma
<input type="checkbox"/> Express	<input type="checkbox"/> Pick-up		<input type="checkbox"/> Email
<input type="checkbox"/> Mail	<input type="checkbox"/> UPS		<input type="checkbox"/> FTP

This Addendum revises the Contract Documents and shall have the same force and effect; make the following changes to the Specifications and Drawings for this project. The following is a written summary of the changes made by this Addendum. Strict attention should be given to the Drawings and Specifications for area take-off, quantities and items deleted or revised herein. This addendum forms a part of the Contract Documents.

<b>Issued by CED by:</b>	Courtney Norris	<b>Date Signed:</b>	01/13/26
<b>Prepared by:</b>	Courtney Norris	<b>Date Signed:</b>	01/13/26
<b>Distribution:</b>	Refer to Newforma transmittal.		

Below is a list of the changes made to our documents in response to the comments, RFIs, or clarifications provided prior to Bid. Please feel free to reach out with any further questions or clarifications in a timely manner.

Sincerely,  
Courtney Norris

## RFI Responses:

Q: Looking at the new out for bid documents compared to the most recent North project completed in 2021 by Centennial, there is already emergency lighting meeting current code within the cafeteria. This emergency lighting is fed from the emergency generator system and not battery packs. The fixtures in the cafeteria could be eliminated to save cost.

A: [See attached updated electrical drawings removing appropriate emergency lighting.](#)

Q: Hardware Set #02 is for a pair of doors but only has 1 hinge, No flush bolts, No lockset and only 1 closer. Please verify this hardware set is complete and accurate.

A: [See attached updated hardware specifications on A002.](#)

Q: Hardware set #04 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also, there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

A: [See attached updated hardware specifications on A002.](#)

Q: Hardware set #05 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

A: [See attached updated hardware specifications on A002.](#)

Q: I don't see in the plans any lighting controls in the drawings for the new bathroom lights. Will those be ceiling occupancy sensors, or wall switches? And if it is wall switches, what style of switch will be required?

A: [See attached updated electrical drawings for added lighting controls.](#)

Q: The asbestos survey provided only shows flooring materials where tested. Do you have sampling results for the other materials being impacted by this project, i.e. ceiling tile, ceramic cove in the bathrooms, fire-doors on room 205, plaster/drywall walls in the observation room?

A: [There is an AHERA Management Book on site that can be reviewed at any time. Please consider these items to be asbestos containing until proven otherwise.](#)

## Substitution Requests:

- Plumbing Fixtures
  - *Specified Product:* Kohler Plumbing Fixtures
  - *Substitution:* Zurn Plumbing Fixtures
  - *Reason:* Requesting Zurn to be considered equal to the specified fixtures on Plan Page P101.
  - *Decision:* **Acceptable**

## Drawing Modifications:

- **G000 – COVER SHEET (Reissued)**
  - Revised SO number.
- **G001 – CODE REVIEW (Reissued)**
  - Revised SO number in the title block.
- **G002 – SAFETY PLAN (Reissued)**
  - Removed 20-minute door between cafeteria and classroom 217.
  - Revised SO number in the title block.
- **G003 – GENERAL REQUIREMENTS (Reissued)**
  - Revised SO number in the title block.
- **A001 – GENERAL NOTES (Reissued)**
  - Revised SO number in the title block.
- **A002 – SPECIFICATIONS (Reissued)**
  - Revised SO number in the title block.
  - Revised hardware specifications.
- **AD101 – FIRST FLOOR DEMO AND REFLECTED CEILING PLAN (Reissued)**
  - Revised SO number in the title block.
  - Door to from cafeteria to classroom 217 to be completely removed. Demo note revised to keynote 23.
  - Added demo keynote 24 to remove existing carpeting in observation room.
  - Revised keynote C7 for tectum panels to remain. No painting.
- **A102 – FIRST FLOOR PLAN (Reissued)**
  - Revised SO number in the title block.
  - Removed abatement note from cafeteria 200 as abatement has already been completed.
  - Removed door into classroom 217 and added keynote 8.
  - Removed door 217A from door schedule.

- Revised keynote 8 to include batt insulation and to match existing paint.
- Added keynote 12 to repair/ patch spalling masonry around door frame before painting.
- Added keynote 13 regarding repairing control joints in concrete floor before epoxy install per manufacturer recommendations.
- Revised existing floor control joints.
- Added keynote 14 to caulk corners of masonry before painting, typical.
  
- **A121 – FIRST FLOOR REFELCETED CEILING PLAN & DETAILS (Reissued)**
  - Revised SO number in the title block.
  - Revised keynote 1 to include painting of existing grid as base bid. Alternate #1 to provide new grid.
  
- **A421 – INTERIOR ELEVATIONS (Reissued)**
  - Revised SO number in the title block.
  
- **A422 – INTERIOR ELEVATIONS (Reissued)**
  - Revised SO number in the title block.
  - Removed painting of tectum panels in elevations.
  - Removed door into classroom 217 and revised elevation to show infill.
  - Revised elevation tags.
  
- **A501 – FIRST FLOOR FINISH SHCEUDLE (Reissued)**
  - Revised SO number in the title block.
  - Added EP-1 floor and base into cafeteria 200.
  - Existing mural to remain on south and west walls of cafeteria 200. Any repair or infill to existing wall will need to be repainted to match existing mural.
  - Added ACP-3 for painting existing grid as base bid and providing alternate for replacing grid.
  - Revised grid on ACP-1. Base bid: Paint existing grid. Alternate #1: Replace grid.
  - Added note to infill observation area with flooring to match existing VCT. Provide allowance of \$300 for material cost.
  - Added general note to provide moisture testing on flooring prior to install of any flooring finishes. Ensure readings are within manufacture recommended tolerances.
  
- **P101 – FLOOR PLAN PLUMBING**
  - Revised SO number in the title block.
  - Updated plumbing general notes to clarify scoping of pipes.
  
- **M101 – FLOOR PLAN MECHANICAL**
  - Revised SO number in the title block.
  - Updated D-1 to be 24"x48" Diffuser
  - Updated G-1 to be 24"x24" Grille

- **E1.00 – DETAILS, SYMBOL LEGEND AND SPECIFICATIONS**
  - Revised SO number in the title block.
- **E2.00 – ONE-LINE DIAGRAM**
  - Revised SO number in the title block.
- **ED101 FLOOR PLAN – DEMOLITION**
  - Revised SO number in the title block.
  - Removed lights and associated control in the Observation room.
  - Remove existing conduit and receptacles for refrigerators.
- **EL101 FLOOR PLAN – LIGHTING**
  - Revised SO number in the title block.
  - Added occupancy sensors in existing restrooms.
  - Revised location of new surface mounted emergency lights in storage areas where panels are located.
  - Removed emergency lighting from cafeteria. Maintain existing.
  - Added general note 4 regarding emergency lighting.
- **EP101 FLOOR PLAN – POWER**
  - Revised SO number in the title block.
  - Removed existing receptacles on the west wall.
  - Added notes to replace all existing receptacles in area of work and replace them with new gray tamper proof devices. Replace the cover plates with stainless steel.

### Attachments:

Signed Substitution Request Form for Plumbing Fixtures

North Elementary School, Furniture Package

### Drawings:

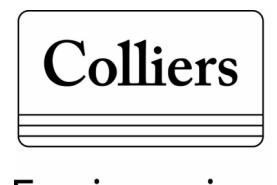
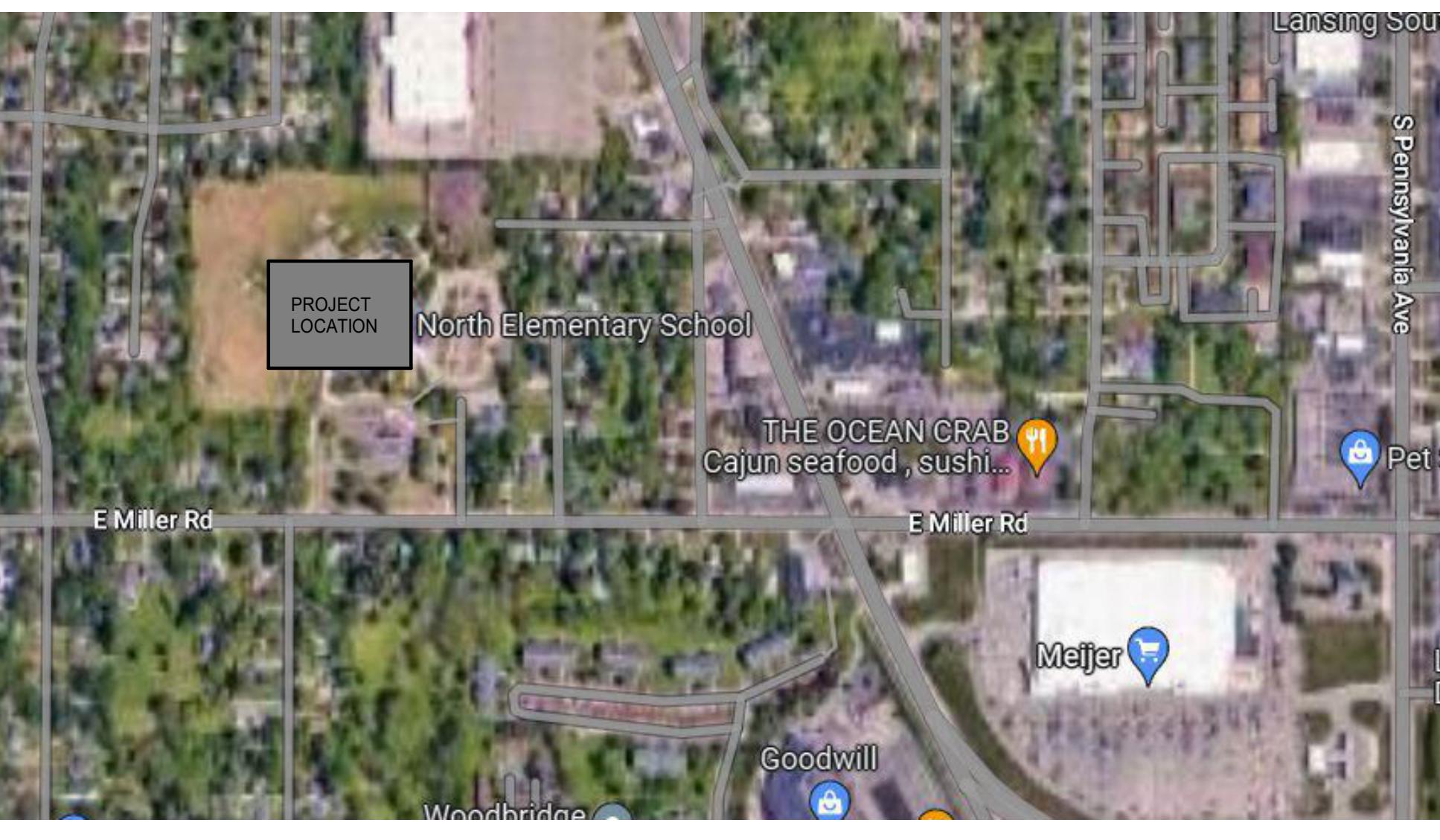
G000, G001, G002, G003, A001, A002, AD101, A102, A121, A421, A422, A501, P101, M101, E1.00, E2.00, ED101, EL101, EP101

### END OF ADDENDUM NO. 1



# NORTH ELEMENTARY (INTERIOR RENOVATION)

11/18/2025

PROJECT CONTACT LIST	DRAWING INDEX	CODE SUMMARY	
 <b>OWNER:</b> - LANSING SCHOOL DISTRICT - 519 W KALAMAZOO LANSING, MI - CONTACT: TODD COE - PHONE: 517-755-3818	<b>ARCHITECT:</b>  Colliers Engineering & Design	<b>PROJECT SCOPE</b> THE PROJECT SCOPE WILL CONSIST OF RENOVATING EXISTING CAFETERIA SERVING GRADES K-8 AND KITCHEN, AND RESTROOMS AT THE NORTH ELEMENTARY SCHOOL.	DATE 11/18/2025 01/13/2025
 <b>CONTRACTOR:</b> - LAUX CONSTRUCTION - 1018 HOGBACK RD LANSING, MI - CONTACT: BRIAN STIEBE - PHONE: 517-694-0117	<b>MECHANICAL &amp; ELECTRICAL ENGINEER:</b>  - CLASSIC ENGINEERING, LLC - 100 GRANDVILLE, SUITE 400 GRAND RAPIDS, MI - CONTACT: LARRY WOOD & CINDY LADEWIG	<b>APPLICABLE BUILDING CODES</b> BUILDING CODE: 2021 MICHIGAN BUILDING CODE 2021 MICHIGAN REHABILITATION CODE BUILDING CODE (MI FIRE SAFETY STATE RULES): 2016 SCHOOL FIRE SAFETY RULES, CHAPTER 14 NFPA 101, LIFE SAFETY CODE, 2012 EDITION MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE 2023 MICHIGAN PART 8, ELECTRICAL CODE RULES	DESCRIPTION BIDS & PERMITS ADDENDUM #1
<b>PROJECT LOCATION MAP</b> 			
			
1/13/2026 12:35:37 PM			
DRAWING NUMBER <b>G000</b>			

## NFPA 101 Life Safety Code – 2012

## Chapter 6 – Classification of Occupancy and Hazard of Contents

6.1.3 Educational Occupancy – See Chapters 15 for requirements (Woodcreek Elementary is an Educational use)  
 • Educational Occupancy – Buildings or portions of buildings used for educational purposes through the twelfth grade by 6 or more persons for 4 or more hours per day or more than 12 hours per week.

## Chapter 7 – Means of Egress

## Definitions

- **Accessible Means of Egress** (3.3.170.1) – A means of egress that provides an accessible route to an area of refuge, a horizontal exit, or public way.

7.1.3.1 – **Exit Access Corridors** – Corridors used as exit access and serving more than 30 occupants shall be separated by walls having a 1-hour rating.

- Exception – Existing buildings, provided the occupancy classification hasn't changed. (We will employ this exception for Building A – the walls were built as school 1-hour walls)

## 7.1.5 – Headroom

• Headroom shall not be less than 7ft 6in., with projections from the ceiling not less than 6ft 8in. above the floor. Existing buildings, the ceiling height shall be not less than 7ft from the floor, with projections from the ceiling not less than 6ft 8in. nominal above the floor.

## 7.2.1 – Door Openings

7.2.1.2.1 – **Measurement of Clear Width**.  
 • Projections not exceeding 4in. into the door opening with on the hinge side shall not be considered reductions in clear width, provided that such projections are for purposes of accommodating panic hardware or fire exit hardware and not less than 34in. and not more than 48in., above the floor.

7.2.1.2.2 – **Measurement of Egress Capacity Width**.7.2.1.2.2.1 – **Swinging Door Assemblies**

• For new door assemblies, clear measurement shall be taken with the leaf open 90 degrees, existing door assemblies in full open position.

- Projections of not more than 3 1/2 in. at each side of the door openings at a height of not more than 38in. shall not be considered reductions in egress capacity width.

7.2.1.2.3 – **Minimum Door Leaf Width**

7.2.1.2.3.2 – **Door openings in a means of egress** shall be of the side-hinged or pivoted-swing type.

- Where a pair of door leaves is provided, one door leaf shall provide not less than a 32 in. (810 mm) clear width in opening.

• In existing buildings, the existing door leaf width shall be not less than 28 in.

7.2.1.2.4 – **Swing and Force to Open**

7.2.1.2.4.1 – **Door leaf swing** in a means of egress shall be of the side-hinged or pivoted-swing type.

7.2.1.2.4.2 – **Door Leaf Spring** – Must swing in direction of egress where serving an occupant load of 50 or more.

7.2.1.2.4.3 – **Door Leaf Encroachment**

7.2.1.2.4.3.1 – During any swing, any door leaf in a means of egress shall not leave less than half of required width of aisle, corridor, passageway, landing unobstructed and shall not protrude more than 7 inches into required width with fully open.

7.2.1.2.4.3.2 – Forces required to fully open any door leaf manually in a means of egress shall not exceed 15 lbf to release the latch, 30 lbf to set the leaf in motion, and 15 lbf to open the leaf to the minimum required width.

• The opening forces for interior side-hinged or pivoted-swinging door leaves without closers shall not exceed 5 lbf.

• The opening forces for existing door leaves in existing buildings shall not exceed 50 lbf applied to the latch stile.

7.2.4 – **Horizontal Exits** – 2 hour fire resistance rating.7.3 – **Occupant Load**

7.3.1.1.2 – For other than existing means of egress, where more than one means of egress is required, the means of egress shall be of such width and capacity that the loss of any one means of egress leaves available not less than 50 percent of the required capacity.

7.3.3.1 – **Capacity Factors (Table 7.3.3.1)**

- Stairways: 0.3 inches per person
- Level Components and Ramps: 0.2 inches per person

7.4.1.2 – **Minimum number of means of egress**

- 500-1000 – not less than 3
- Over 1000 – not less than 4

7.5.1.3.1 – Where more than one exit is required, they shall be located remotely from each other and shall be arranged to minimize the possibility that both could be blocked.

7.5.1.3.2 – Where two exits are required, they must be separated by one half of the diagonal of the room

7.5.1.4 – **Exit access from rooms or spaces** shall be permitted to be through adjoining or intervening rooms or areas, provided that such rooms or areas are accessory to the area served.

7.7.1 – **Exit Termination** – All exits shall terminate directly at a public way or an exterior exit discharge.

7.12.1 – **Mechanical equipment rooms, boiler rooms, furnace rooms** shall be arranged to limit common path of travel to 50 feet.

## Chapter 8 – Features of Fire Protection

8.2 – **Construction and Compartmentation**

8.2.2 – Fire compartments shall be formed with fire barriers that comply with Section 8.3 – Fire Barriers.

8.3 – **Fire Barriers**

8.3.1.2 – Fire barriers shall comply with one of the following:

- 1) The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, or a combination thereof, including continuity through all concealed spaces, such as those found above a ceiling, including interstitial spaces.

2) The fire barrier is continuous from outside wall to outside wall or from one fire barrier to another, and from the floor to the bottom of the interstitial spaces, provided that the construction assembly forming the bottom of the interstitial space has a fire resistance rating not less than that of the fire barrier.

8.3.1.3 – Walls used as fire barriers shall comply with Chapter 7 of NFPA 221, Standard for High Challenge Fire Walls, Fire Walls, and Fire Barrier Walls. The NFPA 221 limitation on percentage width of openings shall not apply.

8.3.2.1.1 – **Fire resistance-rated glazing** tested in accordance with ASTM E 119. Standard Test Methods for Fire Tests of Building Construction and Materials, or ANSI/UL 263, Standard for Fire Tests of Building Construction and Materials, shall be permitted.

8.3.3.1 – **Windows** must be installed per NFPA 80

8.3.3.11 – **Fire Protection-rated glazing** shall be permitted in fire barriers having a rating of 1 hour or less.

8.3.4.2 – **Opening Protective** (Table 8.3.4.2 – Minimum Fire Protection Ratings for Opening Protective in Fire Resistance-Rated Assemblies)

- 2-hour fire barrier, 1.5 hour opening protection rating
- 1-hour fire barrier, 1-hour protection for vertical opening or exit enclosure; 1/2 hour for openings other than vertical/exit enclosures

8.3.5.1 – **Firestop Systems and Devices Required**. Penetrations for cables, cable trays, conduits, pipes, tubes, combustion vents

and exhaust vents, wires, and similar items to accommodate electrical, mechanical, plumbing, and communications systems that pass through a wall, floor, or ceiling assembly constructed as a fire barrier shall be protected by a firestop system or device.

The firestop system or device shall be tested in accordance with ASTM E 814.

8.3.5.3 – **Where walls or partitions are required to have a minimum 1-hour fire resistance rating, recessed fixtures shall be installed in the wall or partition in such a manner that the required fire resistance is not reduced**, unless one of the following is met

- 1) Any steel electrical box not exceeding 0.1 sq ft shall be permitted where the aggregate area of the openings provided for the boxes does not exceed 0.75 sq ft in any 100 sq ft of wall area, and where outlet boxes are installed on opposite sides of the wall, the boxes shall be separated by one of the following:
  - a) Horizontal distance of not less than the depth of the wall cavity, where the wall cavity is filled with cellulose loose-fill, rock wool, or slag wool insulation
  - b) Solid fire blocking
  - c) Other listed materials and methods

2) Membrane penetrations for any listed electrical outlet box made of any material shall be permitted, provided that such boxes have been tested for use in fire resistance-rated assemblies and are installed in accordance with the instructions included in the listing.

3) The annular space created by the membrane penetration of a fire sprinkler shall be permitted, provided that the space is covered by a metal escutcheon plate.

8.3.6 – **Joints**

8.3.6.1 – The provisions of 8.3.6 shall govern the materials and methods of construction used to protect joints in between and at the perimeter of fire barriers, or where fire barriers meet other fire barriers, the floor or roof deck above, or the outside walls.

## Chapter 10 – Interior Finish, Contents, and Furnishings

10.2.3.4 – **Interior wall and ceiling products** are required to be tested per NFPA 286:

- Class A: flame spread 0-25; smoke development 0-450
- Class B: flame spread 26-75; smoke development 0-450
- Class C: flame spread 76-200; smoke development 0-450

10.2.4.2 – **Textile materials** having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler system.

10.2.4.2 – **Expanded vinyl wall coverings** having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler system.

10.2.7.3 – **Interior floor finishes** per NFPA 253

- Class 1: critical radiant flux minimum of 0.45W/sq cm
- Class 2: critical radiant flux minimum of 0.22W/sq cm

10.3.1 – **Drapery, curtains, or other loosely hanging furnishings** must be flame resistant per NFPA 701

10.3.2.1 – **Upholstered furniture** shall be resistant to a cigarette ignition per NFPA 260 & 261.

Chapter 14 – **New Educational Occupancies** (this will apply to the area of alterations)

14.1.6 – **Minimum Construction Requirements** – No requirements.

14.1.7.1 – **Occupant Load** (Table 7.3.1.2)

- Classrooms: 1 person per 20 nsf

14.2.2.2 – **Door hardware** – provide panic hardware for loads of 100 or more

14.2.3.2 – **Minimum Corridor Width**. Exit access corridors shall have not less than 6 ft of clear width.

14.2.5.1 – **Arrangement of Means of Egress** – per Section 7.5.

- No common path of travel to exceed 75 ft. (building not protected throughout with automatic sprinkler system); 100 ft. (buildings fully protected)

• No dead end corridors to exceed 20 ft. (building not protected throughout with automatic sprinkler system); 50 ft. (buildings fully protected)

## 2021 Michigan Rehabilitation Code for Existing Buildings

Chapter 4 – **Repairs** (Chapter 4 provides requirements for repairs of existing buildings. The provisions define conditions under which repairs may be made using materials and methods like those of the original construction or the extent to which repairs must comply with requirements for new buildings.)

## 401 – General

404.1 – **Scope** – Repairs shall comply with the requirements of this chapter. Repairs to historic buildings need only comply with Chapter 2.

404.2 – **Compliance** – The work shall not make the building less complying than it was before the repair was undertaken.

## 402 – Building Elements and Materials

402.1 – **Glazing in hazardous locations** – Replacement glazing in hazardous locations shall comply with the safety glazing requirements of the International Building Code or International Residential Code as applicable.

402.2 – **Vertical Openings** – Existing vertical openings shall comply with the provisions of Sections 802.2.1, 802.2.2 and 802.2.3.

## 403 – Fire Protection

403.1 – **General** – Repairs shall be done in a manner that maintains the level of fire protection provided.

404.3 – **Means of Egress**

403.1 – **General** – Repairs shall be done in a manner that maintains the level of protection provided for the means of egress.

Chapter 5 – Prescriptive Compliance Method (Chapter 5 provides details for the prescriptive compliance method—one of the three main options of compliance available in this code for buildings and structures undergoing alteration, addition or change of occupancy.)

501.1.1 – **Compliance with other method**. Alterations, additions and changes of occupancy of existing buildings and structures shall comply with the provisions of this chapter or with one of the methods provided in Section 301.3.

501.2 – **Fire-resistance ratings** – Where approved by the code official, in buildings where an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 of the International Building Code.

502 – Additions

502.1 – **General** – Additions to any building or structure shall comply with the requirements of the International Building Code for new construction. Alterations to the existing building or structure shall be made to ensure that the existing building or structure together with the addition are not less complying with the provisions of the International Building Code than the existing building or structure was prior to the addition.

503 – Alterations

503.1 – **General** – Alterations to any building or structure shall comply with the requirements of the International Building Code for new construction. Alterations shall be such that the existing building or structure is not less complying with the provisions of the International Building Code than the existing building or structure was prior to the alteration.

503.2 – **Corridor rating** – Where an approved automatic sprinkler system is installed throughout the story, the required fire resistance rating for any corridor located on the story shall be permitted to be reduced in accordance with the International Building Code.

503.3 – **Group E** – A fire alarm system shall be installed in work areas of Group E occupancies as required by the International Fire Code for existing Group E occupancies.

504 – **Means of Egress**

504.1 – **Scope** – The requirements of this section shall be limited to work areas that include exits or corridors shared by more than one tenant within the work area in which Level 2 alterations are being performed, and where specified they shall apply throughout the floor on which the work areas are located or otherwise beyond the work area.

504.4 – **Number of exits** – The number of exits shall be in accordance with Sections 804.4.1 through 804.4.3.

504.4.1 – **Minimum number** – Every story utilized for human occupancy on which there is a work area that includes exits or corridors shared by more than one tenant within the work area shall be provided with the minimum number of exits based on the occupancy and the occupant load in accordance with the International Building Code. In addition, the exits shall comply with Sections 804.4.1 and 804.4.2.

804.5 – **Egress doorways** – Egress doorways in any work area shall comply with Sections 804.5.1 through 804.5.

804.5.1 – **Two egress doorways required** – Work areas shall be provided with two egress doorways in accordance with the requirements of Sections 804.5.1 and 804.5.2.

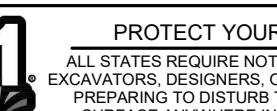
804.5.1.1 – **Occupant load and travel distance** – In any work area, all rooms and spaces having an occupant load greater than 20 or in which the travel distance to an exit exceeds 75 feet (22 860 mm) shall have not fewer than two egress doorways.

804.5.1.2 – **Exception** – Storage rooms having a maximum occupant load of 10.

804.5.2 – **Door swing** – Where the work area is served by a single

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Formerly Known as **B** BERGMANN



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## CODE SUMMARY BUILDING DATA - 2021 MICHIGAN BUILDING CODE

OCCUPANCY CLASSIFICATION: (CHAPTERS 3 & 5)  
 SINGLE  
 MIXED OCCUPANCY  SEPARATED  NON-SEPARATED  COMBINATION  
 IF SEPARATED, FIRE RESISTANCE RATING OF FIRE BARRIER (TABLE 508.3.3) 2 HR  
 OCCUPANCY CLASSIFICATION(S): E EDUCATIONAL, B BUSINESS, S-1 STORAGE

USES: SCHOOL - E, OFFICES - B, S-1 STORAGE

CONSTRUCTION CLASSIFICATION : (CHAPTER 6) II B - MBC & II(000) - NFPA 101

AUTOMATIC SPRINKLER SYSTEM PROVIDED:  YES  NO  
 NFPA STANDARD:  13  13R

REHABILITATION OF EXISTING STRUCTURE:  
 PER THE MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

REPAIRS (CHAPTER 5)  
 ALTERATION - LEVEL 1 (CHAPTER 6)  
 ALTERATION - LEVEL 2 (CHAPTER 7)  
 ALTERATION - LEVEL 3 (CHAPTER 8)

HEIGHT & AREA - ACTUAL: (CHAPTER 5)

BUILDING HEIGHT HEIGHT IN FEET HEIGHT IN STORIES  
 22' - 6" ft 1

BUILDING AREA SUMMARY BUILDING AREA AREA OF ALTERATION  
 FIRST 60,223 sf 3,331 sf

PLUMBING FIXTURE REQUIREMENTS: (MPC - CHAPTER 4)

OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS			URINALS			LAVATORIES		
		REQUIRED	PROVIDED	REQUIRED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
E - EDUCATIONAL	697	7	10	7	10	0	4	7	7	8

SEPARATE FACILITIES FOR EACH GENDER REQUIRED?  YES  NO (P403.2)  
 EXC. # \_\_\_\_\_

SEPARATE EMPLOYEE FACILITIES REQUIRED?  YES  NO (P403.2)  
 EXC. # \_\_\_\_\_

LOCATION OF EMPLOYEE FACILITIES COMPLIES?  YES  NO (P403.3.2)  
 EXC. # \_\_\_\_\_

LOCATION OF PUBLIC FACILITIES COMPLIES?  YES  NO (P403.3.2)  
 EXC. # \_\_\_\_\_

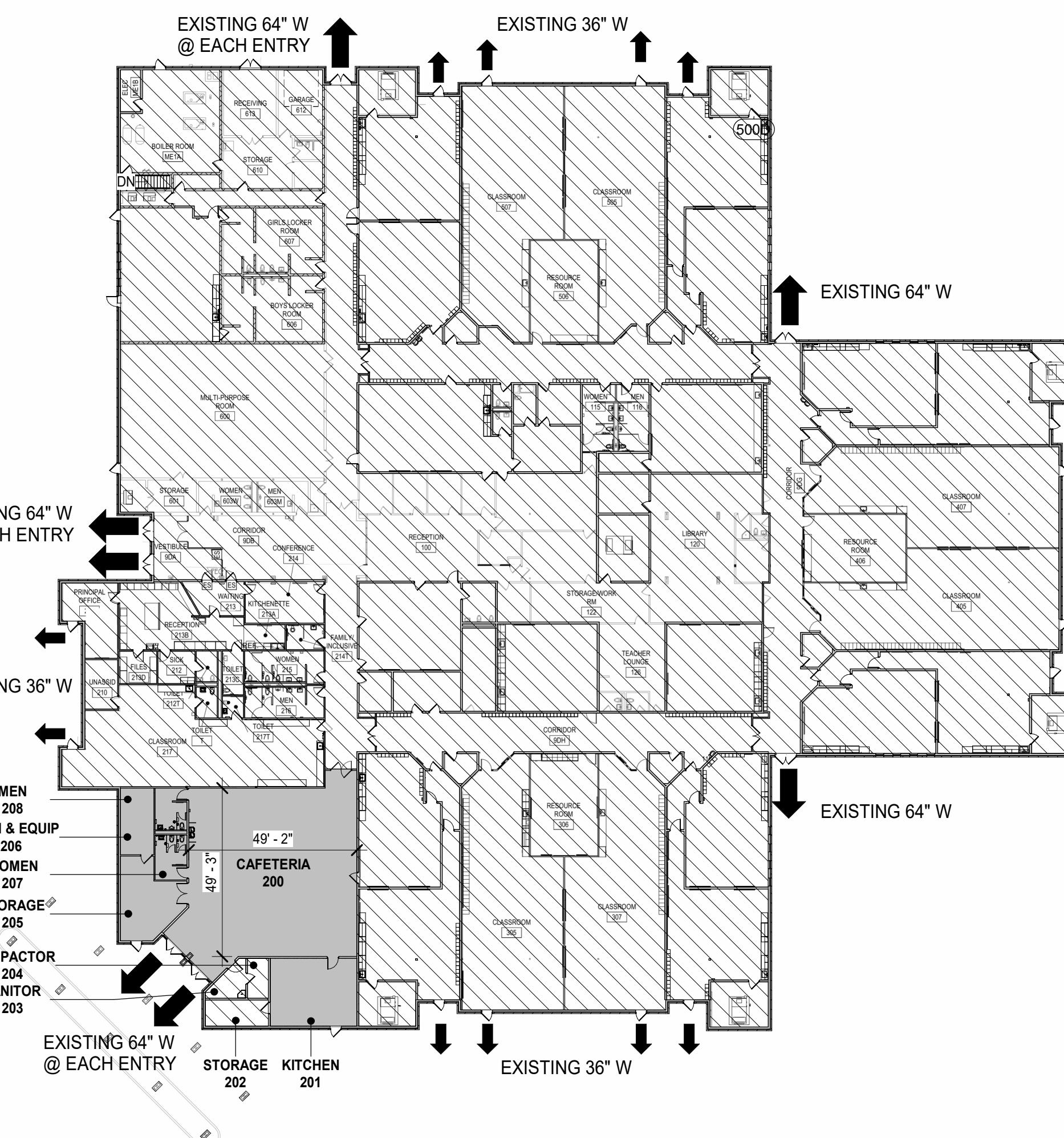
OTHER PLUMBING FIXTURE REQUIREMENTS? NA

## GENERAL NOTES

- APPLICABLE CODES:  
 A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- CONSTRUCTION SHALL CONFORM TO CURRENT EDITIONS OF THE NFPA 101 LIFE SAFETY CODE: 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 36, SUBPART D), 2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-2009), AS WELL AS WITH OTHER LOCAL, STATE AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.
- COMPLIANCE:  
 A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- OBTAI ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.
- CERTIFICATIONS:  
 A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.

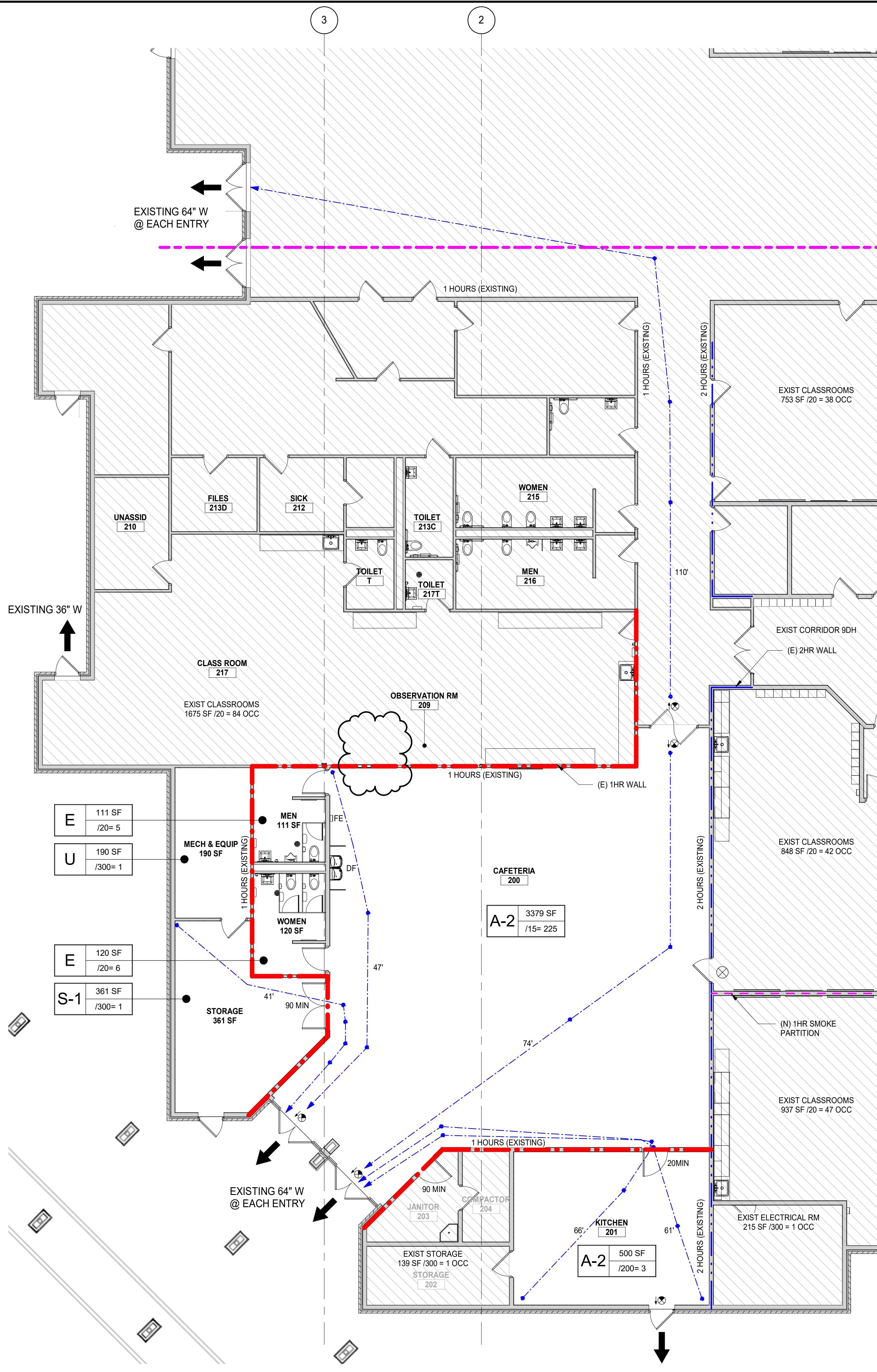
## LEGEND

	OCCUPANCY GROUP S.F.
	# OCCUPANTS
	SIGN DIRECTION FACE OF SIGN
	EXIT SIGN
	EXIT
	COMMON PATH OF EGRESS DISTANCE
	EXIT ACCESS TRAVEL DISTANCE (ALONG STAIRWAY NOISING AT OPEN STAIRWAYS)
	FIRE EXTINGUISHER ON WALL BRACKET
	FIRE EXTINGUISHER CABINET
	ELECTRICAL WATER COOLER
	1-HR RATED WALL
	2-HR RATED WALL



FIRST FLOOR PLAN - OVERALL

SCALE : 1/32" = 1'-0"



CODE COMPLIANCE DIAGRAM - FIRST FLOOR

SCALE : 1/8" = 1'-0"

GRAND RAPIDS  
505 5th St. NW  
Suite 305  
Grand Rapids, MI 49504  
Phone: 616.827.4270

Colliers  
Engineering & Design

SCALE: AS SHOWN DATE: 11/18/2025 DRAWN BY: S. KHUMALO CHECKED BY: B. HUYLER  
PROJECT NUMBER: 25013752 DRAWING NAME: REVIEWED BY: Approver

SHEET TITLE: SHEET NUMBER: G002

SAFETY PLAN

SHEET NUMBER: G002

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

## GENERAL REQUIREMENTS:

## ALLOWANCES:

- A. AT THE EARLIEST PRACTICAL DATE AFTER AWARD OF THE CONTRACT, ADVISE ARCHITECT OF THE DATE WHEN FINAL SELECTION, OR PURCHASE AND DELIVERY, OF EACH PRODUCT OR SYSTEM DESCRIBED BY AN ALLOWANCE MUST BE COMPLETED BY THE OWNER TO AVOID DELAYING THE WORK.
- B. OBTAIN PROPOSALS FOR EACH ALLOWANCE FOR USE IN MAKING FINAL SELECTIONS. INCLUDE RECOMMENDATIONS THAT ARE RELEVANT TO PERFORMING THE WORK.
- C. SUBMIT PROPOSALS FOR PURCHASE OF PRODUCTS OR SYSTEMS INCLUDED IN ALLOWANCES IN THE FORM SPECIFIED FOR CHANGE ORDERS. THIS ALLOWANCE INCLUDES MATERIAL COST, RECEIVING, HANDLING, AND INSTALLATION AND CONTRACTOR OVERHEAD AND PROFIT.
- D. COORDINATE QUANTITY ALLOWANCE ADJUSTMENT WITH CORRESPONDING UNIT-PRICE REQUIREMENTS "UNIT PRICES."

## UNIT PRICES:

- A. UNIT PRICE IS AN AMOUNT INCORPORATED INTO THE AGREEMENT, APPLICABLE DURING THE DURATION OF THE WORK AS A PRICE PER UNIT OF MEASUREMENT FOR MATERIALS, EQUIPMENT, OR SERVICES, OR A PORTION OF THE WORK, ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BY APPROPRIATE MODIFICATION, IF THE SCOPE OF WORK OR ESTIMATED QUANTITIES OF WORK REQUIRED BY THE CONTRACT DOCUMENTS ARE INCREASED OR DECREASED.
- B. UNIT PRICES INCLUDE ALL NECESSARY MATERIAL, PLUS COST FOR DELIVERY, INSTALLATION, INSURANCE, APPLICABLE TAXES, OVERHEAD, AND PROFIT.
- C. MEASUREMENT AND PAYMENT: SEE QUANTITY ALLOWANCE FOR WORK THAT REQUIRES ESTABLISHMENT OF UNIT PRICES. UNITS OF MEASUREMENT AND PAYMENT FOR UNIT PRICES ARE LISTED IN THOSE SECTIONS.
- D. OWNER RESERVES THE RIGHT TO REJECT CONTRACTOR'S MEASUREMENT OF WORK-IN-PLACE THAT INVOLVES USE OF ESTABLISHED UNIT PRICES AND TO HAVE THIS WORK MEASURED, AT OWNER'S EXPENSE, BY AN INDEPENDENT SURVEYOR ACCEPTABLE TO CONTRACTOR.

## ALTERNATES:

- A. ALTERNATE: AN AMOUNT PROPOSED BY BIDDERS AND STATED ON THE BID FORM FOR CERTAIN WORK DEFINED IN THE BIDDING REQUIREMENTS THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF THE OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE EITHER IN THE AMOUNT OF CONSTRUCTION TO BE COMPLETED OR IN THE PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.
- B. INCLUDE AS PART OF EACH ALTERNATE, MISCELLANEOUS DEVICES, ACCESSORY OBJECTS, AND SIMILAR ITEMS INCIDENTAL TO OR REQUIRED FOR A COMPLETE INSTALLATION WHETHER INDICATED AS PART OF ALTERNATE. EXECUTE ACCEPTED ALTERNATES UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.

## SUBSTITUTION PROCEDURES:

- A. SUBSTITUTIONS FOR CAUSE: CHANGES PROPOSED BY CONTRACTOR THAT ARE REQUIRED DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS.
- B. SUBSTITUTIONS FOR CONVENIENCE: CHANGES PROPOSED BY CONTRACTOR OR OWNER THAT ARE NOT REQUIRED IN ORDER TO MEET OTHER PROJECT REQUIREMENTS BUT MAY OFFER ADVANTAGE TO CONTRACTOR OR OWNER. SUBSTITUTIONS FOR CONVENIENCE ARE ALLOWED ONLY BY APPROVAL OF THE OWNER OR OWNER'S AGENT.
- C. SUBMIT REQUEST FOR CONSIDERATION. IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE PRODUCT, MATERIAL OR SYSTEM NAME AND AFFECTED DRAWING NUMBERS AND TITLES.
- D. EXECUTE ACCEPTED SUBSTITUTIONS UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.
- E. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE:
  1. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.
  2. CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS, EXCEPT AS INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS AND IS APPROPRIATE FOR APPLICATIONS INDICATED.
  3. STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION, OR INSTALLATION METHOD CANNOT BE PROVIDED, IF APPLICABLE.
  4. COORDINATION OF INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY OWNER AND SEPARATE CONTRACTORS THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.
  5. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES. INCLUDE DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTIONS WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES, SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED.
  6. CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.

F. ARCHITECT'S ACTION: IF NECESSARY, ARCHITECT WILL REQUEST ADDITIONAL INFORMATION OR DOCUMENTATION FOR EVALUATION WITHIN 7 DAYS OF RECEIPT OF A REQUEST FOR SUBSTITUTION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION WITHIN 14 DAYS OF RECEIPT OF REQUEST, OR 7 DAYS OF RECEIPT OF ADDITIONAL INFORMATION OR DOCUMENTATION.

G. ARCHITECT WILL CONSIDER CONTRACTOR'S REQUEST FOR SUBSTITUTION WHEN THE LISTED REQUIREMENTS ARE SATISFIED. IF THE LISTED REQUIREMENTS ARE NOT SATISFIED, ARCHITECT WILL RETURN REQUESTS WITHOUT ACTION, EXCEPT TO RECORD NONCOMPLIANCE WITH LISTED REQUIREMENTS.

H. FORMS OF ACCEPTANCE: CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS FOR MINOR CHANGES IN THE WORK.

## SUBMITTAL REQUIREMENTS:

- A. PREPARE SUBMITTAL SCHEDULE: SUBMIT, AS AN ACTION SUBMITTAL, A LIST OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME REQUIRED FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS NOTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.
- B. PREPARE AND SUBMIT SUBMITTALS AS INCLUDED IN THE SUBMITTAL SCHEDULED.
- C. EMAIL: PREPARE SUBMITTALS AS PDF PACKAGE AND TRANSMIT TO ARCHITECT BY SENDING VIA EMAIL. INCLUDE PDF TRANSMITTAL FORM. INCLUDE INFORMATION IN EMAIL SUBJECT LINE AS REQUESTED BY ARCHITECT.
- D. WEB-BASED PROJECT MANAGEMENT SOFTWARE: PREPARE SUBMITTALS IN PDF FORM, AND UPLOAD TO WEB-BASED PROJECT MANAGEMENT SOFTWARE WEBSITE. ENTER REQUIRED DATA IN WEB-BASED SOFTWARE SITE TO FULLY IDENTIFY SUBMITTAL.
- E. ACTION SUBMITTALS AND INFORMATIONAL SUBMITTALS: REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT.
- F. USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S AND CONTRACTOR'S OR CONSTRUCTION MANAGER'S ACTION STAMP.
- G. SUBMITTAL INFORMATION: INCLUDE THE FOLLOWING INFORMATION IN EACH SUBMITTAL:
  1. PROJECT NAME, DATE AND INDICATION OF FULL OR PARTIAL SUBMITTAL.
  2. ARCHITECT'S AND CONTRACTOR'S AND/OR CONSTRUCTION MANAGER'S, FIRM OR ENTITY THAT PREPARED SUBMITTAL AND SUBCONTRACTOR, MANUFACTURER, AND SUPPLIER NAMES.
  3. NUMBER AND TITLE OF SPECIFICATION SECTION, WITH PARAGRAPH NUMBER AND GENERIC NAME FOR EACH OF MULTIPLE ITEMS
  4. MATERIAL OR SYSTEM NAME AND DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE.
  5. IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.
  6. LOCATION(S) WHERE PRODUCT IS TO BE INSTALLED, AS APPROPRIATE AND OTHER NECESSARY INFORMATION.
  7. ON EACH SUBMITTAL, CLEARLY INDICATE DEVIATIONS FROM REQUIREMENTS IN THE CONTRACT DOCUMENTS, INCLUDING MINOR VARIATIONS AND LIMITATIONS; INCLUDE RELEVANT ADDITIONAL INFORMATION AND REVISIONS, OTHER THAN THOSE REQUESTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER ON PREVIOUS SUBMITTALS. INDICATE BY HIGHLIGHTING ON EACH SUBMITTAL OR NOTING ON ATTACHED SEPARATE SHEET.
- H. INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.
- I. ARCHITECT'S ACTION: ARCHITECT WILL REVIEW INFORMATION OR DOCUMENTATION NOTIFY CONTRACTOR OF ACCEPTANCE REQUEST FOR MORE INFORMATION OR REJECTION WITHIN 14 DAYS OF RECEIPT. ARCHITECT WILL REVIEW RESUBMITTAL WITHIN 7 DAYS OF RECEIPT.
- J. SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS WILL BE RETURNED BY ARCHITECT WITHOUT ACTION.

## QUALITY REQUIREMENTS:

- A. CONFLICTING STANDARDS AND OTHER REQUIREMENTS: IF COMPLIANCE WITH TWO OR MORE STANDARDS OR REQUIREMENTS IS SPECIFIED AND THE STANDARDS OR REQUIREMENTS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, INFORM THE ARCHITECT REGARDING THE CONFLICT AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. REFER CONFLICTING REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- B. PREPARE AND SUBMIT CERTIFIED WRITTEN REPORTS REQUIRED. INCLUDE THE FOLLOWING:
  1. PROJECT TITLE AND NUMBER AND DATE OF ISSUE. RECORD OF TEMPERATURE AND WEATHER CONDITIONS AT TIME OF SAMPLE TAKING AND TESTING AND INSPECTION. NAME AND SIGNATURE OF LABORATORY INSPECTOR.
  2. NAME, ADDRESS, TELEPHONE NUMBER, AND EMAIL ADDRESS OF TESTING AGENCY
  3. DATES AND LOCATIONS OF SAMPLES AND TESTS OR INSPECTIONS.
  4. TEST AND INSPECTION RESULTS AND AN INTERPRETATION OF TEST RESULTS. COMMENTS OR PROFESSIONAL OPINION ON WHETHER TESTED OR INSPECTED WORK COMPLIES WITH THE CONTRACT DOCUMENT REQUIREMENTS. RECOMMENDATIONS ON RETESTING AND REINSPECTING.
- C. MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING PRODUCTS OR SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS. AS APPLICABLE, PURCHASE PRODUCTS FROM MANUFACTURERS ABLE TO MEET QUALIFICATION REQUIREMENTS, WARRANTY REQUIREMENTS, AND TECHNICAL OR FACTORY-AUTHORIZED SERVICE REPRESENTATIVE REQUIREMENTS.
- D. FABRICATOR QUALIFICATIONS: A FIRM EXPERIENCED IN PRODUCING PRODUCTS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS.
- E. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLYING, OR ASSEMBLING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- F. TESTING AND INSPECTING AGENCY QUALIFICATIONS: AN NRTL, AN NVLAP, OR AN INDEPENDENT AGENCY WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT TESTING AND INSPECTION INDICATED, AS DOCUMENTED ACCORDING TO [ASTM E329] <INSERT STANDARD>; AND WITH ADDITIONAL QUALIFICATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS; AND, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION, THAT IS ACCEPTABLE TO AUTHORITIES.
- G. PRECONSTRUCTION TESTING: WHERE TESTING AGENCY IS INDICATED TO PERFORM PRECONSTRUCTION TESTING FOR COMPLIANCE WITH SPECIFIED REQUIREMENTS FOR PERFORMANCE AND TEST METHODS, COMPLY WITH THE FOLLOWING:
  1. CONTRACTOR RESPONSIBILITIES INCLUDE THE FOLLOWING: PROVIDE TEST SPECIMENS REPRESENTATIVE OF PROPOSED PRODUCTS AND CONSTRUCTION. SUBMIT SPECIMENS IN A TIMELY MANNER WITH SUFFICIENT TIME FOR TESTING AND ANALYZING RESULTS TO PREVENT DELAYING THE WORK. WHEN TESTING IS COMPLETE, REMOVE TEST SPECIMENS AND TEST ASSEMBLIES, AND MOCKUPS UNLESS NOTED OTHERWISE; DO NOT REUSE PRODUCTS ON PROJECT.
  2. TESTING AGENCY RESPONSIBILITIES: SUBMIT A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-ASSURANCE SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM THE CONTRACT DOCUMENTS.
- H. MOCKUPS: BEFORE INSTALLING PORTIONS OF THE WORK REQUIRING MOCKUPS, BUILD MOCKUPS FOR EACH FORM OF CONSTRUCTION AND FINISH REQUIRED TO COMPLY WITH THE FOLLOWING REQUIREMENTS, USING MATERIALS INDICATED FOR THE COMPLETED WORK, TO SIZE AND LOCATION INDICATED. DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. NOTIFY ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER 7 DAYS IN ADVANCE OF DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED AND ALLOW 7 DAYS FOR REVIEW AND APPROVAL. OBTAIN THE APPROVAL FROM ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER BEFORE STARTING CORRESPONDING WORK. FABRICATION OR CONSTRUCTION. MAINTAIN MOCKUPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. DEMOLISH AND REMOVE MOCKUPS WHEN DIRECTED UNLESS OTHERWISE INDICATED.
- I. QUALITY CONTROL:
  1. CONTRACTOR RESPONSIBILITIES: TESTS AND INSPECTIONS ARE CONTRACTOR'S RESPONSIBILITY. PERFORM ADDITIONAL QUALITY-CONTROL ACTIVITIES, WHETHER SPECIFIED OR NOT, TO VERIFY AND DOCUMENT THAT THE WORK COMPLIES WITH REQUIREMENTS. ENGAGE A QUALITY-CONTROL TESTING AGENCY TO PERFORM QUALITY-CONTROL SERVICES. NOTIFY TESTING AGENCIES AT LEAST 72 HOURS IN ADVANCE OF TIME WHEN WORK THAT REQUIRES TESTING OR INSPECTION WILL BE PERFORMED. COOPERATE WITH AGENCIES AND REPRESENTATIVES PERFORMING REQUIRED TESTS, INSPECTIONS, AND SIMILAR QUALITY-CONTROL SERVICES, AND PROVIDE REASONABLE AUXILIARY SERVICES AS REQUESTED.
  2. TESTING AGENCY RESPONSIBILITIES: COOPERATE WITH ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY IN PERFORMANCE OF DUTIES. PROVIDE QUALIFIED PERSONNEL TO PERFORM REQUIRED TESTS AND INSPECTIONS. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM REQUIREMENTS. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
  3. CONTRACTOR AND TESTING AGENCY SHALL COORDINATE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED QUALITY-ASSURANCE AND QUALITY-CONTROL SERVICES WITH A MINIMUM OF DELAY AND TO AVOID NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE TESTING AND INSPECTION.
- J. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY OR SPECIAL INSPECTOR TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS FOLLOWS:
  1. VERIFYING THAT MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY-CONTROL PROCEDURES AND REVIEWING THE COMPLETENESS AND ADEQUACY OF THOSE PROCEDURES TO PERFORM THE WORK.
  2. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
  3. SUBMITTING A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-CONTROL SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY WITH COPY TO CONTRACTOR AND TO AUTHORITIES HAVING JURISDICTION. SUBMIT A FINAL REPORT OF SPECIAL TESTS AND INSPECTIONS AT SUBSTANTIAL COMPLETION, WHICH INCLUDES A LIST OF UNRESOLVED DEFICIENCIES.
  4. RETESTING AND REINSPECTING CORRECTED WORK.
- K. ALL RETESTING/REINSPECTING: REGARDLESS OF WHETHER ORIGINAL TESTS OR INSPECTIONS WERE CONTRACTOR'S RESPONSIBILITY OR THE OWNER'S SPECIAL INSPECTIONS, PROVIDE QUALITY-CONTROL SERVICES, INCLUDING RETESTING AND REINSPECTING, FOR CONSTRUCTION THAT REPLACED WORK THAT FAILED TO COMPLY WITH THE CONTRACT DOCUMENTS.

## CONSTRUCTION WASTE MANAGEMENT:

- A. DEVELOP A WASTE MANAGEMENT PLAN AND SUBMIT PLAN FOR APPROVAL WITHIN 14 DAYS OF DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK.
- B. DISTRIBUTE AND IMPLEMENT APPROVED WASTE MANAGEMENT PLAN. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
- C. TRAIN WORKERS, SUBCONTRACTORS, AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK.
- D. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR SEPARATING MATERIALS THAT ARE TO BE SALVAGED AND RECYCLED.

## CLOSEOUT PROCEDURES:

- A. CONTRACTOR'S LIST OF INCOMPLETE ITEMS: PREPARE AND SUBMIT A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (CONTRACTOR'S "PUNCH LIST"), INDICATING THE VALUE OF EACH ITEM ON THE LIST AND REASONS WHY THE WORK IS INCOMPLETE.
- B. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: COMPLETE THE FOLLOWING A MINIMUM OF 10 DAYS PRIOR TO REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION.
  1. SUBMIT A FINAL APPLICATION FOR PAYMENT.
  2. CERTIFICATE OF INSURANCE: SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE.
  3. CERTIFIED LIST OF INCOMPLETE ITEMS: SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.
  4. CERTIFICATES OF RELEASE: OBTAIN AND SUBMIT RELEASES FROM AUTHORITIES HAVING JURISDICTION, PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
  5. SUBMIT CLOSEOUT SUBMITTALS AS REQUIRED, INCLUDING SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
  6. SUBMIT MAINTENANCE MATERIAL SUBMITTALS SPECIFIED IN INDIVIDUAL SECTIONS, INCLUDING TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS, AND DELIVER TO LOCATION DESIGNATED BY OWNER OR OWNER'S AGENT. LABEL WITH MANUFACTURER'S NAME AND MODEL NUMBER.
  7. SUBMIT TESTING, ADJUSTING, AND BALANCING RECORDS.
  8. SUBMIT CHANGEOVER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.
  9. ALL CLOSE OUT DOCUMENTS TO BE SUBMITTED TO OWNER BY SINGLE THUMB DRIVE.

## C. FINAL CLEANING

- 1. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. CLEAN EACH SURFACE OR UNIT TO CONDITION EXPECTED IN AN AVERAGE COMMERCIAL BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 2. USE CLEANING PRODUCTS THAT COMPLY WITH GREEN SEAL'S GS-37, OR IF GS-37 IS NOT APPLICABLE, USE PRODUCTS THAT COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS MAXIMUM ALLOWABLE VOC LEVELS.
- 3. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
- 4. VACUUM CARPET AND SIMILAR SOFT SURFACES, REMOVING DEBRIS AND EXCESS NAP; CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IF VISIBLE SOIL OR STAINS REMAIN.
- 5. CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER NOTICEABLE, VISION-OBSCURING MATERIALS. POLISH MIRRORS AND GLASS, TAKING CARE NOT TO SCRATCH SURFACES.
- 6. CLEAN PLUMBING FIXTURES TO A SANITARY CONDITION, FREE OF STAINS, INCLUDING STAINS RESULTING FROM WATER EXPOSURE.

## OPERATIONS AND MAINTENANCE DATA:

- A. SUBMIT EACH MANUAL IN FINAL FORM PRIOR TO REQUESTING INSPECTION FOR SUBSTANTIAL COMPLETION AND AT LEAST 10 DAYS BEFORE COMMENCING DEMONSTRATION AND TRAINING.
- B. CORRECT OR REVISE EACH MANUAL TO COMPLY WITH ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS. SUBMIT COPIES OF EACH CORRECTED MANUAL, WITHIN 10 DAYS OF RECEIPT OF ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS AND PRIOR TO COMMENCING DEMONSTRATION AND TRAINING.
- C. SUBMIT ON DIGITAL MEDIA ACCEPTABLE TO ARCHITECT BY UPLOADING TO WEB-BASED PROJECT SOFTWARE SITE OR BY EMAIL TO ARCHITECT, IF WEB-BASED SOFTWARE IS NOT UTILIZED. ENABLE REVIEWER COMMENTS ON DRAFT SUBMITTALS.

- 1. ELECTRONIC FILES: USE ELECTRONIC FILES PREPARED BY MANUFACTURER WHERE AVAILABLE. WHERE SCANNING OF PAPER DOCUMENTS IS REQUIRED, CONFIGURE SCANNED FILE FOR MINIMUM READABLE FILE SIZE.
- 2. BOOKMARK INDIVIDUAL DOCUMENTS BASED ON FILE NAMES. NAME DOCUMENT FILES TO CORRESPOND TO SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN MANUAL DIRECTORY AND TABLE OF CONTENTS. GROUP DOCUMENTS FOR EACH SYSTEM AND SUBSYSTEM INTO INDIVIDUAL COMPOSITE BOOKMARKED FILES, THEN CREATE COMPOSITE MANUAL. SO THAT RESULTING BOOKMARKS REFLECT THE SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN A READILY NAVIGATED FILE TREE. CONFIGURE ELECTRONIC MANUAL TO DISPLAY BOOKMARK PANEL ON OPENING FILE.
- D. ORGANIZATION OF MANUALS: UNLESS OTHERWISE INDICATED, ORGANIZE EACH MANUAL INTO A SEPARATE SECTION FOR EACH SYSTEM AND SUBSYSTEM, AND A SEPARATE SECTION FOR EACH PIECE OF EQUIPMENT NOT PART OF A SYSTEM. PROVIDE A TITLE PAGE AND TABLE OF CONTENTS.
- 1. TITLE PAGE SHALL INCLUDE:
  - a. SUBJECT MATTER INCLUDED IN MANUAL.
  - b. DATE OF SUBMITTAL.
  - c. NAME AND CONTACT INFORMATION FOR CONTRACTOR AND CONSTRUCTION MANAGER WHEN APPLICABLE.
  - d. NAME AND CONTACT INFORMATION FOR COMMISSIONING AUTHORITY.
- 2. EMERGENCY MANUAL: ASSEMBLE A COMPLETE SET OF EMERGENCY INFORMATION INDICATING PROCEDURES FOR USE BY EMERGENCY PERSONNEL AND BY OWNER'S OPERATING PERSONNEL FOR TYPES OF EMERGENCIES INDICATED.
- 3. SYSTEMS AND EQUIPMENT OPERATION MANUAL: ASSEMBLE A COMPLETE SET OF DATA INDICATING OPERATION OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE INFORMATION REQUIRED FOR DAILY OPERATION AND MANAGEMENT, OPERATING STANDARDS, AND ROUTINE AND SPECIAL OPERATING PROCEDURES.
- 4. SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS: ASSEMBLE A COMPLETE SET OF DATA INDICATING MAINTENANCE OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE MANUFACTURER'S MAINTENANCE DOCUMENTATION, PREVENTATIVE MAINTENANCE PROCEDURES AND FREQUENCY, REPAIR PROCEDURES, WIRING AND SYSTEMS DIAGRAMS, LISTS OF SPARE PARTS, AND WARRANTY INFORMATION.
- 5. PRODUCT MAINTENANCE MANUAL: ASSEMBLE A COMPLETE SET OF MAINTENANCE DATA INDICATING CARE AND MAINTENANCE OF EACH PRODUCT, MATERIAL, AND FINISH INCORPORATED INTO THE WORK.

## PROJECT RECORD DOCUMENTS:

- A. RECORD PRINTS: MAINTAIN ONE SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED.
- B. MAINTAIN ONE COPY OF EACH SUBMITTAL DURING THE CONSTRUCTION PERIOD FOR PROJECT RECORD DOCUMENT PURPOSES. POST CHANGES AND REVISIONS TO PROJECT RECORD DOCUMENTS AS THEY OCCUR; DO NOT WAIT UNTIL END OF PROJECT.
- C. RECORD DIGITAL DATA FILES: IMMEDIATELY BEFORE INSPECTION FOR CERTIFICATE OF SUBSTANTIAL COMPLETION, REVIEW MARKED-UP RECORD DOCUMENTS WITH ARCHITECT, CONTRACTOR AND/OR CONSTRUCTION MANAGER. WHEN AUTHORIZED, PREPARE A FULL SET OF CORRECTED DIGITAL DATA FILES OF THE CONTRACT DOCUMENTS. SEE OPERATIONS AND MAINTENANCE DATA SECTION ABOVE FOR SUBMISSION FORMAT REQUIREMENTS.

## DEMONSTRATION AND TRAINING:

- A. FACILITATOR: CONTRACTOR OR CONSTRUCTION MANAGER SHALL PREPARE INSTRUCTION PROGRAM AND TRAINING MODULES, TO COORDINATE INSTRUCTORS, AND TO COORDINATE BETWEEN CONTRACTOR AND OWNER FOR NUMBER OF PARTICIPANTS, INSTRUCTION TIMES, AND LOCATION.
- B. ENGAGE QUALIFIED INSTRUCTORS TO INSTRUCT OWNER'S PERSONNEL TO ADJUST, OPERATE, AND MAINTAIN SYSTEMS, SUBSYSTEMS, AND EQUIPMENT NOT PART OF A SYSTEM.
- C. PROVIDE INSTRUCTION AT MUTUALLY AGREED-ON TIMES. FOR EQUIPMENT THAT REQUIRES SEASONAL OPERATION, PROVIDE SIMILAR INSTRUCTION AT START OF EACH SEASON.
- D. TRAINING LOCATION AND REFERENCE MATERIAL: CONDUCT TRAINING ON-SITE IN THE COMPLETED AND FULLY OPERATIONAL FACILITY USING THE ACTUAL EQUIPMENT IN-PLACE. CONDUCT TRAINING USING FINAL OPERATION AND MAINTENANCE DATA SUBMITTALS.
- E. EVALUATION: AT CONCLUSION OF EACH TRAINING MODULE, ASSESS AND DOCUMENT EACH PARTICIPANT'S MASTERY OF MODULE BY USE OF A DEMONSTRATION PERFORMANCE-BASED TEST.
- F. COLLECT USED AND LEFTOVER EDUCATIONAL MATERIALS AND GIVE TO OWNER. REMOVE INSTRUCTIONAL EQUIPMENT. RESTORE SYSTEMS AND EQUIPMENT TO CONDITION EXISTING BEFORE INITIAL TRAINING USE.

## DRAWING SYMBOLS

VIEW TITLE	DETAIL CALLOUT	DOOR MARKER
DET NO.	DET NO.	(101) SIM A101
1 View Name		WINDOW TYPE MARKER
SCALE : 1/8" = 1'-0"		DRAWING NO.
SECTION MARKER	ELEVATION MARKER	ROOM TAG
VIEWING DIRECTION	Ref 1 ELEVATION NO.	SCHEDULED DOOR
DET NO.	Ref 1 A101	EXISTING DOOR
DRAWING NO.	Ref 1 A000	KEYNOTE
DETAIL SECTION	BREAK MARKER	# KEYNOTE (REMOVALS)
VIEWING DIRECTION	XX NORTH ARROW (SHOWN IN KEYPLAN)	EQUIPMENT TAG
DET NO.	XXX NEW COLUMN ID	ELEVATION NOTATION
DRAWING NO.	XXX EXISTING COLUMN ID	8'-0" CEILING HEIGHT
ACCESORY MARKER		

## MATERIAL INDICATORS

UNDISTURBED EARTH	STEEL	FINISH WOOD
GRAVEL OR CRUSHED STONE	RIGID INSULATION	BATT INSULATION
CAST STONE	BRICK	WOOD FRAMING (CONTINUOUS)
CONCRETE	PLYWOOD	WOOD BLOCKING (DISCONTIN.)
CONCRETE MASONRY UNIT	SAND OR GYPSUM BOARD	EXISTING

## WALL STYLES

EXISTING BRICK WALL	BRICK WALL	EXISTING WALL REMOVAL
EXISTING CMU WALL	CMU WALL	
EXISTING STUD WALL	STUD WALL	

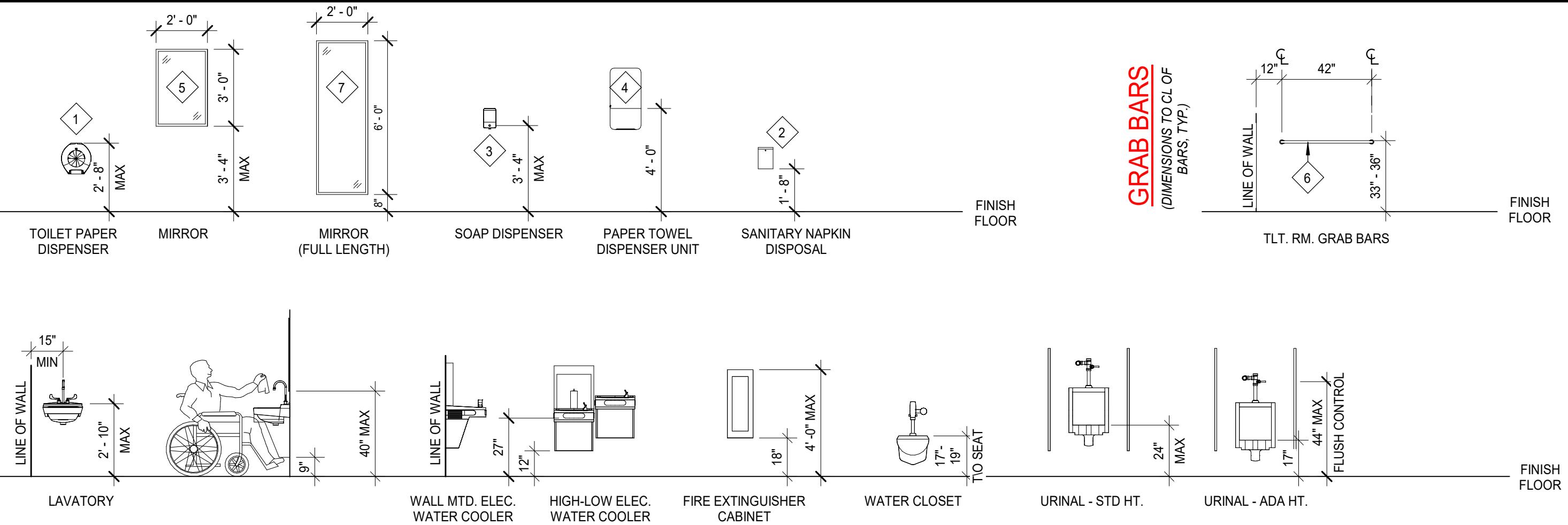
## ABBREVIATIONS

" INCHES	LLV LONG LEG VERTICAL
# NUMBER, POUNDS	LMC LINEAR METAL CEILING
& FEET	LT LIGHT
FEET	LTL LINTEL
(E, EX) EXISTING TO REMAIN	LVR LOUVER
(ER) EXISTING TO BE RELOCATED	LVT LUXURY VINYL TILE
(N) NEW WORK	
(R) REMOVE	M MAXIMUM
(RE) RELOCATED EXISTING	MECH MECHANICAL
@ AT Ø, DIA DIAMETER	MEZZ MEZZANINE
	MFR MANUFACTURER
	MIN MINIMUM
	MO MASONRY OPENING
	MTD MOUNTED
	MTL METAL
" INCHES	N NOT IN CONTRACT
# NUMBER, POUNDS	NTS NOT TO SCALE
& FEET	O ON CENTER
FEET	OC OWNER PROVIDED/CONTRACTOR
(E, EX) EXISTING TO REMAIN	INSTALLED
(ER) EXISTING TO BE RELOCATED	OPPOSITE
(N) NEW WORK	OSB ORIENTED STRAND BOARD
(R) REMOVE	
(RE) RELOCATED EXISTING	P PRECAST CONCRETE
@ AT Ø, DIA DIAMETER	PCF POUNDS PER CUBIC FOOT
	PL PLATE
	PLF POUNDS PER LINEAR FOOT
	PLM PLASTIC LAMINATE
	PLYWD PLYWOOD
" INCHES	PMJ PRE MOLDED EXPANSION JOINT
# NUMBER, POUNDS	PMF PRE MOLDED FILLER
& FEET	PP PLASTIC PANELING
FEET	PSF POUNDS PER SQUARE FOOT
(E, EX) EXISTING TO REMAIN	PSI POUNDS PER SQUARE INCH
(ER) EXISTING TO BE RELOCATED	PT PORCELAIN TILE
(N) NEW WORK	PTD PAINTED
(R) REMOVE	PTWD (PRESSURE) PRESERVATIVE-TREATED WOOD
" INCHES	Q QUARRY TILE
# NUMBER, POUNDS	QT QUANTITY
& FEET	R RISER
FEET	RB RUBBER BASE
(E, EX) EXISTING TO REMAIN	RCP REFLECTED CEILING PLAN
(ER) EXISTING TO BE RELOCATED	RD ROOF DRAIN
(N) NEW WORK	REBAR REINFORCING BAR
(R) REMOVE	REINF REINFORCED, REINFORCING
(RE) RELOCATED EXISTING	REQD REQUIRED
@ AT Ø, DIA DIAMETER	REQMTS REQUIREMENTS
" INCHES	RESIL RESILIENT
# NUMBER, POUNDS	RF RESILIENT FLOORING
& FEET	RM ROOM
FEET	RO ROUGH OPENING
(E, EX) EXISTING TO REMAIN	RTU ROOF TOP UNIT
(ER) EXISTING TO BE RELOCATED	
(N) NEW WORK	S SC SEALED CONCRETE
(R) REMOVE	SCHED SCHEDULE
(RE) RELOCATED EXISTING	SCL STRUCTURAL COMPOSITE LUMBER
" INCHES	SF, SQFT SQUARE FEET
# NUMBER, POUNDS	SIM SIMILAR
& FEET	SMS SHEET METAL SCREW
FEET	SOG SLAB ON GRADE / GROUND
(E, EX) EXISTING TO REMAIN	SPCS SPACES
(ER) EXISTING TO BE RELOCATED	SPEC SPECIFICATION
(N) NEW WORK	SS SOLID SURFACE
(R) REMOVE	SSL SHORT SLOTTED
(RE) RELOCATED EXISTING	SST STAINLESS STEEL
" INCHES	STC SOUND TRANSMISSION CLASS
# NUMBER, POUNDS	STD STANDARD
& FEET	STL STEEL
FEET	STRUCT STRUCTURAL, STRUCTURE
(E, EX) EXISTING TO REMAIN	SYS SYSTEM
(ER) EXISTING TO BE RELOCATED	
" INCHES	T TREAD
# NUMBER, POUNDS	T&G TONGUE AND GROOVE
& FEET	TEMP TEMPORARY
FEET	TH THRESHOLD
(E, EX) EXISTING TO REMAIN	TL TWIST LOCK
(ER) EXISTING TO BE RELOCATED	TR TRANSITION
(N) NEW WORK	TYP TYPICAL
" INCHES	U UNLESS NOTED OTHERWISE
# NUMBER, POUNDS	UNO UNLESS NOTED OTHERWISE
& FEET	UPH UPHOLSTERY
FEET	UR URINAL
(E, EX) EXISTING TO REMAIN	V VARIES
(ER) EXISTING TO BE RELOCATED	VB VINYL BASE
(N) NEW WORK	VCT VINYL COMPOSITION TILE
(R) REMOVE	VERT VERTICAL
(RE) RELOCATED EXISTING	VEST VESTIBULE
" INCHES	VIF VERIFY IN FIELD
# NUMBER, POUNDS	VWC VINYL WALL COVERING
& FEET	
FEET	W WIDE, WIDTH
(E, EX) EXISTING TO REMAIN	W/ WITH
(ER) EXISTING TO BE RELOCATED	W/O WITHOUT
(N) NEW WORK	WB WOOD BASE
(R) REMOVE	WC WATER CLOSET
(RE) RELOCATED EXISTING	WCV WALL COVERING
" INCHES	WD WOOD
# NUMBER, POUNDS	WDT WINDOW TREATMENT
& FEET	WF WOOD FLOORING
FEET	WOM WALKOFF MAT
(E, EX) EXISTING TO REMAIN	WP WATERPROOF
(ER) EXISTING TO BE RELOCATED	WT WALL TILE
(N) NEW WORK	
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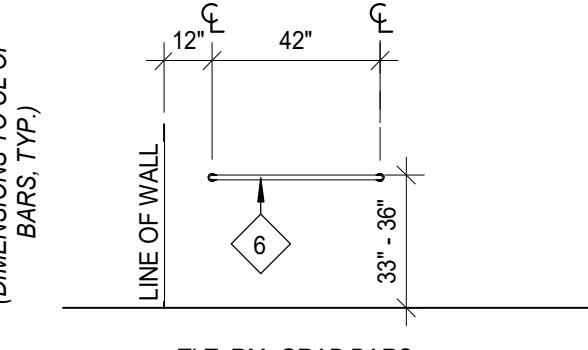


## ACCESSORIES



## Fixture Dimensions

### GRAB BARS



### KEYNOTES

- 1 NEW HOLLOW DRINKING FOUNTAIN WITH BOTTLE FILLER. USE ELKAY WATER COOLERS WITH CHILLED WATER. ADA ACCESSIBLE. PROVIDE POWER FOR NEW DRINKING FOUNTAIN.
- 2 NEW FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER TO MATCH EXISTING. DO NOT PAINT.
- 3 NEW DOOR AND HARDWARE. REFER TO DOOR SCHEDULE. PAINT EXISTING FRAME. COLOR BENCH MARK FOR NEW DOORS: 200A & B.
- 4 EXISTING DISPLAY BOARD TO REMAIN (DO NOT PAINT).
- 6 INSTALL NEW EPOXY FLOOR OVER EXISTING CERAMIC TILE. CONTINUE EPOXY UP WALL MIN 4".
- 7 PAINT EXISTING BRICK WALL.
- 8 INFILL WALL WHERE DOOR WAS REMOVED WITH MATERIALS TO MATCH ADJACENT. ADD BATT INSULATION TO WALL CAVITY. PAINT WALL TO MATCH EXISTING.
- 9 WALL GRILL AND ACCESS PANEL ABOVE TO BE PAINTED TO MATCH WALL COLOR.
- 12 REPAIR/ PATCH SPALLING MASONRY AROUND DOOR FRAME BEFORE PAINTING.
- 13 CONTRACTOR IS RESPONSIBLE FOR FLOOR INSTALLATION OVER THE CONTROL JOINTS. JOINT WILL NEED TO BE REPAIRED AND PATCHED PER MANUFACTURER RECOMMENDATIONS BEFORE EPOXY INSTALL.
- 14 CAULK CORNERS OF MASONRY BEFORE PAINTING.TYP.

### GENERAL NOTES

- A. REFER TO A002 FOR WALL TYPES, DETAILS, AND ADDITIONAL INFORMATION.
- B. REFER TO A120 SERIES DRAWINGS FOR REFLECTED CEILING PLANS AND DETAILS.
- C. REFER TO A140 SERIES DRAWINGS FOR FINISH PLANS, SCHEDULES, AND DETAILS.
- D. REFER TO A160 SERIES DRAWINGS FOR FURNITURE AND EQUIPMENT PLANS AND SCHEDULES.
- E. REFER TO A600 SERIES DRAWINGS FOR DOOR SCHEDULE, WINDOW SCHEDULE, DETAILS, AND BASIS OF DESIGN.
- F. ALL DOORS TO BE LOCATED 4" FROM DRYWALL ADJACENT WALL UNLESS OTHERWISE NOTED.
- G. ALIGN FACES OF MASONRY AND STUD WALLS INDICATED IN THE SAME PLANE ON PLANS, U.O.N.

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Formerly Known as **B** BERGMANN



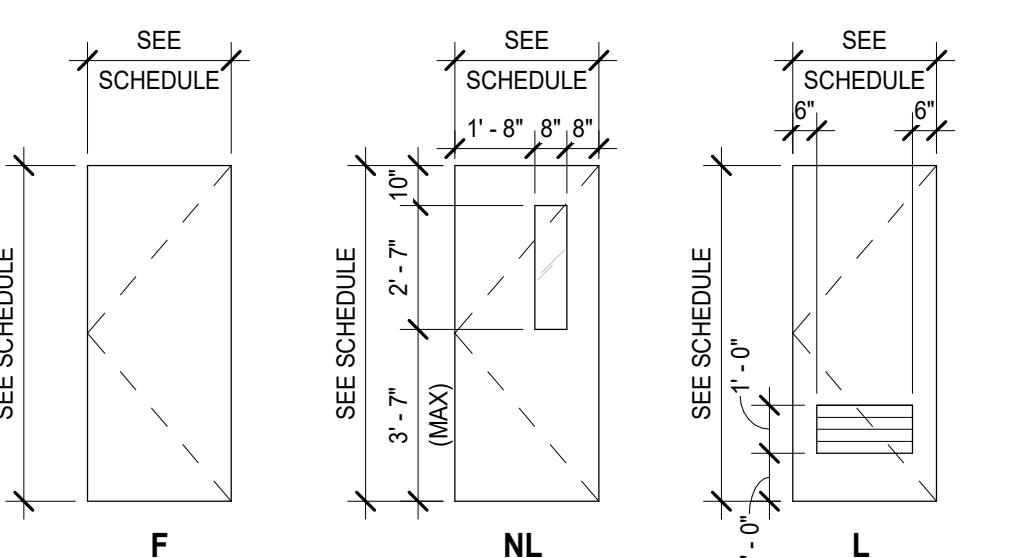
PROTECT YOURSELF  
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE  
Know what's below.  
Call before you dig.  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DOOR #	DOOR			FRAME			GENERAL			DOOR #	
	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	
New Construction											
FIRST FLOOR											
201A	3' - 2"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	5	20 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME
203	3' - 0"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	4	90 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME
205	6' - 0"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	2	90 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME
207	3' - 0"	7' - 0"	0' - 1 3/4"	L	NEW WD - ST	EXIST	EXIST HM - PT	EXISTING	1	--	NEW WOOD DOOR, NEW HARDWARE, PAINT EXISTING FRAME
208	3' - 0"	7' - 0"	0' - 1 3/4"	L	NEW WD - ST	EXIST	EXIST HM - PT	EXISTING	1	--	NEW WOOD DOOR, NEW HARDWARE, PAINT EXISTING FRAME

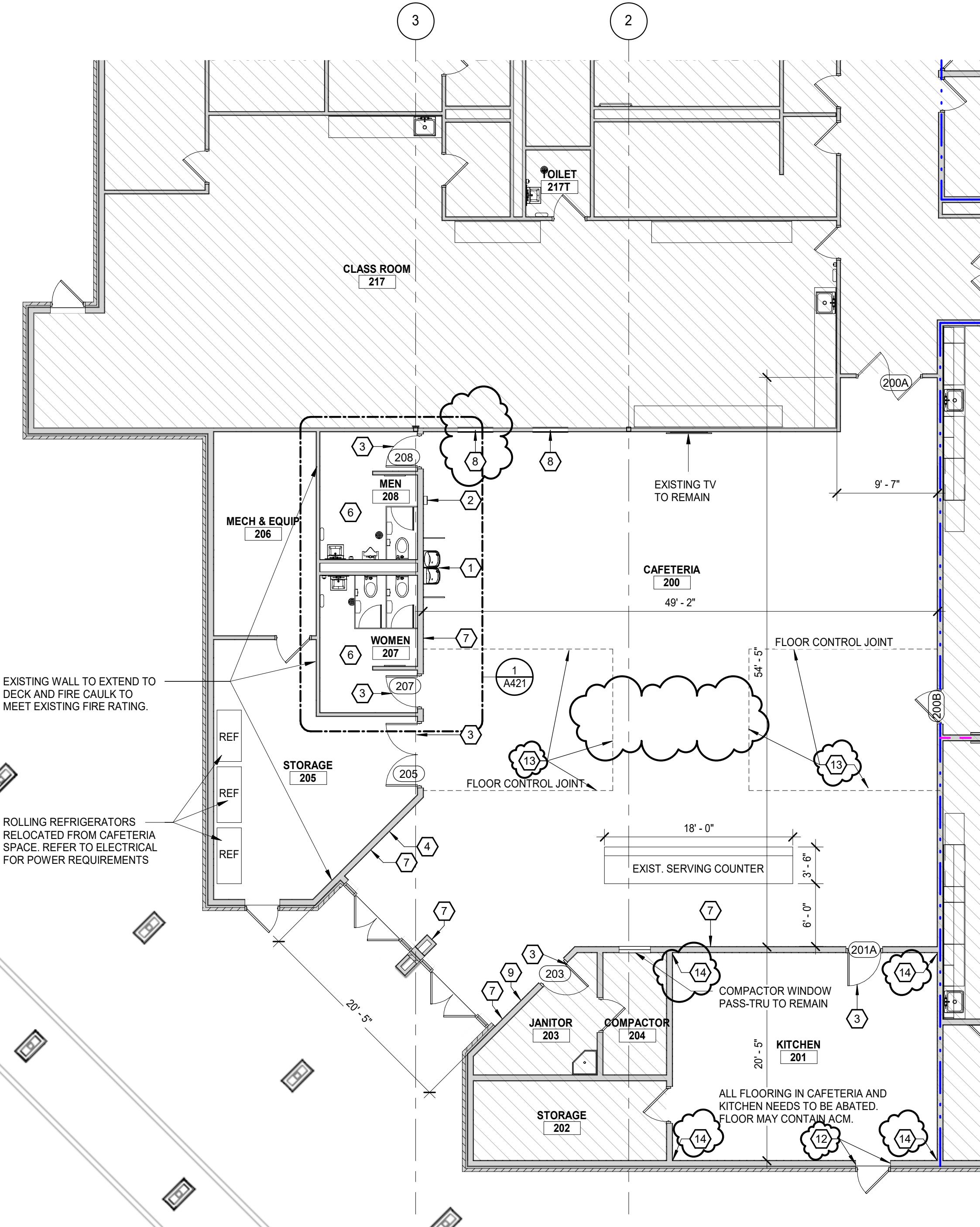
### DOOR AND HARDWARE NOTES

- 1 EXISTING DOOR AND FRAME - REPAIR, PREP AND PAINT HOLLOW METAL FRAME AND DOOR / TOUCH UP WOOD DOOR FINISH. REFER TO HARDWARE SCHEDULE FOR ADDITIONAL INFORMATION
- 2 PROTECT EXISTING DOORS AND FRAMES TO REMAIN
- 3 FIELD CERTIFICATION FOR FIRE RESISTANCE RATING OF EXISTING FRAME REQUIRED
- 4 SALVAGE CORES OF EXISTING HARDWARE TO BE REMOVED. CONTRACTOR TO PROVIDE NEW CORES WHERE REQUIRED.
- 5 ALL HARDWARE TO MEET ALL STATE AND LOCAL ACCESSIBILITY REQUIREMENTS
- 6 REFER TO HARDWARE SPECIFICATIONS FOR ADDITIONAL HARDWARE REQUIREMENTS
- 7 NEW HARDWARE IN EXISTING FRAME
- 8 NEW KICK PLATE FOR DOORS THAT CURRENTLY HAVE AN EXISTING KICK PLATE
- 9 KICK PLATE ON DOOR 201A IS TO BE A FULL HEIGHT BOTH SIDES
- 10 COLOR BENCH MARK FOR ALL DOOR IS DOOR 200A & 200B

NOTES:  
A. ALL RESTROOM ACCESSORIES ARE FOR REFERENCE ONLY.  
B. RESTROOM ACCESSORIES TO BE PROVIDED BY OWNER.  
INSTALLED BY G.C., U.O.N.



### DOOR - TYPES



1 FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

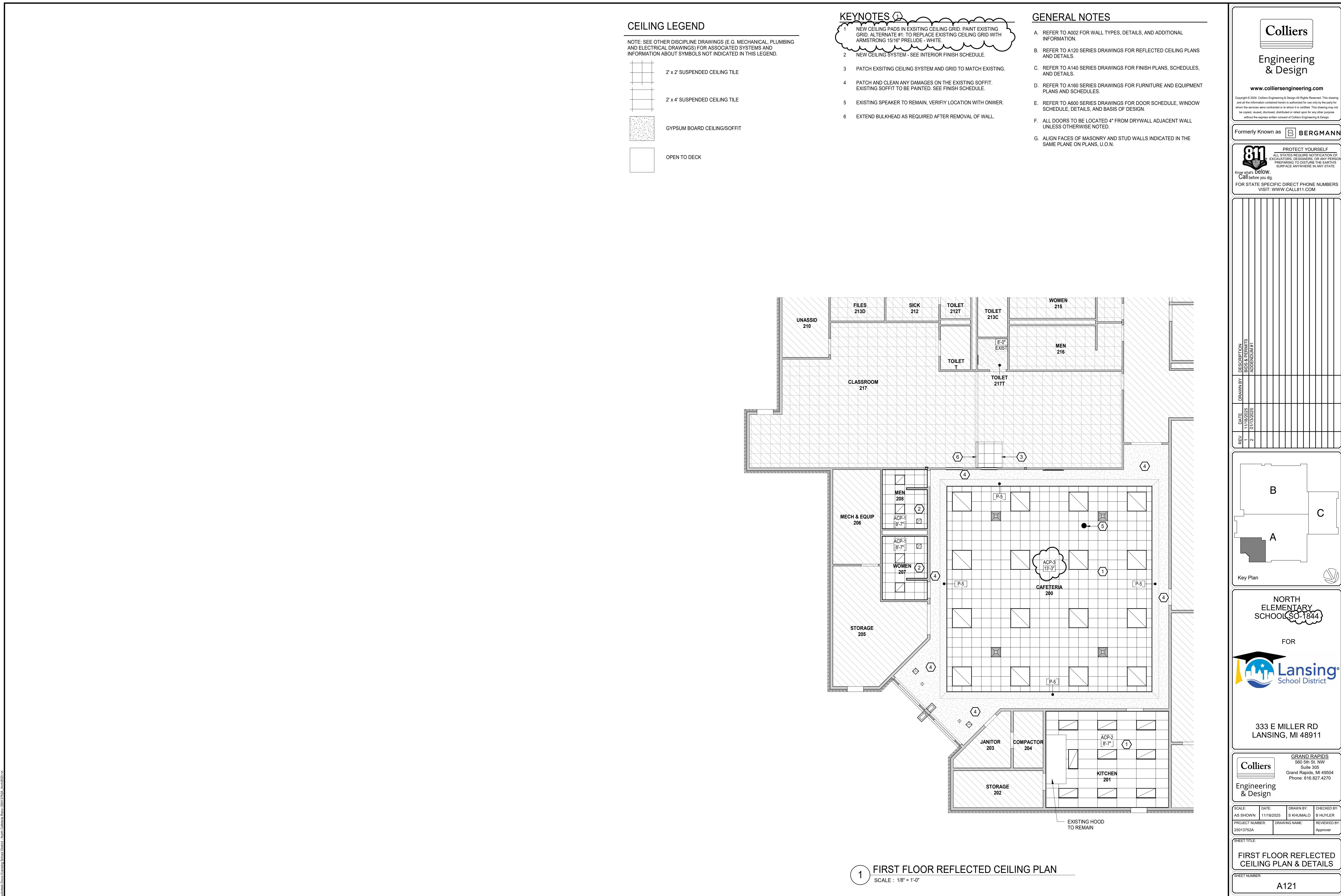
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AS SHOWN DATE DRAWN BY CHECKED BY:  
11/18/2025 S KHUMALO B HUYLER  
PROJECT NUMBER: DRAWING NAME: REVIEWED BY:  
25013752A APPROVED BY: Approver

SHEET TITLE:  
FIRST FLOOR PLAN  
SHEET NUMBER:  
A102

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



TOILET ACCESSORIES SCHEDULE						
TAG	MANUFACTURER	MODEL	DESCRIPTION	COMMENTS	QTY	
1	TORK	565828	TORK 3-ROLL BATH TISSUE DISPENSER FOR OPTICORE, BLACK	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	3	
2	BOBRICK	B-270	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL		3	
3	BUCKEYE	B063-51	SYMMETRY STEALTH PRESTIGE 1250ML SOAP DISPENSER (BLACK)	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	2	
4	TORK	552528	TORK PEAKSERVE CONTINUOUS HAND TOWEL, BLACK	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	2	
5	BOBRICK	B-290 2436	24x36 WELDED FRAME MIRROR	PROVIDED & INSTALLED BY G.C.	2	
7	BOBRICK	B-290 2472	24 x 72 WELDED FRAME MIRROR	PROVIDED & INSTALLED BY G.C.	2	

**NOTES:**

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- B. RESTROOM ACCESSORIES TO BE PROVIDED BY OWNER,  
INSTALLED BY G.C., U.O.N.

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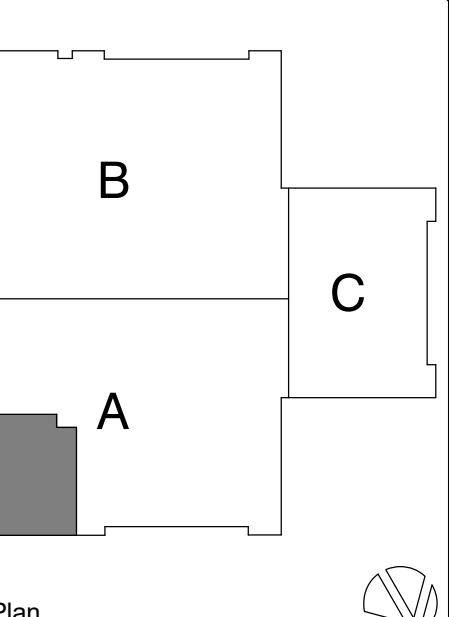
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LANSING, MI 48911

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Engineering

WN	DATE: 11/18/2025	DRAWN BY: S KHUMALO	CHECKED BY: B HUYLER
NUMBER: 2A	DRAWING NAME:	REVIEWED BY: Approver	

TITLE:

INTERIOR ELEVATIONS

THE DRAWINGS FOR CONSTRUCTION

**NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION**

The image contains eight detailed architectural drawings labeled 208M and 207W, each showing a bathroom layout with specific construction details and dimensions. The drawings include labels for walls, floors, partitions, and fixtures, along with callouts for specific details and pipe insulation requirements. The drawings are arranged in two rows: the top row shows 208M - WEST, 208M - SOUTH, 208M - EAST, and 208M - NORTH; the bottom row shows 207W - WEST, 207W - SOUTH, 207W - EAST, and 207W - NORTH. Each drawing includes a scale of 1/4" = 1'-0".

**208M - WEST (Detail 9):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**208M - SOUTH (Detail 8):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**208M - EAST (Detail 7):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**208M - NORTH (Detail 6):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**207W - WEST (Detail 5):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**207W - SOUTH (Detail 4):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**207W - EAST (Detail 3):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

**207W - NORTH (Detail 2):** Shows a bathroom with a sink, toilet, and shower. Walls are painted per finish schedule. Head rails with Antigrip are installed. Floor-mounted overhead braced 1" solid plastic (HDPE) partitions are used. Existing tile flooring remains, with new epoxy coating over existing tile. Epoxy cove base runs up the wall. Pipe insulation is required. Scale: 1/4" = 1'-0".

3

V.I.F

5' - 1"

V.I.F 6

4' - 4"

V.I.F

9

A421

8

MEN  
208

7

4

3

2

1

5' - 0"

5' - 0"

3' - 0"

3' - 0"

2' - 0" MIN.

2' - 0"

4' - 0"

3' - 6"

5' - 7"

1 STALL IN CORNER LEFT  
HAND FLOOR MOUNTED  
OVERHEAD BRACED 1"  
SOLID PLASTIC PARTITIONS

REFER TO SHEET  
3/A422

V.I.F

3

5

4

5' - 0"

5' - 0"

2

1

2

1

3' - 0"

3' - 0"

2' - 0"

4' - 0"

3' - 6"

5' - 7"

V.I.F

5

A421

3

7

5' - 1" 4

4' - 4"

WOMEN  
207

2 STALL IN CORNER LEFT  
HAND FLOOR MOUNTED  
OVERHEAD BRACED 1"  
SOLID PLASTIC PARTITIONS

# 1 FRIST FLOOR - RR LANS

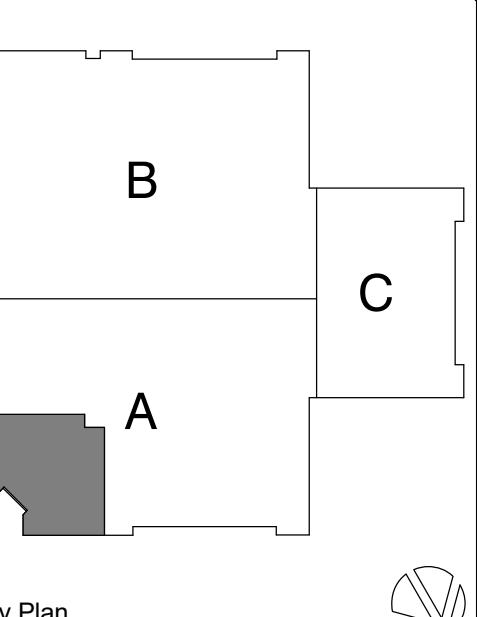
autodesk Docs://Lansing School District - North Cafeteria Reno 125013752A\_Arch2023.rvt

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1	11/18/2025				
2	01/13/2025				



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SCALE: AS SHOWN DATE: 11/18/2025 DRAWN BY: S. KHUMALO CHECKED BY: B. HUYLER

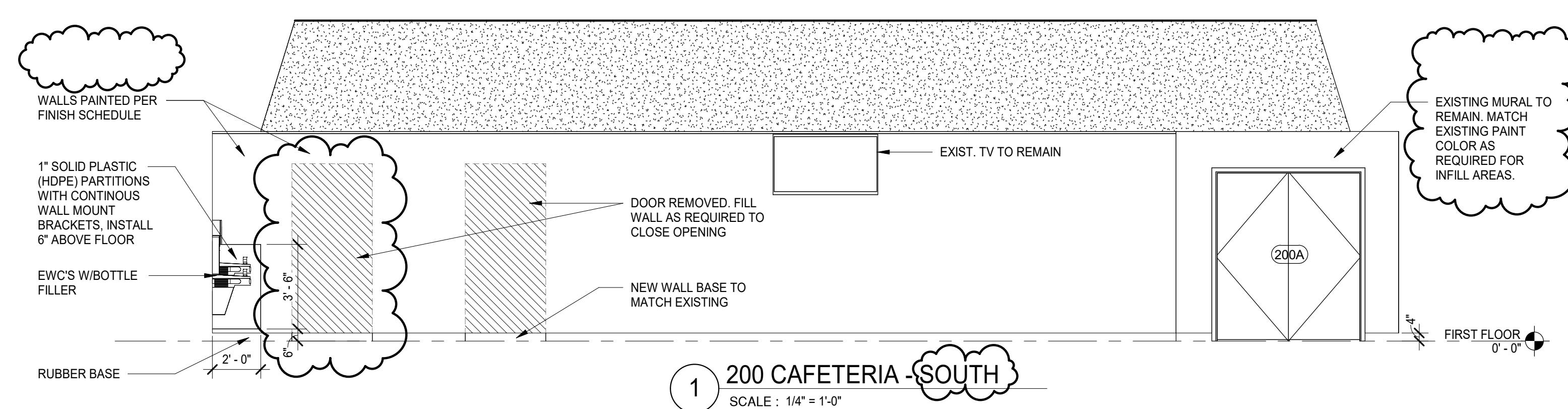
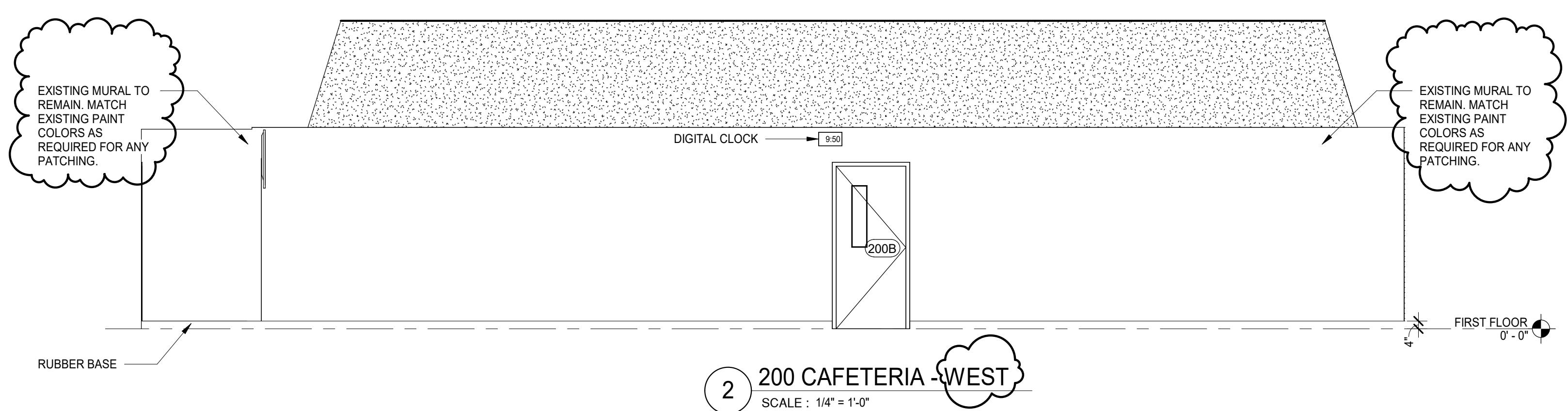
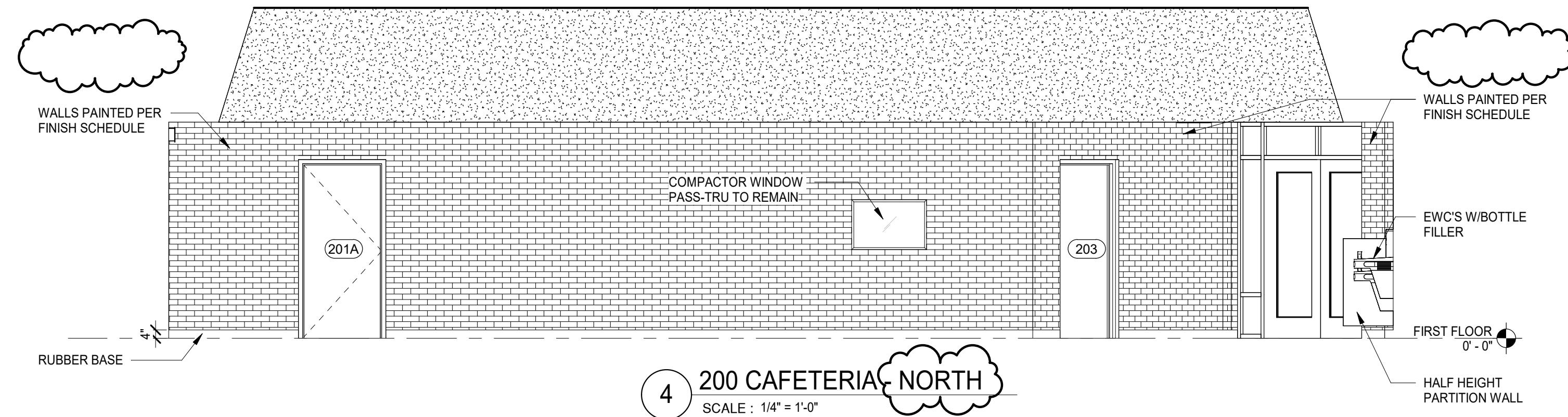
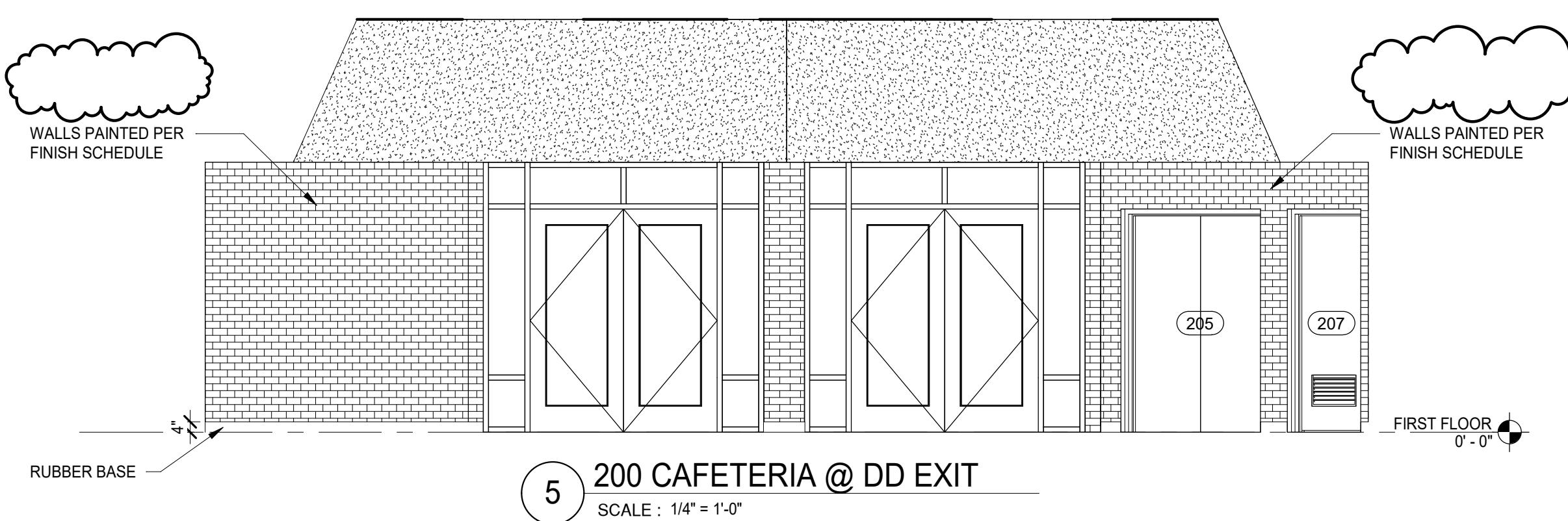
PROJECT NUMBER: 25013752A DRAWING NAME: REVIEWED BY: Approved

SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: A422

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Autodesk Docs | Lansing School District - North Cafeteria Rev01 25013752A AutoCAD 2025 rev01



BASIS OF DESIGN	
09 51 13 ACOUSTIC CEILING PANEL	
<p><b>ACP-1</b> MANUFACTURER: ARMSTRONG STYLE: SCHOOL ZONE FINE FISSURED SQUARE LAY-IN SIZE: 2' X 2' PANEL GRID: 15/16" PRELUDE - WHITE</p> <p><b>ACP-2</b> MANUFACTURER: ARMSTRONG STYLE: KITCHEN ZONE SIZE: 2' X 4' PANEL GRID: BASE BID: PAINT EXISTING GRID ALTERNATE #: NEW 15/16" PRELUDE GRID - WHITE</p> <p><b>ACP-3</b> MANUFACTURER: ARMSTRONG STYLE: SCHOOL ZONE FINE FISSURED SQUARE LAY-IN SIZE: 2' X 2' PANEL GRID: BASE BID: PAINT EXISTING GRID ALTERNATE #: NEW 15/16" PRELUDE GRID - WHITE</p>	
09 67 23 RESINOUS FLOORING	
<p><b>EP-1</b> MANUFACTURER: SHERWIN WILLIAMS STYLE: RESUFLOR DECO FLAKE BC COLOR: TBD. BY CLIENT FROM MANUF STANDARD COLORS</p> <p><b>EP-2</b> MANUFACTURER: SHERWIN WILLIAMS STYLE: POLY-CRETE SLB COLOR: TBD. BY CLIENT FROM MANUF STANDARD COLORS</p>	
09 65 13 RESILIENT BASE AND ACCESSORIES	
<p><b>RB-1</b> MANUFACTURER: FLEXCO TYPE: BASE 2000 SIZE: 4" COVE COLOR: 024 STONE</p>	
09 91 23 INTERIOR PAINTING	
<p><b>P-1: FIELD - INTERIOR PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD. BY CLIENT FINISH: PER SUBSTRATE LOCATION: CAFETERIA</p> <p><b>P-2: FIELD - INTERIOR PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD. BY CLIENT FINISH: PER SUBSTRATE LOCATION: KITCHEN</p> <p><b>P-3: FIELD - INTERIOR PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD. BY CLIENT FINISH: PER SUBSTRATE LOCATION: RESTROOM (MEN)</p> <p><b>P-4: FIELD - INTERIOR PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD. BY CLIENT FINISH: PER SUBSTRATE LOCATION: RESTROOM (WOMEN)</p> <p><b>P-5: FIELD - INTERIOR PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD. BY CLIENT FINISH: PER SUBSTRATE LOCATION: CAFETERIA TECTUM</p> <p><b>P-6: HOLLOW METAL DOOR FRAME PAINT</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: TO MATCH EXISTING (USE DOOR 200A &amp; B AS COLOR BENCH MARK) FINISH: SEMI GLOSS LOCATION: SEE DOOR SCHEDULE</p>	
06 82 00 GLASS FIBER REINFORCED PLASTIC	
<p><b>FRP-1: GLASS FIBER REINFORCED PLASTIC</b> MANUFACTURER: PANLAM SERVICE SYSTEMS COLOR: AS SELECTED FROM MANUFACTURER'S STANDARD RANGE FINISH: MANUFACTURER'S STANDARD BUBBLE FINISH LOCATION: RESTROOMS NOTE: PROVIDE TRIMS AS REQUIRED FOR A COMPLETE INSTALLATION</p>	

ROOM FINISH SCHEDULE								
Level	ROOM		FLOOR	BASE	WALL FINISH		CEILING FINISH	REMARKS
	NUMBER	NAME			NORTH	SOUTH	EAST	WEST
FIRST FLOOR	200	CAFETERIA	EP-1	EP-1	P-1	EXISTING MURAL	P-1	ACP-3
FIRST FLOOR	201	KITCHEN	EP-2	EP-2	P-2	P-2	P-2	ACP-2
FIRST FLOOR	207	WOMEN	EP-1	EP-1	FRP-1	P-3	P-3	ACP-1
FIRST FLOOR	208	MEN	EP-1	EP-1	FRP-1	P-4	P-4	ACP-1

## GENERAL NOTES

- A. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
- B. PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
- C. REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- D. INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
- E. FILL MINOR DRYWALL IRRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER
- F. DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- G. PAINT DESIGNATIONS INDICATE COLOR ONLY, REFER TO SPECIFICATION FOR FINISH TYPE.
- H. EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- I. EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
- J. WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- K. PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - L. PREPARE/PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
  - M. FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
- L. PROVIDE SELF LEVELING TROWELABLE UNDERLayment WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- M. FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION.
- N. INSTALL TILE PER THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS.
- O. PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION
- P. CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- Q. FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- R. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
- S. PROVIDE MOISTURE TEST ON FLOORING BEFORE INSTALLATION OF ANY FINISHES AND ENSURE PROPER RANGE FOR MANUFACTURER REQUIREMENTS.

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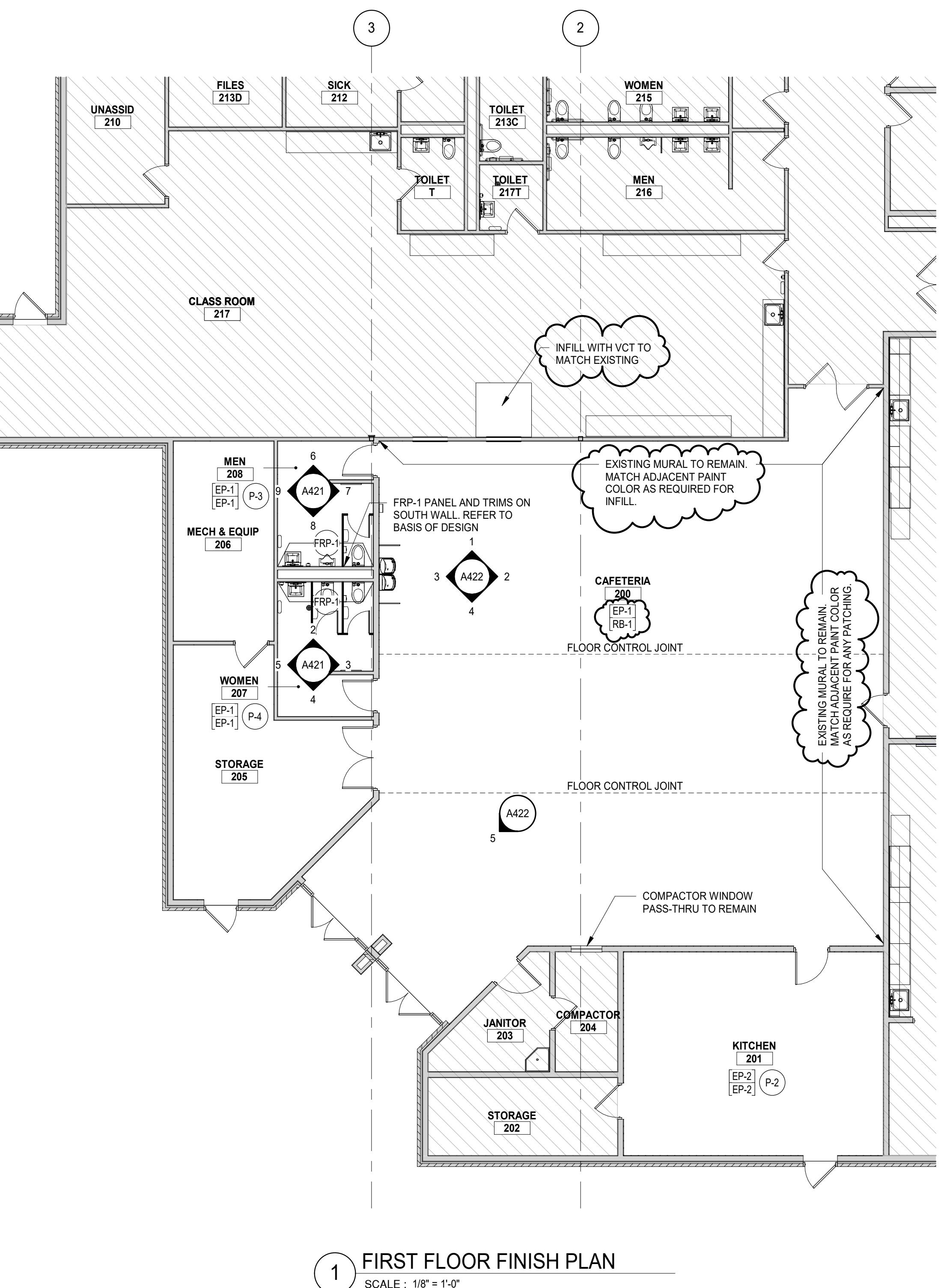
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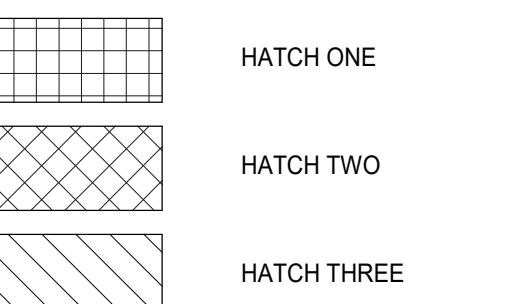
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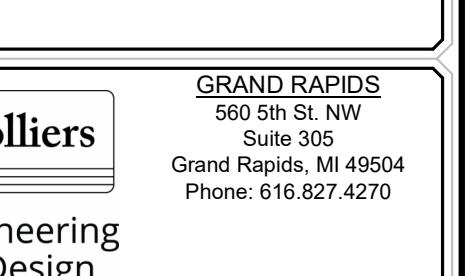
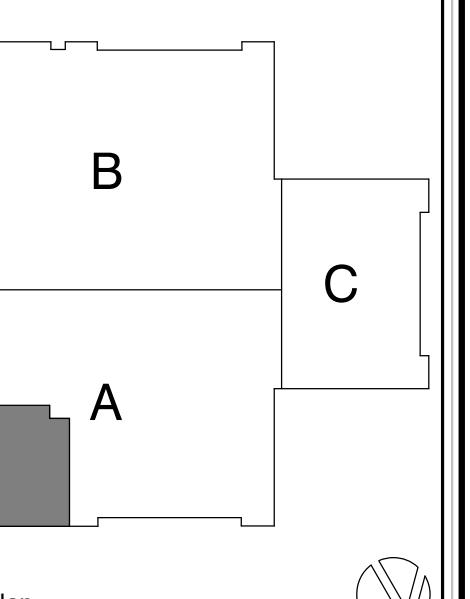
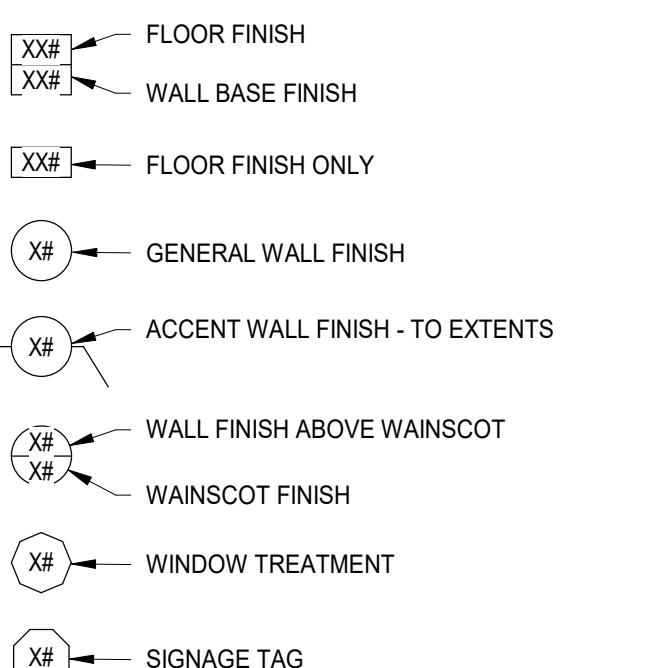
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## FINISH HATCH LEGEND



## FINISH SYMBOL LEGEND



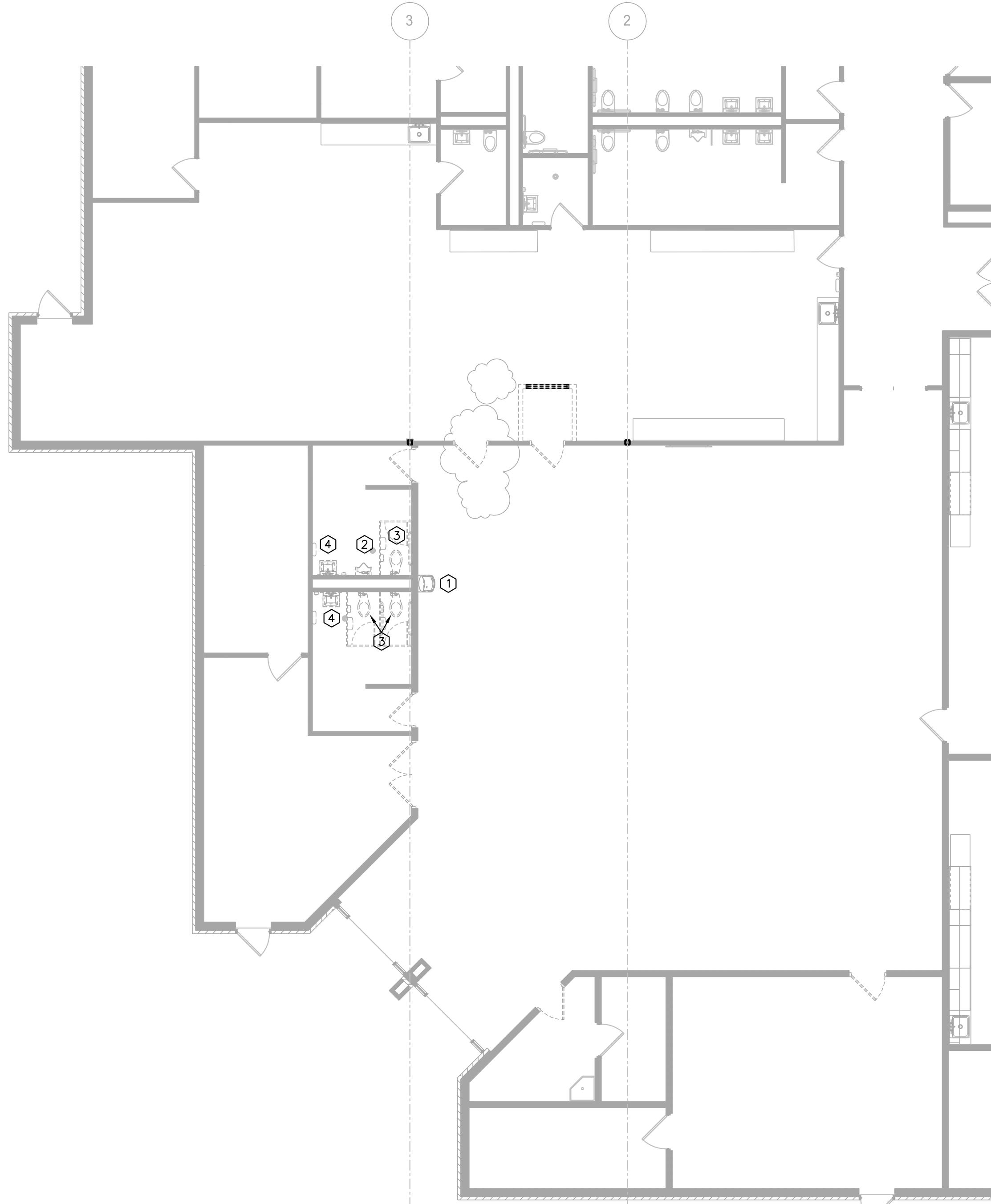
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### PLUMBING DEMOLITION NOTES

- ① REMOVE AND DISPOSE OF EXISTING ELECTRIC WATER COOLER. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW BI-LEVEL WATER COOLER.
- ② REMOVE AND DISPOSE OF EXISTING URINAL, CARRIER, AND FLUSH VALVE. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW URINAL.
- ③ REMOVE AND DISPOSE OF EXISTING WALL-HUNG WATER CLOSET, CARRIER, AND FLUSH VALVE. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW WATER CLOSET.
- ④ REMOVE AND DISPOSE OF EXISTING WALL-HUNG LAVATORY, CARRIER, AND FAUCET. EXISTING HOT & COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW LAVATORY.

### GENERAL NOTES:

1. P.C. SHALL INSPECT EXISTING FIXTURE CARRIERS AFTER REMOVAL OF FIXTURES AND MAKE ADJUSTMENTS AS NECESSARY TO ALLOW FOR PROPER INSTALLATION OF NEW FIXTURES.
2. PERFORM VISUAL SCOPE OF LG/INWALL PIPING FROM THE CAFETERIA AREA TO THE CENTER HALLWAY BY THE MAIN OFFICE. PROVIDE VIDEO RECORDING OF THE SCOPE FOR ENGINEER'S/OWNER'S REVIEW PRIOR TO START OF UNDERGROUND WORK.



**FLOOR PLAN - PLUMBING DEMO**

SCALE: 1/8" = 1'-0"

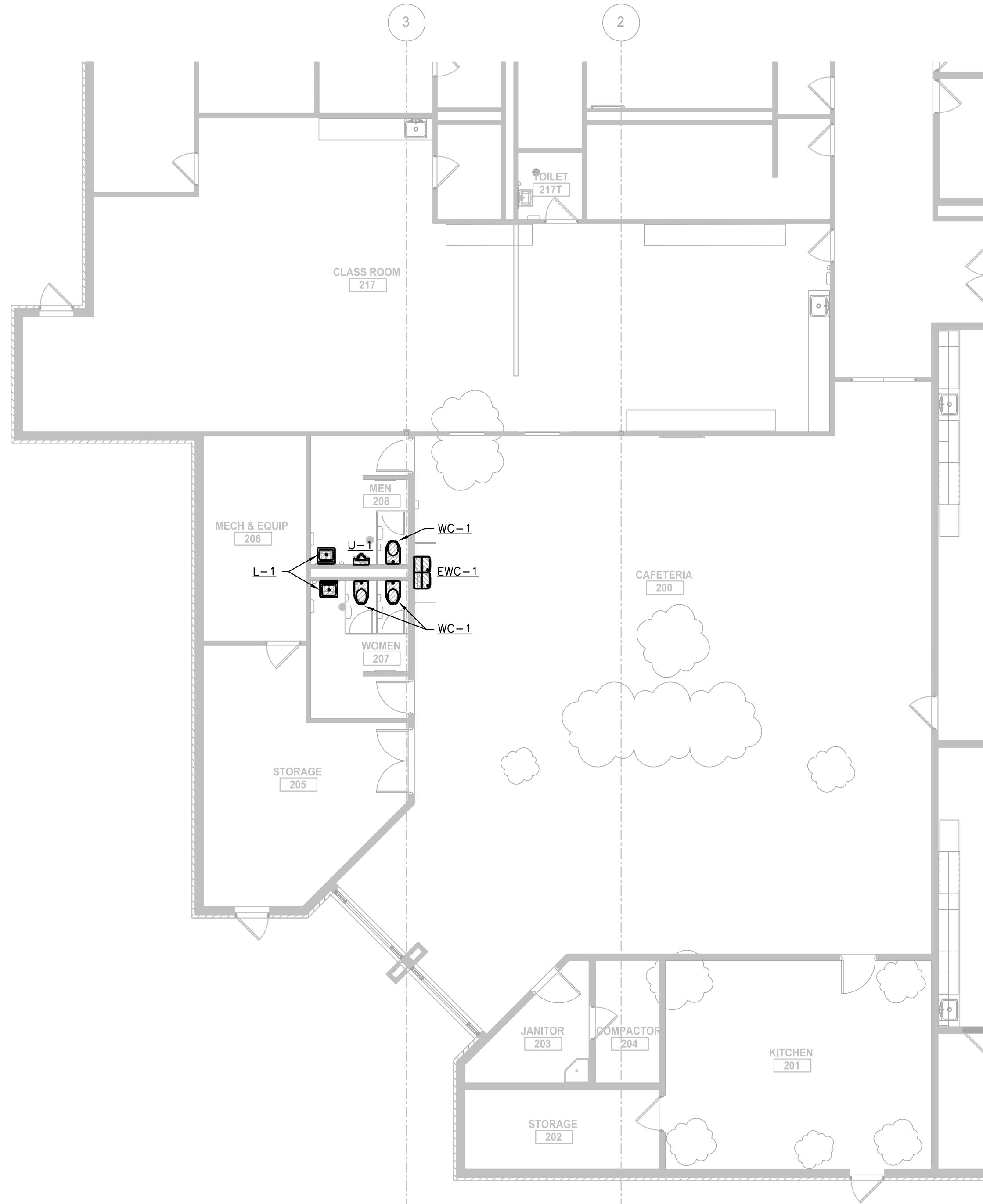
### PLUMBING FIXTURE LIST

WC-1 WALL HUNG, VITREOUS CHINA, SIPHON JET, ELONGATED BOWL, BOLT CAPS, 16 1/8" RIM HEIGHT, 1 1/2" TOP SPUD. KOHLER MODEL K-4325. PROVIDE WITH MANUAL FLUSH VALVE, SLOAN REGAL 111 XL CV 1.6 GPF, AND WHITE SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, BEMIS 1955CT. PROVIDE WITH JAY R SMITH ADJUSTABLE FIXTURE SUPPORT.

U-1 WALL MOUNTED, VITREOUS CHINA, SIPHON JET, WITH 3/4" TOP SPUD AND 2" OUTLET. KOHLER 4991-ET-0 BARDON. PROVIDE WITH MANUAL FLUSH VALVE, SLOAN REGAL 186, 1.0 GPF, AND CONCEALED WALL SUPPORT CARRIER. MOUNTING HEIGHT TO BE 15" MAXIMUM TO RIM OF FIXTURE.

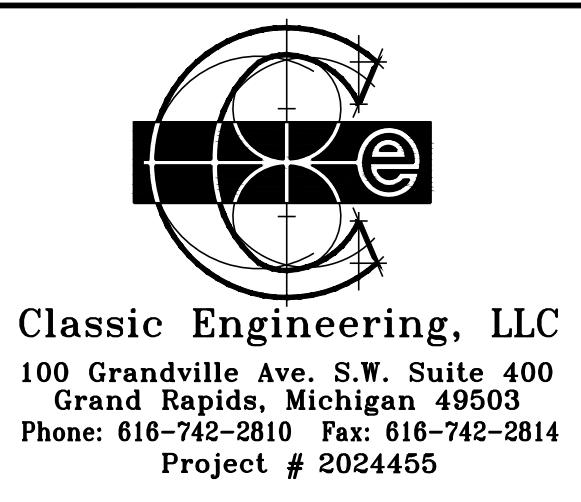
L-1 WALL MOUNTED, VITREOUS CHINA, 20"X18", FRONT OVERFLOW, 4" BACK AND 4" CENTERS. KOHLER KINGSTON K-2005, WHITE FINISH. PROVIDE WITH HANDS FREE, HARDWIRED SENSOR FAUCET, ZURN Z6913-XL-CWB, 0.5 GPM AERATOR. INCLUDE HARDWIRED POWER CONVERTER AND MINI JUNCTION BOX WITH FAUCET, 3/8" LOOSE KEY OPERATED ANGLE STOPS AND CHECK VALVES, PERFORATED DRAIN STRAINER, TRAP ASSEMBLY AND PROTECTIVE PIPE COVERS. CARRIER TO HAVE CONCEALED ARMS, LEVELING AND SECURING SCREWS. PROVIDE A TEMPERING VALVE AT ALL ACCESSIBLE HANDWASHING FIXTURES THAT CONFORMS TO ASSE 1070.

EWC-1 WALL MOUNTED, BARRIER FREE, FILTERED COOLER MODULE WITH BOTTLE FILLING STATION. HANDICAPPED FOUNTAIN SHALL BE MOUNTED TO PROVIDE AMPLE LEG ROOM AND EASY ACCESS FROM THE SITTING POSITION. HOUSING SHALL BE GRANITE VINYL FINISH WITH TYPE 304 STAINLESS STEEL TOP. MOTOR OVERLOAD PROTECTION, ANSI A 117.1-1992, U.L. LISTED AND ARI RATED. COOL 7.8 GPH TO 50 DEGREE F. WATER AT 90 DEGREE F. AMBIENT AND 80 DEGREE F. INLET WATER TEMPERATURE. ELKAY MODEL LZSTL8WSLK.



**FLOOR PLAN - PLUMBING**

SCALE: 1/8" = 1'-0"



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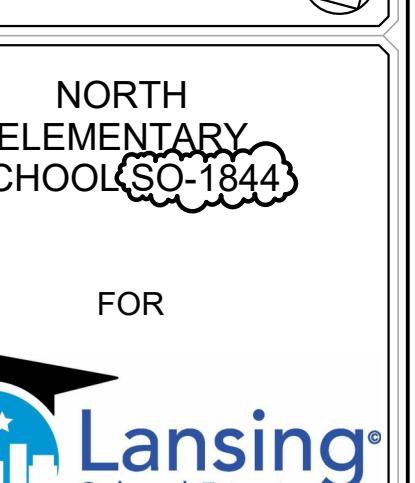
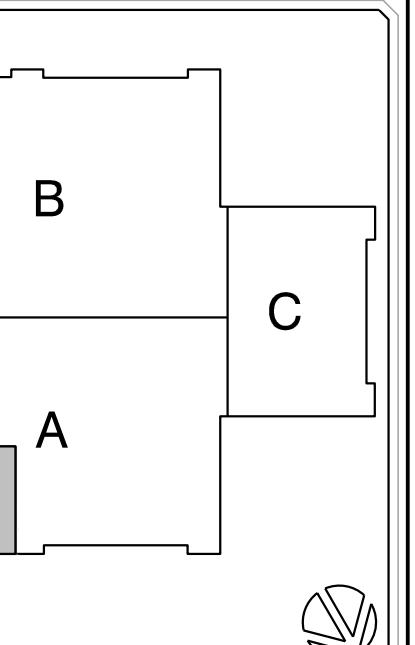
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1	1/18/25				
2	01-13-26				



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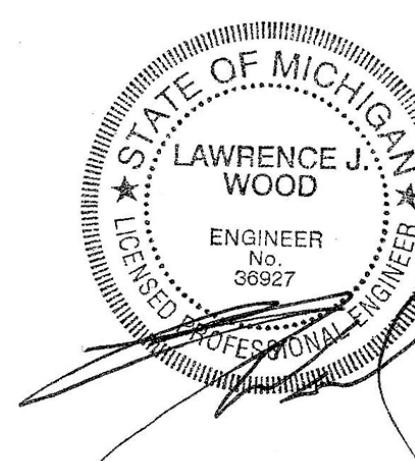
GRAND RAPIDS  
560 5th St. NW  
Suite 305  
Grand Rapids, MI 49504  
Phone: 616.827.4270

SCALE: DATE: DRAWN BY: CHECKED BY:  
PROJECT NUMBER: DRAWING NAME: REVIEWED BY:

SHEET TITLE: FLOOR PLAN - PLUMBING

SHEET NUMBER: P101

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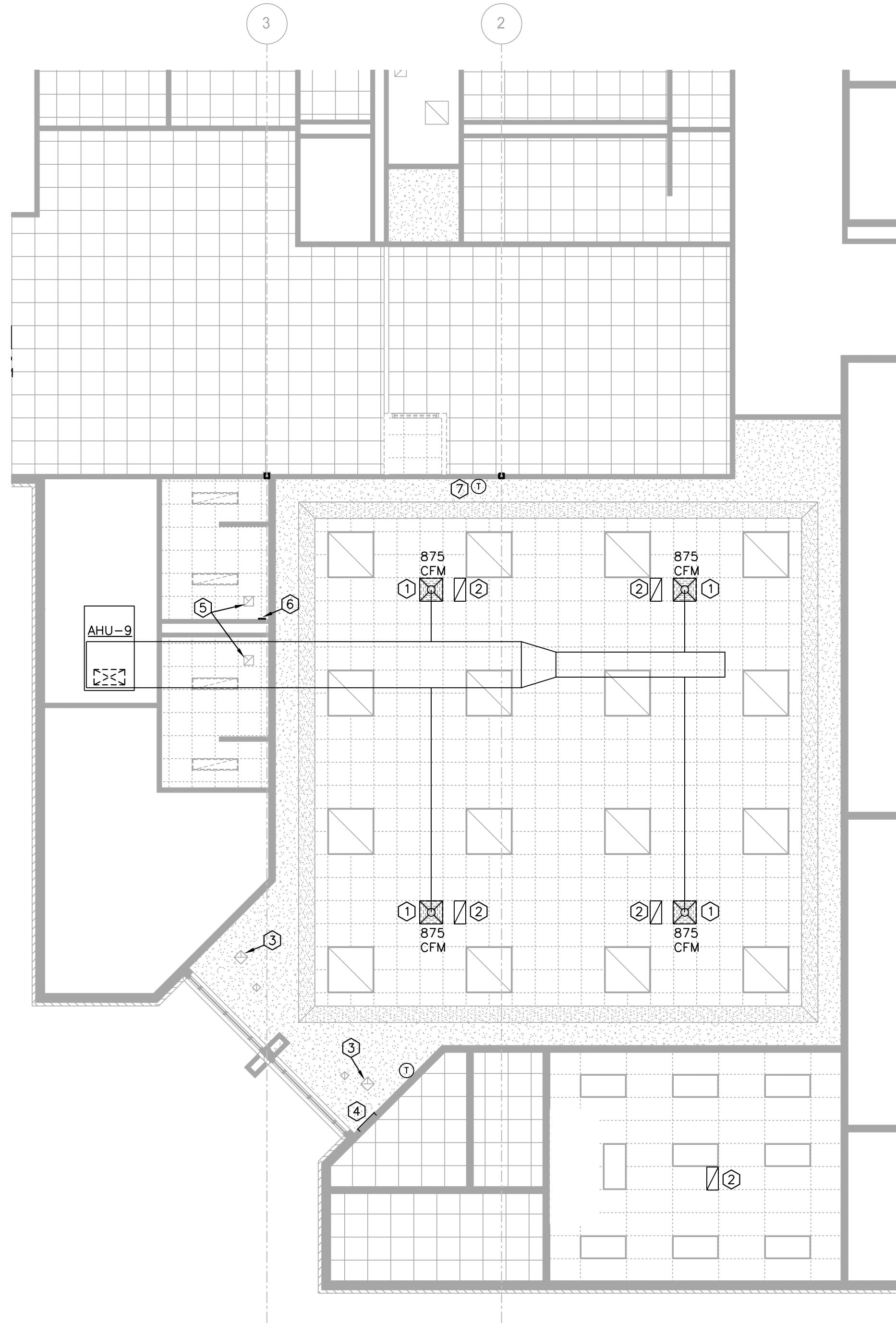
MECHANICAL DEMOLITION NOTES

- ① REMOVE AND DISPOSE OF EXISTING 24"x24" LAY-IN SUPPLY DIFFUSER AND BRANCH FLEX DUCT. FURNISH AND INSTALL NEW D-1. REFER TO SCHEDULE AND NEW FLOOR PLAN.
- ② REMOVE EXISTING PERFORATED RETURN GRILLE. FURNISH AND INSTALL NEW G-1. REFER TO SCHEDULE AND NEW FLOOR PLAN.
- ③ REMOVE AND DISPOSE OF EXISTING 12"x12" SURFACE MOUNT SUPPLY DIFFUSER. FURNISH AND INSTALL NEW D-2 IN EXISTING LOCATION.
- ④ REMOVE AND DISPOSE OF EXISTING LOW WALL RETURN GRILLE. FURNISH AND INSTALL NEW G-2 IN EXISTING LOCATION. GRILLE IS APPROXIMATELY 24"x16". M.C. TO FIELD VERIFY EXACT SIZE AND FURNISH EQUIVALENT SIZE.
- ⑤ REMOVE AND DISPOSE OF EXISTING CEILING MOUNTED EXHAUST GRILLE. FURNISH AND INSTALL NEW 12"x12" G-3 IN NEW CEILING GRID.
- ⑥ REMOVE AND DISPOSE OF EXISTING WALL MOUNTED EXHAUST GRILLE. FURNISH AND INSTALL NEW 8"x8" G-3 IN WALL IN EXISTING LOCATION.
- ⑦ REMOVE EXISTING SPACE SENSOR AND RELOCATE WHERE SHOWN ON NEW FLOOR PLAN.

DIFFUSER, REGISTER AND GRILLE SCHEDULE

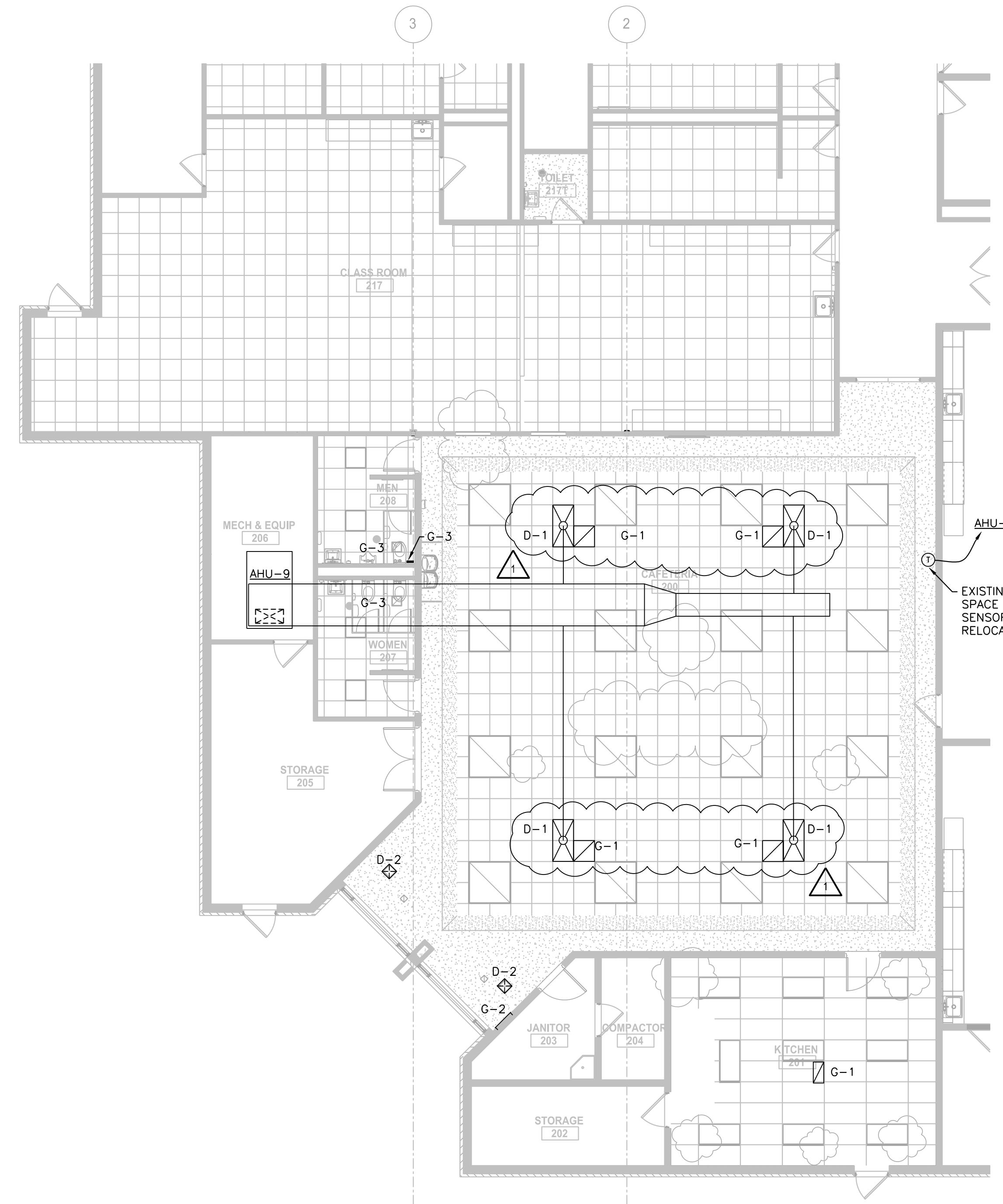
MARK	SERVICE	MODEL	VOLUME DAMPER	FINISH	REMARKS
D-1	CEILING SUPPLY DIFFUSER	SMD-24x24	-----	OFF-WHITE	①
D-2	CEILING SUPPLY DIFFUSER	SMD-12x12	-----	OFF-WHITE	①
G-1	CEILING PERFORATED RETURN	PDDR-12x24	-----	OFF-WHITE	①
G-2	LOUVERED RETURN GRILLE	530	-----	OFF-WHITE	①
G-3	EGGCRATE RETURN GRILLE	82-1"x1"x1"	-----	OFF-WHITE	①

① BASED ON PRICE



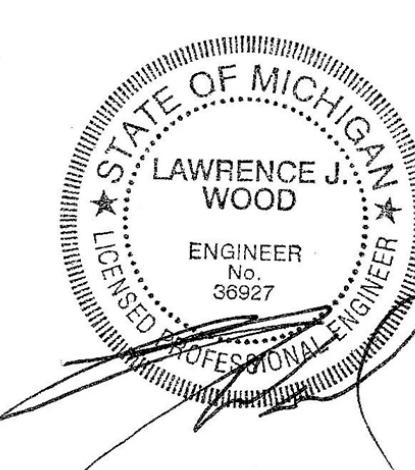
FLOOR PLAN - MECHANICAL DEMO

SCALE: 1/8" = 1'-0"



FLOOR PLAN - MECHANICAL

SCALE: 1/8" = 1'-0"



SCALE:	DATE:	DRAWN BY:	CHECKED BY:
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SHEET TITLE: FLOOR PLAN - MECHANICAL			
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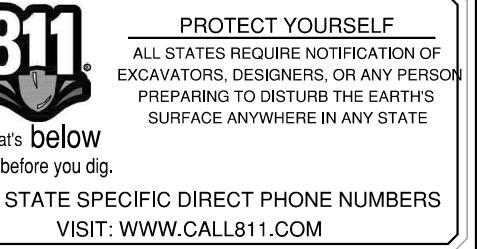
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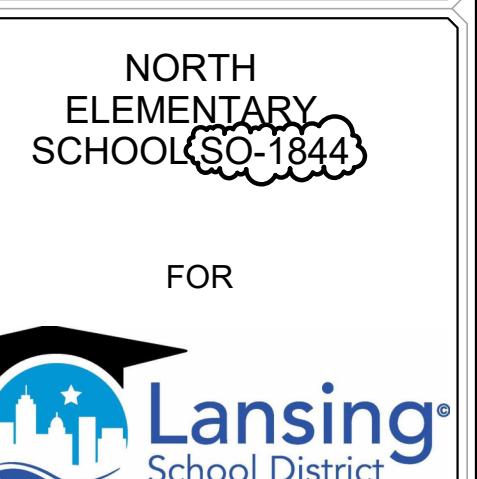
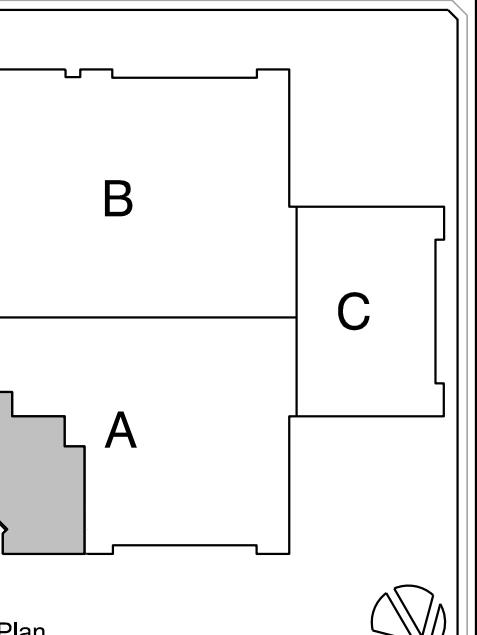
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REV	DATE	DRAWN BY	DESCRIPTION	BUS AND PERMITS	ADDENDUM #1
1	1/18/25				
2	01-13-26				



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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

ELECTRICAL SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO Q.
S 3	SINGLE POLE OR 3-WAY SWITCH-SPECIFICATION GRADE	46"
S 4	FOUR WAY SWITCH-SPEC. GRADE	46"
SK	KEY OPERATED SWITCH-SPEC. GRADE	46"
S D	DIMMER SWITCH	46"
S IR	IR SWITCH	46"
S IRD	IR SWITCH DIMMABLE	46"
S P	SWITCH WITH PILOT LIGHT	46"
S M	MANUAL MOTOR STARTER SWITCH	46"
OS	OCCUPANCY SENSOR	---
PC	PHOTO CELL	---
CS	CONTROL STATION	46"
DS	DAYLIGHT SENSOR	---
SC	SPLIT WIRED RECEPTACLE C-DENOTES CONTROLLED VIA RELAY OR OCC SENSOR	18"
WR	WATER RESISTANT GROUND FAULT CIRCUIT INTERRUPTER WITH WEATHERPROOF WHILE IN USE COVER	18"
OC	DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL-CEILING MOUNTED	18"
OC	(2) DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL-CEILING MOUNTED	18"
SR	SPECIAL SINGLE RECEPTACLE	18"
SO	SPECIAL OUTLET-CHARACTERISTICS AS NOTED ON PLANS	AS NOTED
VO	DATA OUTLET-4" SQ. BOX W/1 GANG RAISED COVER. 1-1/4" UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL-CEILING MOUNTED	18"
VO	TV OUTLET-4" SQ. BOX W/1 GANG RAISED COVER. 1-1/4" UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL-CEILING MOUNTED	18"
VO	TELEPHONE/DATA OUTLET-4" SQ. BOX W/1 GANG RAISED COVER. 1-1/4" UP WALL TO CLG. SPACE	18"
VO	TELEPHONE/DATA OUTLET-4" SQ. BOX W/1 GANG RAISED COVER. 1-1/4" UP WALL TO CLG. SPACE	18"
WN	WIRELESS ROUTER	---
TV	FLOOR BOX 2 RECEPT. 2 DATA THOMAS & BETTS # 665-SC 1-1/4" TO FLOORBOX FOR DATA	---
TV	FLOOR BOX 1 RECEPT. 1 DATA- THOMAS & BETTS # 664-SC 1-1/4" TO FLOORBOX FOR DATA	---
TV	JUNCTION BOX - HUBBELL NSAV62M WITH RECEPTACLE KIT HUBBELL NSOKP. PROVIDE CONNECTOR PLATE FOR AV	AS NOTED
JO	JUNCTION BOX-4" SQ. BOX W/2 GANG RAISED COVER. 1-1/4" UP WALL TO CLG. SPACE UNLESS OTHERWISE NOTED	AS NOTED
PO	POWER POLE- SEE DRAWING FOR POWER-POWERDATA SPECIFICATIONS	---
EM	ELECTRIC UTILITY METER	---
DS	FUSED DISCONNECT SWITCH-FDS-HEAVY DUTY	46"
DS	NON-FUSED DISCONNECT SWITCH-NFDS-HEAVY DUTY	46"
DS	SW AND PLUGFUSE HOLDER-BUSSMANN "SSU" & FUSESTAT FUSE	AT EQUIP.
MS	MAGNETIC MOTOR STARTER-MS	46"
CM	COMBINATION MAG. STARTER/FUSED DISC. SWITCH - CS/IFDS	46"
CM	COMBINATION MAG. STARTER/NO-FUSED DISC. SWITCH - CS/NFDS	46"
VFD	VARIABLE FREQUENCY DRIVE	---
EP	SINGLE PHASE ELECTRIC MOTOR	---
TP	THREE PHASE ELECTRIC MOTOR	---
BCP	SURFACE OR FLUSH MTD. BRANCH CIRCUIT PANELBOARD	72" TO TOP
TF	TRANSFORMER	---
PB	PUSH BUTTON	46"
TH	THERMOSTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	46"
HD	HUMIDISTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	46"
DL	RECESSED DOWNLIGHT LUMINAIRE	---
WL	RECESSED WALLWASH LUMINAIRE	---
SL	SURFACE LUMINAIRE	---
PL	PENDANT LUMINAIRE	---
WM	WALL MOUNTED LUMINAIRE	---
NL	SITE LIGHTING LUMINAIRE	---
SL	NIGHT LIGHT	---
SL	STRIP LUMINAIRE	---
AC	LED ACCENT/UNDER CABINET LUMINAIRE	---
RL	RECESSED LUMINAIRE 2x4' OR 2x2'	---
SL	SURFACE LUMINAIRE 2x4' OR 2x2'	---
TL	TRACK LIGHTING LUMINAIRE	---
PL	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY	---
ES	EXIT SIGN- WALL MOUNTED OR CEILING MOUNTED ARROWS INDICATE PATH OF EGRESS	---
RE	REMOTE EMERGENCY HEAD	---
BE	BATTERY EMERGENCY LUMINAIRE	---

SYSTEMS SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO Q.
F	FIRE ALARM PULL STATION	46"
WP	FIRE ALARM HORN/STROBE LIGHT (WP-DENOTES WEATHER PROOF)	80"
AS	AREA SMOKE DETECTOR-PHOTOELECTRIC	---
V	VISUAL ONLY ALARM	80"
A	AUDIO ONLY ALARM	---
C	CEILING SPEAKER	---
S	SPEAKER/STROBE LIGHT	---
CO	SMOKE/HORN BASE CO-DENOTES COMBO CARBON MONOXIDE/SMOKE	---
DH	MAGNETIC DOOR HOLD OPEN	---
CO	CARBON MONOXIDE SENSOR E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE	---
D	DUCT SMOKE DETECTOR	---
H	HEAT DETECTOR	---
TS	O.S.&Y TAMPER SWITCH	---
FS	WATER FLOW SWITCH	---
RT	REMOTE ALARM KEY TEST SWITCH	46"
CR	FIRE ALARM CONTROL RELAY	---
BD	BEAM DETECTOR	---
FSD	FIRE/SMOKE DAMPER	---
FACP	FIRE ALARM CONTROL PANEL	---
FAP	FIRE ALARM ANNUNCIATOR PANEL	---
S	CEILING SPEAKER	---
C	CARD READER	46"
SD	SECURITY DOOR CONTACT	AT DOOR HEAD
SI	SECURITY INTERCOM	46"
CA	SECURITY CAMERA - "W" DENOTES WALL MOUNTED CHEVRON INDICATES AIM LINE	TYPICALLY CLG MOUNTED
SDR	SECURITY DOOR REQUEST TO EXIT	AT DOOR HEAD

### ELECTRICAL SPECIFICATIONS

#### 26-0500 GENERAL PROVISIONS

1. FURNISH AND INSTALL FIRST-CLASS WORKING SYSTEMS, TESTED AND READY FOR OPERATION. COMPLETE WITH LABOR AND MATERIALS (U.L. APPROVED COMMERCIAL GRADE). CONFORM TO DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS. USE PROPER NEMA RATED EQUIPMENT (i.e. "3R" WEATHERPROOF, "1" GENERAL DUTY, ETC.)
2. COORDINATE WITH THE DRAWINGS AND SPECIFICATIONS OF THE OTHER TRADES AND WITH THE OWNER.
3. FIELD VERIFICATION OF ALL DIMENSIONS ARE REQUIRED, EXACT LOCATIONS, DISTANCES, AND LEVELS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS.
4. COMPLY WITH THE NATIONAL ELECTRICAL CODE, PLUS LOCAL OR STATE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS APPLICABLE TO THE PARTICULAR CLASS OF WORK; ANY FEES IN CONNECTION THEREWITH ARE TO BE PAID BY ELECTRICAL CONTRACTOR.
5. WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.

#### TESTING

1. WORK REQUIRED UNDER THIS HEADING SHALL BE BY THE ELECTRICAL CONTRACTOR (OR AS NOTED) AND INCLUDES ALL SUPERVISION, LABOR, MATERIALS, INSTRUMENTATION AND EQUIPMENT NECESSARY TO EFFECTIVELY TEST, MEASURE AND VERIFY THE PERFORMANCE OF THE ELECTRICAL EQUIPMENT SYSTEMS.

#### 26-0528 SYSTEMS

1. ALL WIRING SHALL BE RUN IN CONCEALED EMT (THINWALL) CONDUIT IN THE FINISHED AREAS OF THE BUILDING. CONDUIT MAY BE EXPOSED IN EQUIPMENT ROOMS OR OVERHEAD IN ROOMS WITHOUT CEILINGS. CONDUITS EXPOSED TO WEATHER TO BE RGC (RIGID GALVANIZED CONDUIT). MC CABLE ALLOWED IN AREAS ALLOWED PER NATIONAL ELECTRICAL CODE AND NOT SUBJECT TO DAMAGE.
2. IT ALSO INCLUDES THE INSTALLATION OF CONDUIT SYSTEMS FOR EQUIPMENT NOT BELONGING TO THE OWNER BUT INSTALLED AND OPERATED FOR THE OWNER BY OTHERS.
3. CONDUITS SHALL NOT BE RUN IN NOR SUPPORTED FROM DUCTWORK.
4. BACKBOARDS: 3/4 INCH WEATHERPROOF PLYWOOD, WITH FIRE RETARDANT SEALER, ONE PIECE PER INSTALLATION.

#### 26-0219 CONDUCTORS

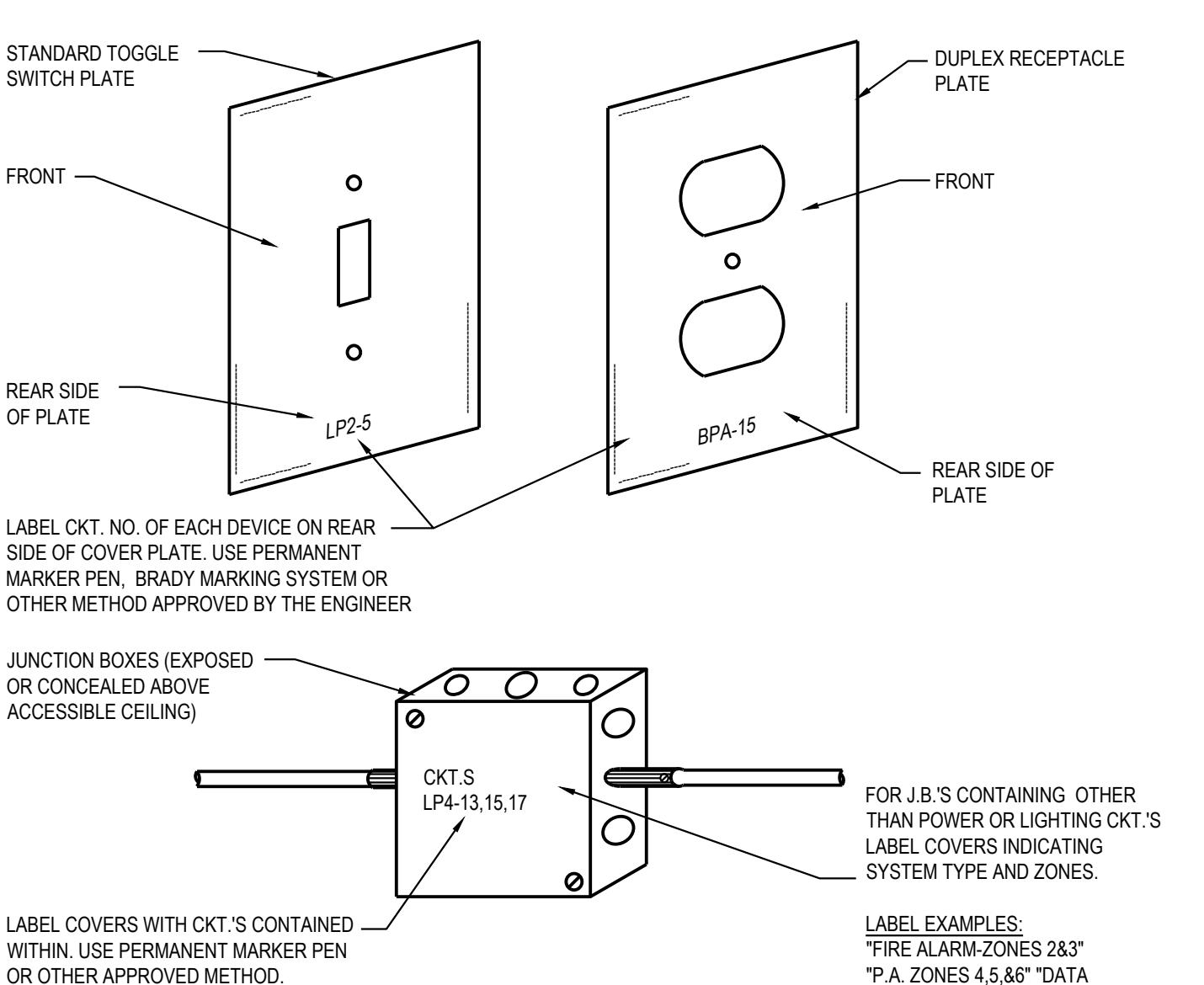
1. ALL CONDUCTORS SHALL BE NEW. ALL CONDUCTORS FOR POWER AND LIGHTING SYSTEMS WIRING SHALL BE 90% CONDUCTIVITY COPPER TYPE THHN OR THW. ALUMINUM IS TO BE PERMITTED FOR SERVICE ENTRANCE AND PANEL FEEDS. BRANCH CIRCUIT WIRING SHALL BE COPPER OR ALUMINUM. ROMEX SHALL BE PERMITTED IN LOCATIONS ALLOWED PER NEC 2023.
2. APPROVED MANUFACTURERS FOR LIGHTING CONTROL: ACUTY, COOPER, HUBBELL AND LEVITON.

#### 26-2736 WIRING DEVICES

1. CONVENIENCE OUTLETS SHALL BE SPECIFICATION GRADE, RATED AT 20 AMPERE, GROUNDING TYPE, 125 VOLT, AND BEAR U.L. LABEL OF APPROVAL STAINLESS STEEL. REFER TO DRAWINGS FOR AIC AND GFCI RATED DEVICES.
2. COVER PLATES. MANUFACTURERS: PASS AND SEYMOUR CATALOG 5251-1, OR EQUAL BY HUBBELL, AND LEVITON. COLOR TO BE CHOSEN BY OWNER.
3. ALL SWITCHES FOR LIGHTING SHALL BE SPECIFICATION GRADE RATED AT 20 AMPERE, 120/277 VOLTS. PASS AND SEYMOUR CATALOG 20AC-1 OR EQUAL BY HUBBELL, AND LEVITON. COLOR TO BE CHOSEN BY OWNER.

#### 16350 GROUNDING

1. INSTALL COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
2. INSTALL BONDING WIRE IN NONMETALLIC AND FLEXIBLE CONDUIT CONNECTED AT SOURCE END TO PANELBOARD EQUIPMENT GROUND BAR AND AT LOAD END TO ENCLOSURE.
3. EXTEND COMPLETE BUILDING GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. INCLUDE INSULATED GROUND FOR ALL EXTERIOR AS WELL AS TOILET CIRCUITS.



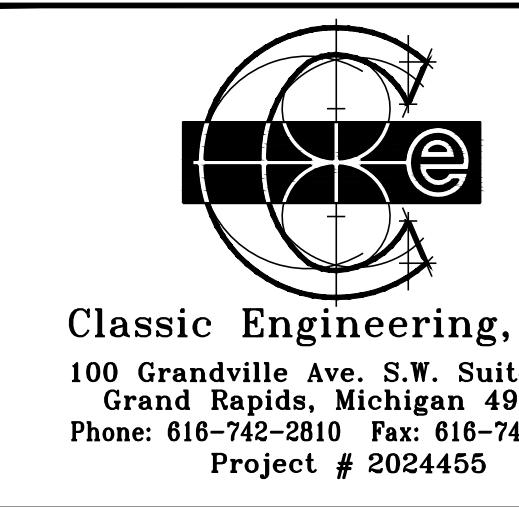
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### ELECTRICAL IDENTIFICATION

FOR J.B.'S CONTAINING OTHER THAN POWER OR LIGHTING CKT.'S  
LABEL COVERS INDICATING SYSTEM TYPE AND ZONES.

LABEL EXAMPLES:  
"FIRE ALARM-ZONES 2&3"  
"P.A. ZONES 4,5,6" "DATA CIRCUITS A&B"  
"EXIT SIGNS-EMERG." "EMERG. CKTS. BPEM-3,4"

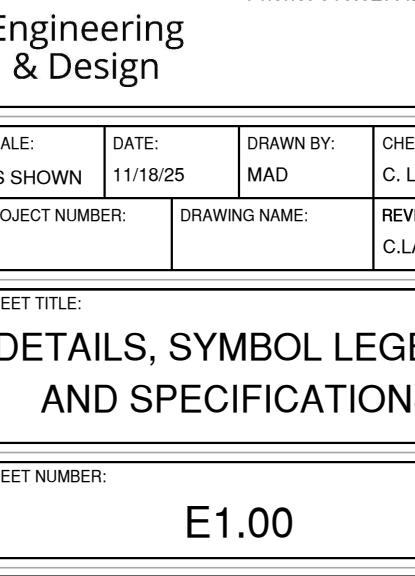
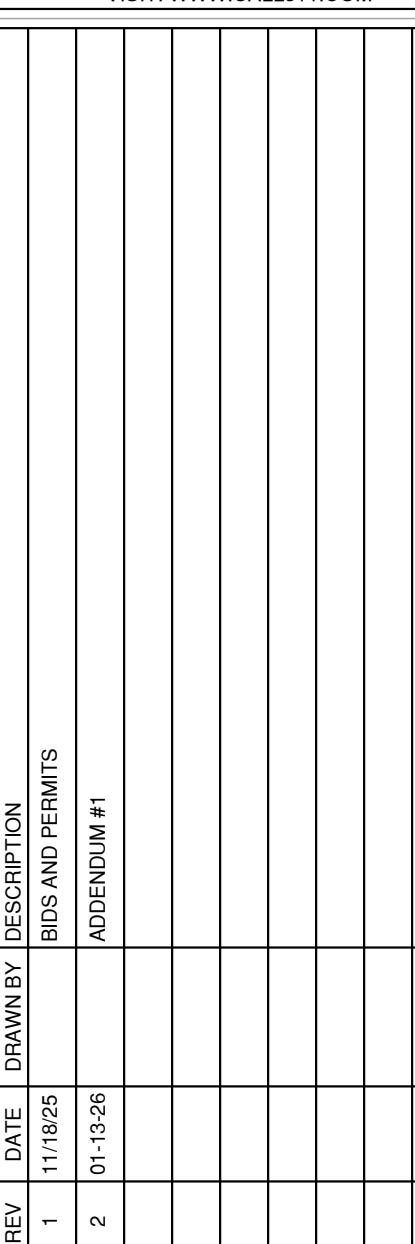
LABEL COVERS WITH CKT. IS CONTAINED  
WITHIN. USE PERMANENT MARKER PEN  
OR OTHER APPROVED METHOD.



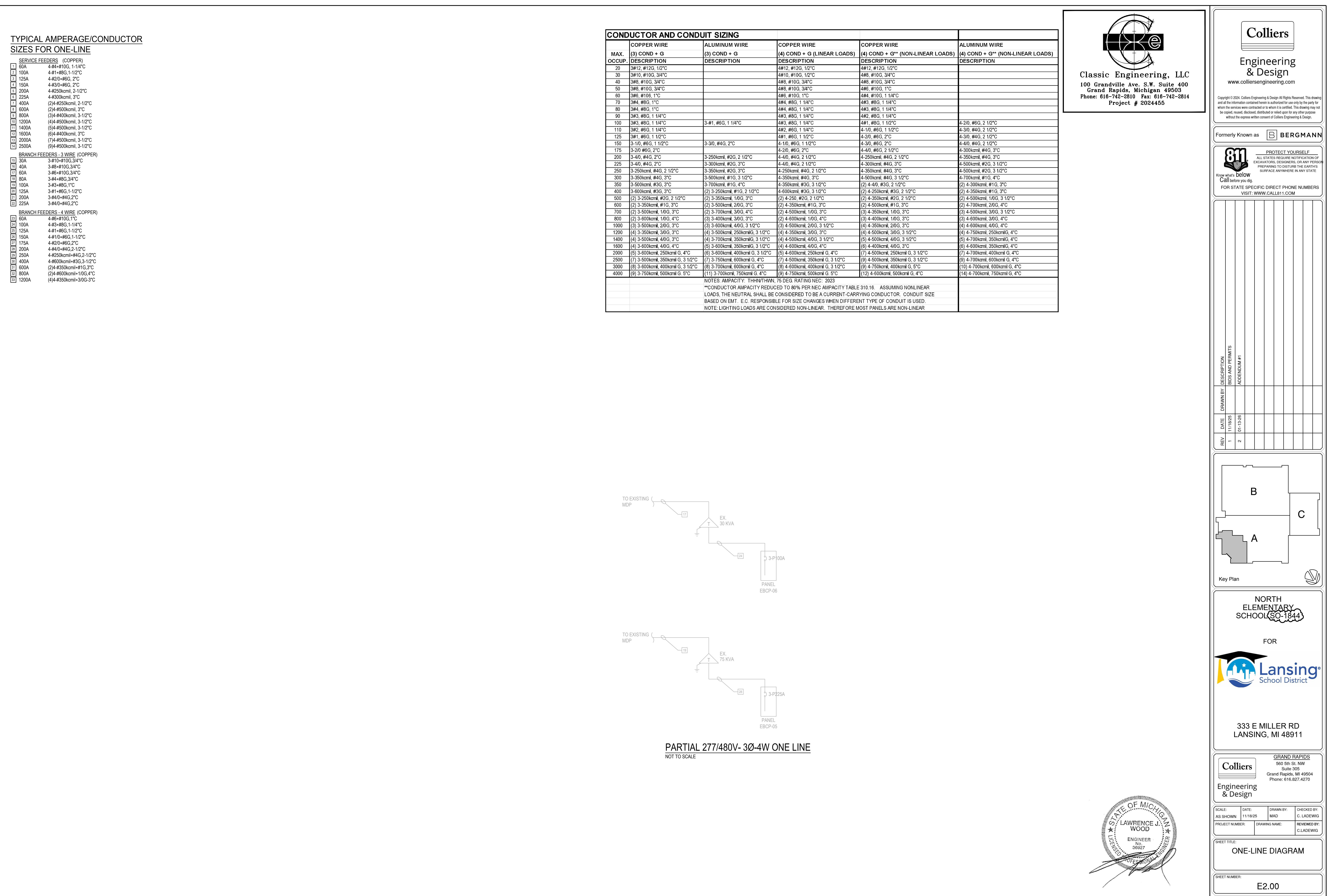
Classic Engineering, LLC  
100 Grandville Ave. S.W. Suite 400  
Grand Rapids, Michigan 49503  
Phone: 616-742-2810 Fax: 616-742-2814  
Project # 2024455



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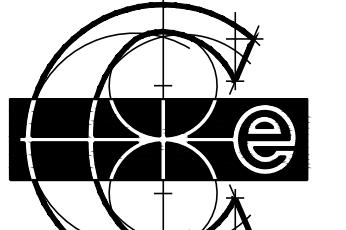
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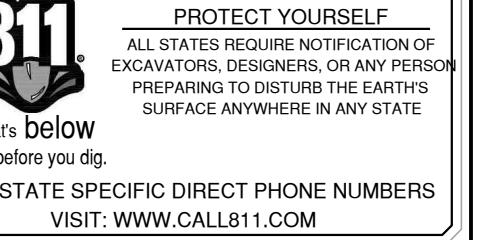
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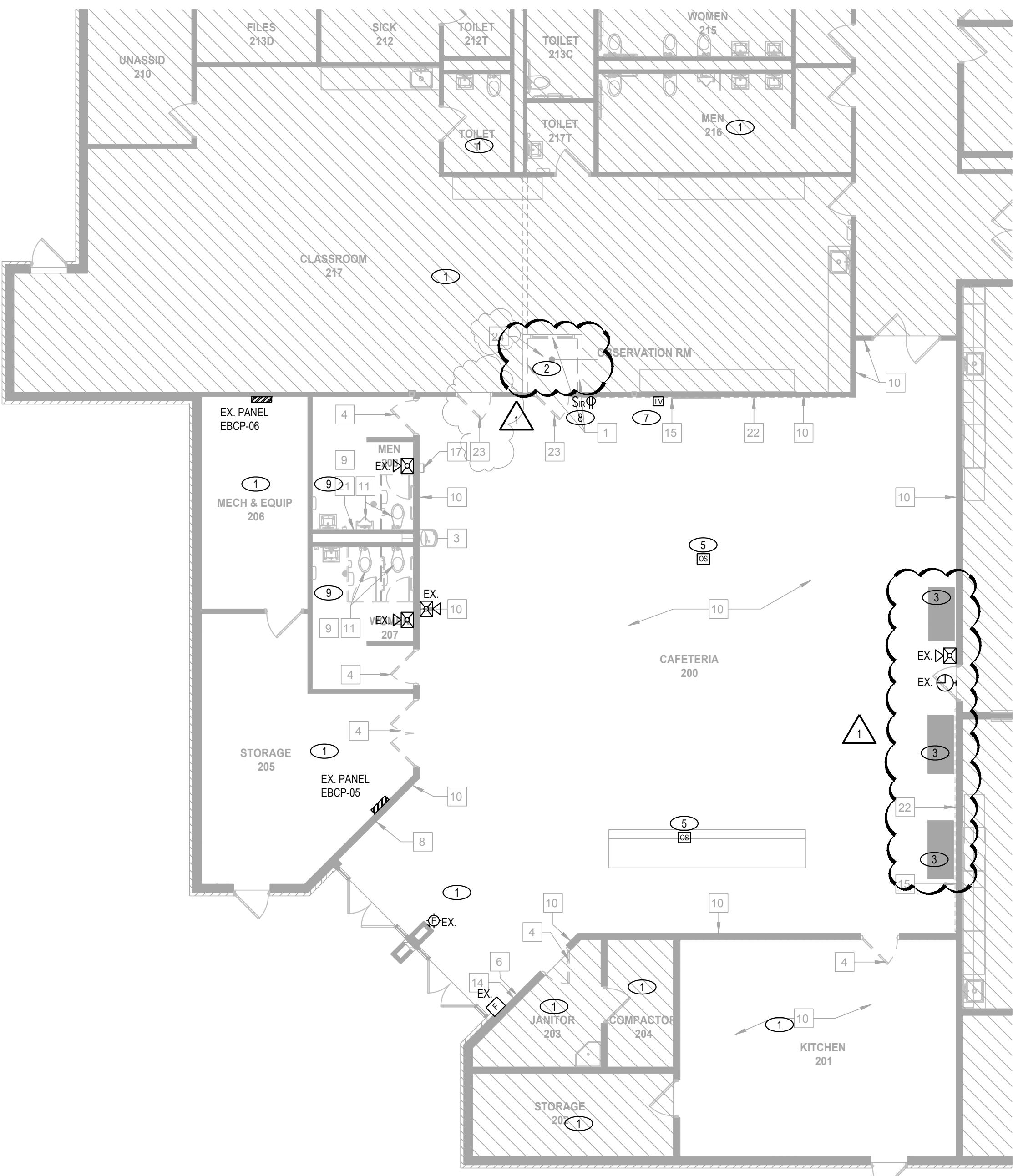
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GENERAL POWER NOTES:

1. CEILING GRID AND TILES TO BE REPLACED. EXISTING LIGHTING TO REMAIN.

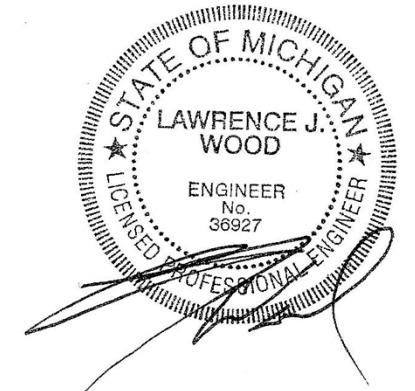
DEMOLITION POWER KEYNOTES:

- 1 NO WORK IN THIS AREA.
- 2 REMOVE EXISTING LIGHTS, PULL WIRING BACK TO SOURCE.
- 3 REMOVE EXISTING CONDUIT AND RECEPTACLES FOR REFRIGERATORS THAT ARE TO BE REMOVED.
- 4 NOT USED.
- 5 REPLACE EXISTING CEILING MOUNTED OCCUPANCY SENSORS WITH NEW.
- 6 NOT USED.
- 7 EXISTING T.V. TO REMAIN.
- 8 REMOVE EXISTING WALL MOUNTED OCCUPANCY SENSOR.
- 9 REMOVE EXISTING 1X4 LIGHTS FROM RESTROOMS. DISPOSE OF PROPERLY.



## FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"



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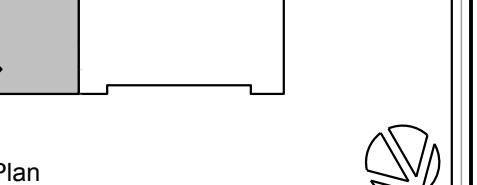
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SCALE: 1/8" = 1'-0"  
DATE: 11/18/25 DRAWN BY: C. LADEWIG  
AS SHOWN MAD CHECKED BY:  
PROJECT NUMBER: DRAWING NAME: REVIEWED BY:  
C. LADEWIG

SHEET TITLE: FLOOR PLAN -  
DEMOLITION  
SHEET NUMBER: ED101

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Key Plan



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