



**Lansing School District
North Elementary Interior Renovations Bid Package 1**

Addendum 01

January 13, 2026

This document is to serve as Addendum No. 01 with the purpose of providing clarifications or modifications to the original bid documents dated November 18, 2025 and shall take precedence over them. All incidental items required for the following changes are to be included even if not specifically described.

Receipt of this addendum is to be noted on the bid form.

ATTACHMENTS: Pre Bid Sign-in sheet
Pre Bid Agenda
Post Bid Interview Schedule
Approved Substitution Request
Updated Project Manual
North Elementary Furniture Package
Colliers LSD North Addendum #1 Narrative
Drawings **North Elementary (Interior Renovation) Addendum #1 1/13/2026:**

BID DATE: Bid date remains UNCHANGED.

BID FORM:

A. Alternate Bids:

- **Work Category 02A- Demolition / Abatement**
 - Alternate #1 – Demo existing ceiling grid
Add to Base Bid \$_____
- **Work Category 09A- Carpentry and Interiors**
 - Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.
Add to Base Bid \$_____

DRAWINGS: Drawing updates attached and referenced in Colliers **North Elementary (Interior Renovation) Addendum #1 1/13/2026:**
G000, G001, G002, G003, A001, A002, AD101, A102, A121, A421, A422, A501, P101,
M101, E1.00, E2.00, ED101, EL101, EP101



TECH SPECS:

Substitution Requests:

- **Plumbing Fixture list**
 - Specified product: Plumbing Fixtures U-1, WC-1, L-1
 - Substitution: Zurn Finish Plumbing Fixtures
 - Reason: Alternate manufacturer providing equal quality products
 - Differences: none
 - Decision: **Acceptable**

RFI RESPONSES:

Q: Looking at the new out for bid documents compared to the most recent North project completed in 2021 by Centennial, there is already emergency lighting meeting current code within the cafeteria. This emergency lighting is fed from the emergency generator system and not battery packs. Please verify if new emergency lighting is required and where?

A: See attached updated electrical drawings removing appropriate emergency lighting.

Q: Hardware Set #02 is for a pair of doors but only has 1 hinge, No flushbolts, No lockset and only 1 closer. Please verify this hardware set is complete and accurate.

A: See attached updated hardware specifications on A002.

Hardware set #04 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

A: See attached updated hardware specifications on A002

Hardware set #05 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.

A: See attached updated hardware specifications on A002.

Q: I don't see in the plans any lighting controls in the drawings for the new bathroom lights. Will those be ceiling occupancy sensors, or wall switches? And if it is wall switches, what style of switch will be required?

A: See attached updated electrical drawings for added lighting controls

Q: The asbestos survey provided only shows flooring materials where tested. Do you have sampling results for the other materials being impacted by this project, i.e. ceiling tile, ceramic cove in the bathrooms, fire-doors on room 205, plaster/drywall walls in the observation room?

A: There is an AHERA Management Book on site that can be reviewed at any time. Please consider these items to be asbestos containing until proven otherwise.



PROJECT MANUAL:

Cover Page: SO-1844

Table of Contents: Added WC 12A Furnishings

Available Project Information: North Elementary furniture layout

Bid form: allowances and alternates updates

Price and Payment Procedures: Allowances updated

WC 02A- Demolition / Abatement:

- Alternate Requested, Alternate #1 – Demolish and dispose of existing ceiling grid.

WC 09A – Carpentry and Interiors:

- Alternate Requested, Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.

WC 09B – Floor Coverings:

- Line 6. Provide moisture test of existing floor to confirm acceptable substrate for new flooring.
- Allowance #2 - \$300 Material allowance for replacement in observation area

WC 09C- Painting

- Line 9. Prep and Paint brick wall as specified and noted, include caulking the corners of masonry before painting.

WC 22A – Plumbing/Mechanical:

- Plumbing, Line 11. Perform visual scope of UG/In wall plumbing from the cafeteria area to the center hallway by the main office. Provide video recording of the scope for engineers/owners review prior to start of any underground work.
- Mechanical, Line 9. Perform pre-test and balance and post-test and balance, provide reports before and after work commences.

WC 12A- Furnishings

- Added entire work category

END OF ADDENDUM 01

Bid# 50-1844

For

North Cateira Remodel

Date/Time

1/6/26 3:30pm Pre Bid

Name	Company	Address	City/State/Zip	Phone #	Email Address
Todd Lee	Lansing Schools				
Max Guffin	LAUX				
Brian Davidson	Aj White Mechanical			517 745-7367	brian@ajmillermechanical.com
STAN HANNAH	Summit			517 322-0252	
STAN BRANN	Summit	PO Box 219	HASLET MI 48840	517-896-6197	stan@summit-ws.com
Collin Hannahs	Hannahs Electric			517-231-8977	hannahs.electrical@gmail.com
Eric Kuznick	AAI			517-719-2512	ekuznick@onegai.com
Ian Martin	Martin & Associates Environmental		Kalamazoo, MI 49006	(269) 226-5707	Ianandfin@visionenvironmental.biz
BUDGET HURDIS COURTNEY NORRIS	CED				
Jeff Thais	Superior Elect			517 712 3430	
Chris Moore	Shenckee			(269) 274-5818	c_moore@shenckeebrakes.com
Alex Coulombe	Shouldice			269-567-0765	A_Coulombe@Shouldicebrothers.com
Dave Hendricks	E/He Coatings				

Date/Time_____

[illegible]



517-694-0117
517-694-0359
info@lauxconstruction.com
www.lauxconstruction.com

Pre-Bid Meeting Agenda

Lansing School District North Elementary

(333 E Miller Rd, Lansing, MI 48911)

1/6/2026 @ 3:30PM EST

-
- 1.) Introductions
 - 2.) Project Background / Scope of Work
 - 3.) Project Documents
 - a. CM Project Manual
 - b. Drawings by Colliers
 - c. Flooring Assessment by Tri Terra
 - 4.) Important Dates
 - a. Bid submission deadline: Tuesday, January 20, 2026 @ 2:00 pm
 - b. Questions due: Friday, January 9, 2026 @ 5:00 pm
 - c. Project Start: June 2026
 - d. Substantial Completion: Mid-August 2026
 - 5.) Bidding Requirements:
 - a. Accepting bids for multiple work categories only at this time. (See Project Manual)
 - b. THREE (3) Hard copies need to be submitted in a sealed envelope to the Lansing School District by 2:00 pm on 1/20. Late submissions will not be accepted. Emailed submissions will not be accepted. Submit to 519 W. Kalamazoo Lansing, MI.
 - c. 5% bid security is required.
 - d. Use the bid form and LSD documents provided in the project manual for submission. Do NOT submit your own quote form.
 - e. **Prevailing wages/certified payroll is NOT required.**
 - f. There will be a public bid opening immediately following the deadline at LSD. Results will NOT



be distributed to anyone after the bid opening has concluded.

- g. Post bid interviews will be held via TEAMS on January 21st, 22nd, and 23rd. Times TBD.
- h. Questions are to be emailed to estimating@lauxconstruction.com and max@lauxconstruction.com

6.) Project Administration

- a. Laux is the construction manager. All trade contractors will receive a work order from Laux.
- b. Trade contractors will receive access to Procore project management software and will be expected to utilize it for submittals, RFI's, closeouts, and project document access.
- c. SOV's will be required from each trade contractor and will need to be broken down by labor and materials.
- d. Pay applications are due to Laux on the 15th of each month in AIA format. Only work that is either completed or stored may be billed for. No projections.
- e. IOM's, warranties, and as-builts will be required before release of final payment.
- f. A mandatory kickoff meeting will be held with trade contractors at the site. Weekly progress meetings will be held on TEAMS and onsite every other week (mandatory for all trade contractors).

7.) Site

- a. Hard hats, work boots, long pants, sleeved shirts, and high vis will be required.
- b. No tobacco products, vaping, or e-cigarettes will be allowed on campus. No exceptions.
- c. No interaction with students or staff will be allowed.
- d. Laux will place a dumpster and outhouse on site for the duration of the project.
- e. Water and electricity from the facility may be used by trades.
- f. Cleanup, as required to maintain a safe and orderly site, will be required by all trades. Laux will provide clean up of "undefinable" items (not directly related to a trade).

8.) Questions

9.) Site Walkthrough

LSD North Elementary
Post Bid Interview Schedule

Interviewer: Max Griffith
WC02A 1/21 8:00-8:20
WC02A 1/21 8:30-8:50

Interviewer: Max Griffith

WC08A 1/21 11:00-11:20
WC08A 1/21 11:30-11:50

Interviewer: Max Griffith

WC09A 1/21 1:00-1:20
WC09A 1/21 1:30-1:50

Interviewer: Max Griffith

WC09B 1/21 2:00-2:20
WC09B 1/21 2:30-2:50

Interviewer: Max Griffith

WC09C 1/21 3:00-3:20
WC09C 1/21 3:30-3:50

Interviewer: Max Griffith

WC10A 1/22 8:00-8:20
WC10A 1/22 8:30-8:50

Interviewer: Max Griffith

WC22A 1/22 9:00-9:20
WC22A 1/22 9:30-9:50

Interviewer: Max Griffith

WC26A 1/22 10:00-10:20
WC26A 1/22 10:30-10:50

SUBSTITUTION REQUEST

(During the Bidding/Negotiating Phase)



PROJECT: North Elementary School SUBSTITUTION REQUEST NUMBER: Z-1

FROM: Balfrey-Johnston, Inc

TO: Laux Construction DATE: 1-5-26

Max Griffith A/E PROJECT NUMBER: 25-1118

RE: Substitution Request CONTRACT FOR: WC 22A Plumbing

SPECIFICATION TITLE: North Elementary School DESCRIPTION: Plumbing Fixtures

SECTION: PAGE: P101 ARTICLE/PARAGRAPH: Plumbing Fixture List

PROPOSED SUBSTITUTION: Zurn Finish Plumbing

MANUFACTURER: Zurn ADDRESS: 5900 Elwin Buchanan, Sanford, NC PHONE: 800-997-3786

TRADE NAME: Zurn Finish Plumbing MODEL NO.: Various

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

SUBMITTED BY: Dick Vredevoogd, Specification Manager

SIGNED BY: *Dick Vredevoogd*

FIRM: Balfrey-Johnston, Inc

ADDRESS: 13050 Northend Ave Oak Park MI 48237

TELEPHONE: 248-384-8781

A/E's REVIEW AND RECOMMENDATION:

- ☐ Approve Substitution—Make submittals in accordance with Specification Section 01 33 00 Submittal Procedures.
- ☐ Approve Substitution as noted—Make submittals in accordance with Specification Section 01 33 00 Submittal Procedures.
- ☐ Reject Substitution—Use specified materials.
- ☐ Substitution Request received too late—Use specified materials.

SIGNED BY:

DATE:

SUPPORTING DATA ATTACHED: ☐ Drawings ☐ Product Data ☐ Samples ☐ Tests ☐ Reports ☐ _____



SECTION 01 25 19.01 - SUBSTITUTION REQUEST FORM

DATE: 1-5-26

TO: Laux Construction

ATTENTION: Max Griffith max@lauxconstruction.com

PROJECT: LSD North Elementary Interior Renovations: Bid Package 1

We submit for your consideration the following product as a substitution for the specified product:

<u>Section No.</u>	<u>Paragraph</u>	<u>Specified Product</u>
<u> </u>	<u>Plan P101</u>	<u>Plumbing Fixture List</u>

Proposed Substitution:

Zurn Finish Plumbing Fixtures per attached

Reason for Substitution:

Requesting Zurn be considered equal to the specified fixtures on Plan Page P101

Product Data:

Attach complete technical data for both the specified product and the proposed substitution. Include information on changes to Contract Documents that the proposed substitution will require for its proper installation.

Samples:

X Attached Will be furnished upon request

Does the substitution affect dimensions shown on Drawings?

X No Yes (explain)

Effects of proposed substitution on other Work:

No effect on other work

Differences between proposed substitution and specified Product:



Lansing School District
North Elementary Interior Renovations -BP 1
01 25 19.01-Substitution Request Form

Alternate manufacturer providing equal quality products

Manufacturer's warranties of the proposed substitution are:

X Same ___ Different (explain)

Maintenance service and spare parts are available for proposed substitution from:

Parts available from local Zurn distributors

Previous installations where proposed substitution may be seen:

Project: Haverhill Elementary School-Portage

Project: Redford Township Library

Owner: Haverhill Elementary School

Owner: Redford Township

Architect: Tower Pinkster

Architect: MCD Architects

Date Installed: _____

Date Installed: _____

Cost savings to be realized by Owner, if proposed substitution is approved:

N/A Pre bid request

Change to Contract Time, if proposed substitution is approved:

X No Change ___ Add _____ days ___ Deduct _____ days

Submittal constitutes a representation that Contractor has read and agrees to the provisions of Section 01 20 00.

Submitted by Contractor:

Firm Name Balfrey-Johnston, Inc

Date 1-5-26

Name Dick Vredevoogd, Specification Manager

Signature *Dick Vredevoogd*



Lansing School District
North Elementary Interior Renovations -BP 1
01 25 19.01-Substitution Request Form

For Use by Design Professional:

Based on the information supplied by the Contractor the Design Professional has reviewed the proposed substitution on the basis of design concept of the Work and conformance with information given in Contract Documents.

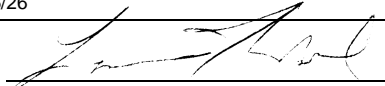
☒ Approved ☐ Approved as Noted ☐ Rejected

Submit Additional Information:

Firm Name Classic Engineering

Date 01/06/26

Name Larry Wood

Signature 



Model(s) Z6000

Manual Flush Valve, Z6000 Aquaflush Exposed Closet Flush Valve

TAG WC-1

Architectural/Engineering Specification:

Exposed, quiet diaphragm-type, chrome plated flushometer valve with a polished exterior. Complete with a chloramine resistant, dual seal diaphragm with a clog resistant by-pass. The valve is ADA compliant with a nonhold open and no leak handle feature. Internal seals are made of chloramine resistant materials.

PRODUCT FEATURES:

- Control Stop has internal siphon-guard protection, sweat solder kit, wall flange with set screw.
- High back pressure vacuum breaker with one piece hex coupling nut
- Chloramine resistant Internal seals
- Adjustable tailpiece
- Spud coupling and flange for top spud connection

VALVE HEIGHT OPTIONS:

		Vacuum Tube Length	Rough-in Height "A"
<input checked="" type="checkbox"/>	Standard	8-1/2" [216"]	11-1/2" [292]
<input type="checkbox"/>	-1	13" [330]	16" [406]
<input type="checkbox"/>	-2	21" [533]	24" [610]
<input type="checkbox"/>	-3	24" [610]	27" [686]

FLOW OPTIONS:

		Flush Volume	Dual Flush	*WaterSense Labeled
<input type="checkbox"/>	-ONE	1.1 gpf		x
<input type="checkbox"/>	-HET	1.28 gpf	1.28/1.1 gpf	x
<input checked="" type="checkbox"/>	-WS1	1.6 gpf	1.6/1.1 gpf	
<input type="checkbox"/>	-Standard	3.5 gpf		

SUFFIX OPTIONS:

<input type="checkbox"/>	-BG	BioCare ADA Handle
<input type="checkbox"/>	-DF	Dual Flush
<input type="checkbox"/>	-H	Handle on Front of Flush Valve
<input type="checkbox"/>	-L	1" [25mm] Metal Push Button
<input type="checkbox"/>	-VC	Vandal Resistant Stop Cover
<input type="checkbox"/>	-YJ	Split Ring Pipe Support
<input type="checkbox"/>	-YK	Solid Ring Pipe Support



Product Compliance:

ADA
 ASSE 1037/ASME A112.1037/CSA B125.37
 ASSE 1037
 CSA B125.37, CSA 125.3
 IPC
 WaterSense

*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.



*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

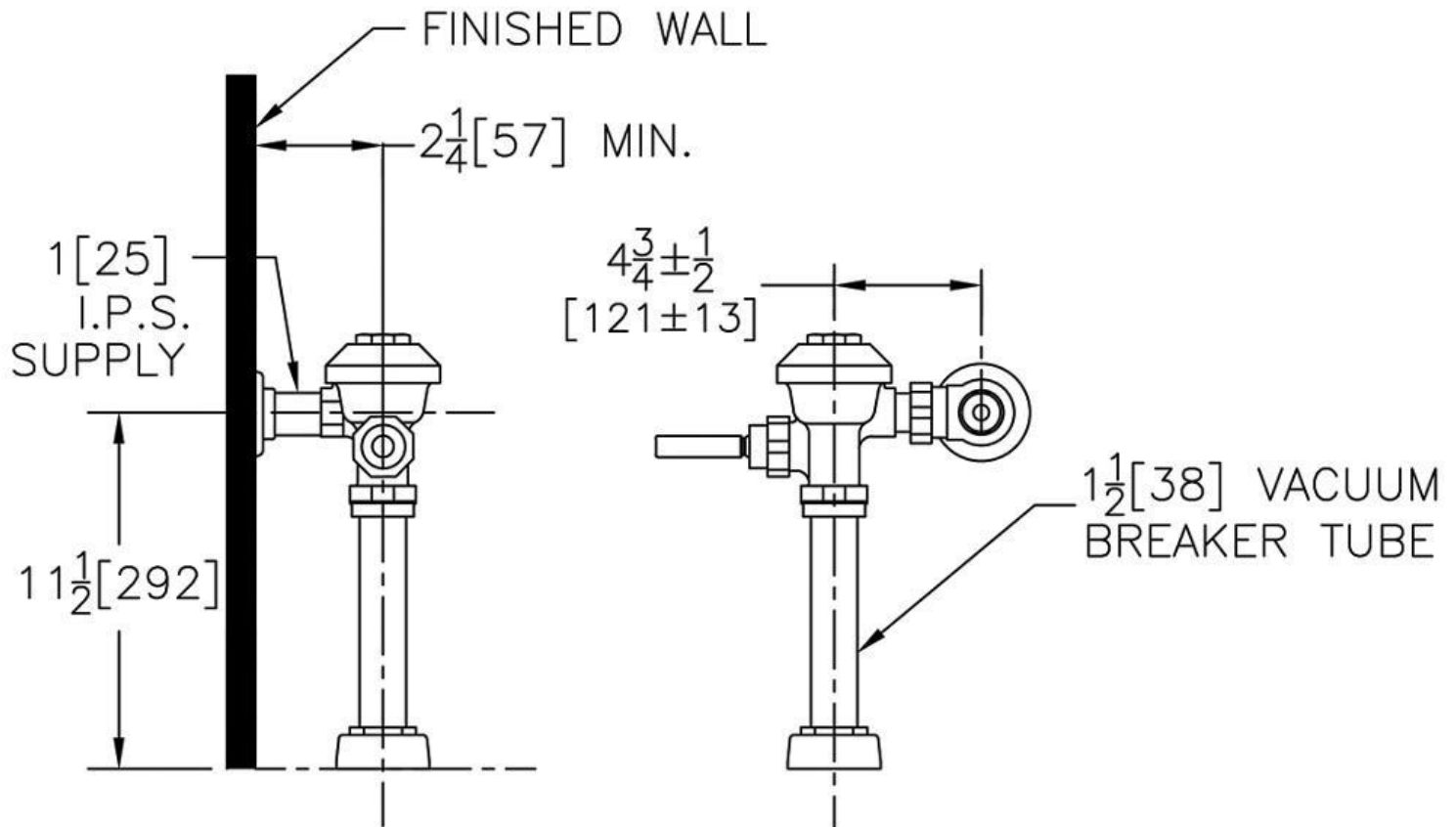
**Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

[Installation Guide - FV250.pdf](#)

Architectural/Engineering Approval

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

⚠ WARNING: Cancer and Reproductive Harm – www.P65warnings.ca.gov
 ⚠ ADVERTENCIA: Cáncer y daño reproductivo – www.P65warnings.ca.gov
 ⚠ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction – www.P65warnings.ca.gov



NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

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Model(s) Z5615-BWL

Elongated Wall Hung Flush Valve Toilet

TAG WC-1

Architectural/Engineering Specification:

Vitreous China, 1.1 gpf [4.2 Lpf] or greater high efficiency wall hung toilet with siphon jet flushing action, elongated front rim with 1-1/2" [39mm] top spud. Universal high efficiency toilet is designed to exceed industry standards with flush volumes of 1.1 gallons per flush.

PRODUCT FEATURES:

- Zurn High Efficiency Toilets and paired performance flush valve systems are designed to exceed industry standards, while using as little as 1.1 gallons of water per flush.
- Universal high efficiency toilet can be specified with 1.1 gpf [4.2Lpf], 1.28gpf [4.8Lpf], 1.6 gpf [6.0 Lpf] or dual flush valves.
- Vitreous china
- ZurnSHIELD™ ceramic glaze creates a permanent surface that protects the fixture by inhibiting the growth of stain and odor causing mold mildew and bacteria, thus reducing the amount of time, chemicals and water to clean the bowl.
- Elongated front rim
- 2-1/8" fully glazed trapway
- High efficiency siphon jet flush action
- Shipping Weight: 40 lbs.
- System MaP score of 1,000 grams at 1.28 gpf with Zurn Flush Valve
- Static weight load of 1,000 lbs*



Product Compliance:

ASME A112.19.2/CSA B45.1
 CEC
 CSA B45.1
 IPC
 WaterSense



*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

**Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

VARIANT OPTIONS:

<input checked="" type="checkbox"/>	Z5615-BWL	Top spud toilet
<input type="checkbox"/>	Z5615-BWL-AM	Top spud toilet with ZurnSHIELD™ glaze

Recommended Trim:

<input type="checkbox"/>	Z5610-NUT-EXT-KIT	Retrofit nut kit for extending carrier studs from existing wall
<input type="checkbox"/>	Z1201 or Z1202	EZCarry™ 500 lbs load rated High Efficiency Carrier
<input type="checkbox"/>	Z5955SS-EL	Elongated, standard white, open front toilet seat less cover with stainless steel check hinge

Z5615-BWL ZURN ONE SYSTEMS

Complete fixture package with bowl, flush valve, seat and trim

Item Number	Description	Flush Valve GPF
<input type="checkbox"/> Z.WC1.M	Manual Z6000AV-ONE system	1.1
<input type="checkbox"/> Z.WC1.S	EZ Flush ZER6000AV-ONE-SM system	1.1
<input type="checkbox"/> Z.WC1.S.TM	Top Mount Sensor ZER6000AV-ONE system	1.1
<input type="checkbox"/> Z.WC2.M	Manual Z6000AV-HET system	1.28
<input type="checkbox"/> Z.WC2.S	EZ Flush ZER6000AV-HET-SM system	1.28
<input type="checkbox"/> Z.WC2.S.TM	Top Mount Sensor ZER6000AV-HET system	1.28

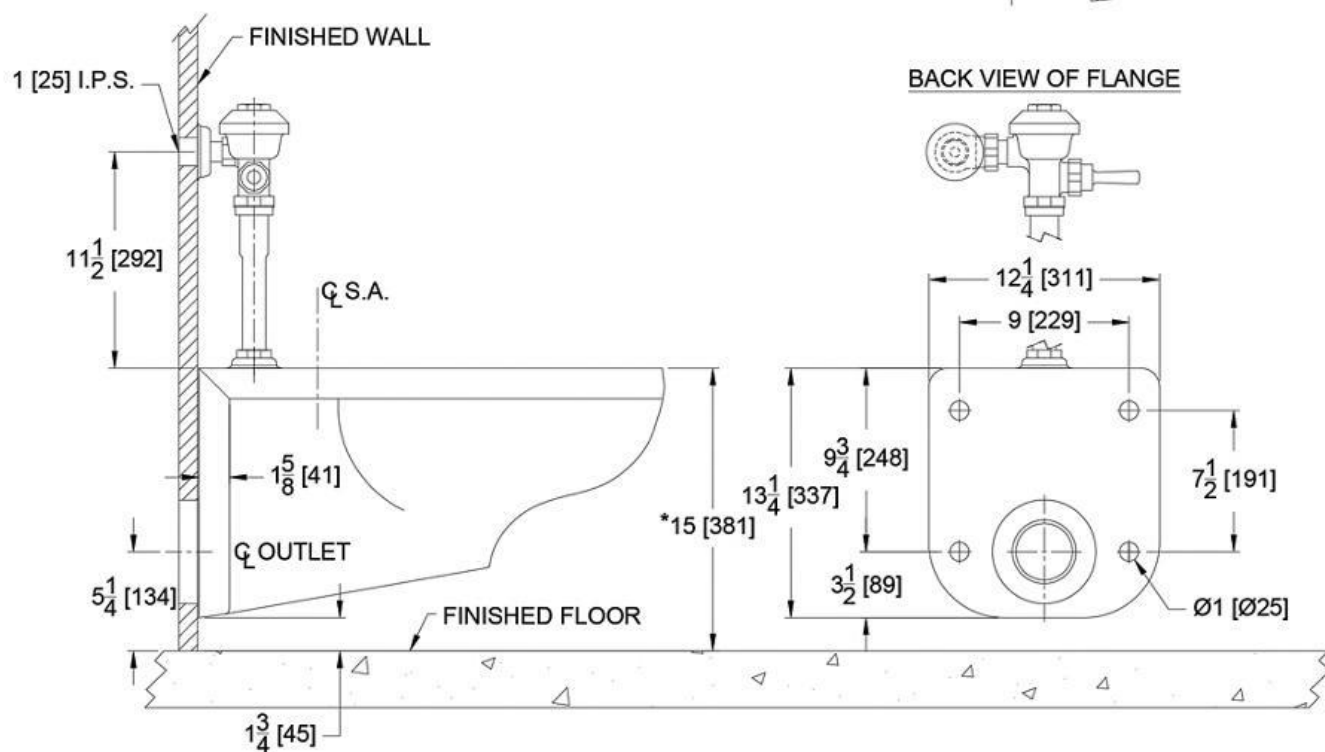
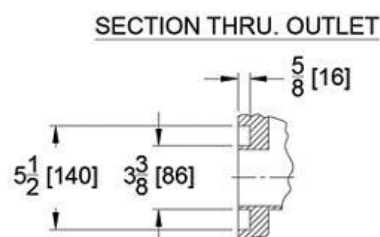
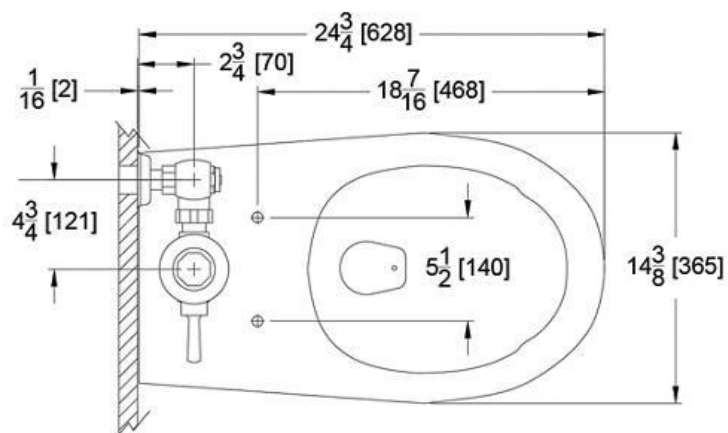
Architectural/Engineering Approval

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⚠ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction – www.P65warnings.ca.gov



*NOTE: For ADA compliance, top of seat height should be installed at 17" [431mm] - 19" [482mm] from finished floor.

NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

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⚠️ ADVERTENCIA: Cáncer y daño reproductivo – www.P65warnings.ca.gov
⚠️ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction – www.P65warnings.ca.gov



Z5755-U

TAG U-1

Omni-Flo™ Top Spud Urinal 0.125 gpf to 1.0 gpf



*Shown with
ZTR6203 Flush Valve

Z5755 SERIES

Recommended Trim:

- ☐ **ZTR6203-ULF-LL***
Sensor Long Life Battery Operated Urinal
Flush Valve. 0.125 gpf[0.5 Lpf]
- ☐ **ZTR6203-QRT-LL***
Sensor Long Life Battery Operated Urinal
Flush Valve. 0.25 gpf[1.0 Lpf]
- ☐ **ZTR6203-EWS-LL***
Sensor Long Life Battery Operated Urinal
Flush Valve. 0.5 gpf [1.9 Lpf]
- ☐ **ZTR6203-WS1-LL**
Sensor Long Life Battery Operated Urinal
Flush Valve. 1.0 gpf [3.8 Lpf]



*This product should be used with a WaterSense labeled counterpart with a compatible flush volume to ensure that the entire system meets the requirements for

These dimensions and specifications are subject to change without notice.

Fixture dimensions meet ANSI/ASME standard A112.19.2 and CAN/CSA B45 requirements.

Meets the American Disabilities Guidelines and ANSI A117.1 requirements when urinal is installed 432mm (17") from finished floor.

ZURN INDUSTRIES, LLC. ♦ COMMERCIAL BRASS OPERATION
5900 ELWIN BUCHANAN DRIVE ♦ SANFORD NC 27330
PHONE: 1-800-997-3876 ♦ FAX: 919-775-3541
WWW.ZURN.COM

IN CANADA: ZURN INDUSTRIES LIMITED
7900 GOREWAY DRIVE UNIT 10 ♦ BRAMPTON, ONTARIO L6T5W6
PHONE: 905-405-8272 FAX: 905-405-1292



Z5755 Urinal Series

- Zurn Ultra Low Consumption Urinal designed for optimal performance when paired with Zurn flush valve to save water while exceeding industry performance standards
- Based on flush valve it can flush 0.125 gpf [0.5 Lpf] to 1.0 gpf [3.8 Lpf]
- Vitreous china
- Asymmetric backwall resulting in reduced splash back
- Patent Pending
- High efficiency washdown flushing action
- Oversized footprint to make retrofit easy
- 3/4" top spud
- 2" I.P.S. outlet flange and rubber gasket with integral trap
- 14" extended rim for handicap compliance when installed at proper height
- Vandal resistant outlet strainer included
- Shipping Weight: 60 lbs.

Engineering Specification:

- ☐ **Z5755 EcoVantage® Urinal**
0.125 gpf [0.5 Lpf] to 1.0 gpf [3.8 Lpf] vitreous china, wall hung, integral trap, washdown urinal complete with 3/4" top spud connection, concealed universal retrofit wall bracket, 2" outlet connection and vandal resistant outlet strainer.

***Replaces Zurn Z5750 and Z5798-U**

This space is for Architectural/engineering Approval

See Zurn One Systems for suggested packages.

The information contained in this document is subject to change without notice.
Please contact Zurn for most up to date information.

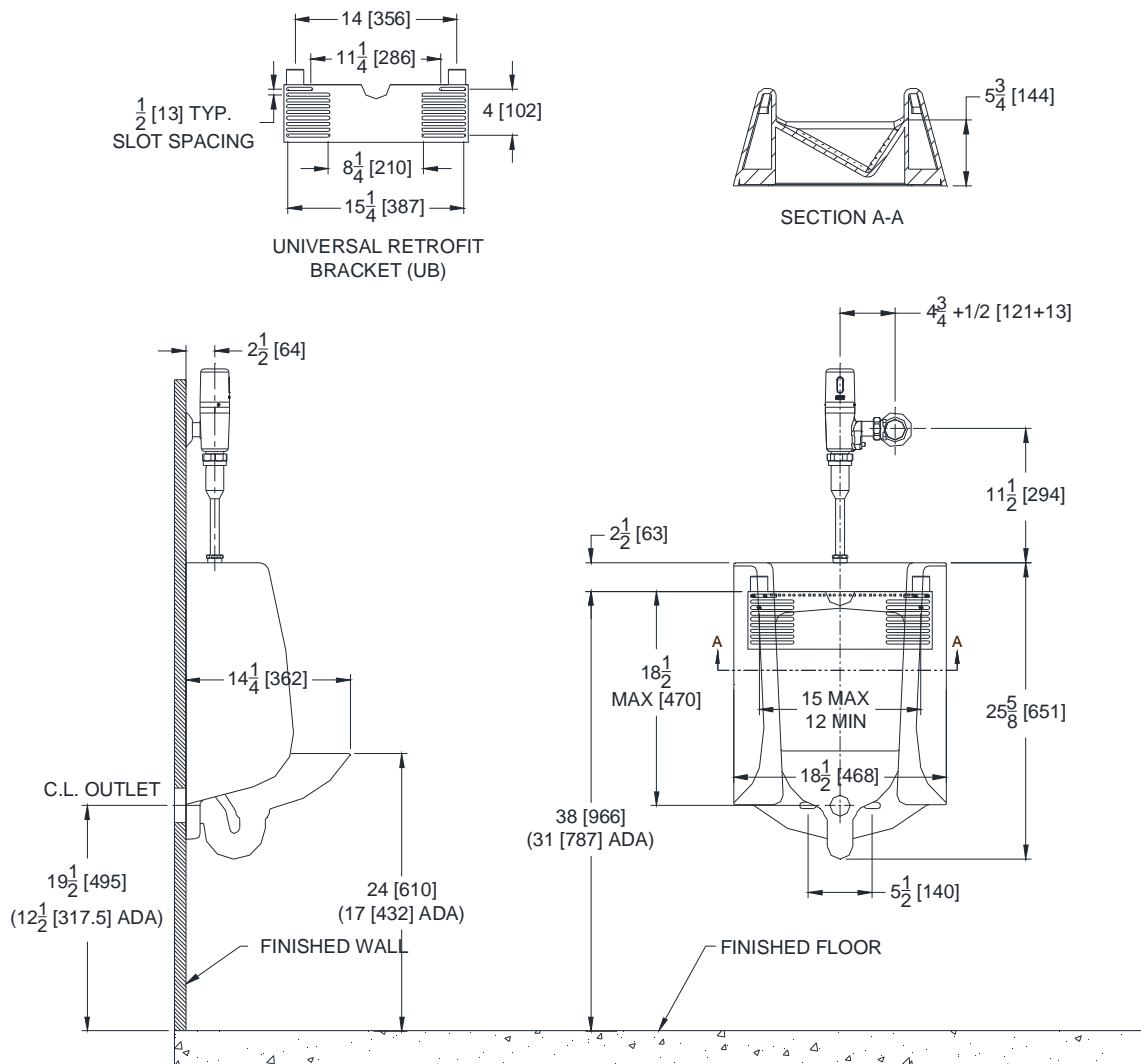


Z5755-U

TAG U-1

Omni-Flo™ Top Spud Urinal 0.125 gpf to 1.0 gpf

Rough-in dimensions for Z5755-U Series



These dimensions and specifications are subject to change without notice.

Fixture dimensions meet ANSI/ASME standard A112.19.2 and CAN/CSA B45 requirements.

Meets the American Disabilities Guidelines and ANSI A117.1 requirements when urinal is installed 432mm (17") from finished floor.



ZURN INDUSTRIES, LLC. ♦ COMMERCIAL BRASS OPERATION
5900 ELWIN BUCHANAN DRIVE ♦ SANFORD NC 27330
PHONE: 1-800-997-3876 ♦ FAX: 919-775-3541
WWW.ZURN.COM

IN CANADA: ZURN INDUSTRIES LIMITED
7900 GOREWAY DRIVE UNIT 10 ♦ BRAMPTON, ONTARIO L6T5W6
PHONE: 905-405-8272 FAX: 905-405-1292

EcoVantage® is a registered trademark of Zurn Industries, LLC.

Rev. E
Dwg. No. 312163

Date: 4/18/2017
Product No. Z5755-U



Model(s) Z6003

Aquaflush Exposed Urinal Flush Valve

TAG U-1

Architectural/Engineering Specification:

Exposed, quiet diaphragm-type, chrome plated flushometer valve with a polished exterior. Complete with a chloramine resistant, dual seal diaphragm with a clog resistant by-pass. The valve is ADA compliant with a nonhold open and no leak handle feature. Internal seals are made of chloramine resistant materials.

PRODUCT FEATURES:

- Control Stop has internal siphon-guard protection, sweat solder kit, wall flange with set screw.
- High back pressure vacuum breaker with one piece hex coupling nut
- Chloramine resistant Internal seals
- Adjustable tailpiece
- Spud coupling and flange for top spud connection

VALVE HEIGHT OPTIONS:

		Vacuum Tube Length	Rough-in Height "A"
<input checked="" type="checkbox"/>	Standard	8-1/2" [216"]	11-1/2" [292]
<input type="checkbox"/>	-1	13" [330]	16" [406]
<input type="checkbox"/>	-2	21" [533]	24" [610]
<input type="checkbox"/>	-3	24" [610]	27" [686]

FLOW OPTIONS:

		Flush Volume	*WaterSense Labeled
<input type="checkbox"/>	-ULF	0.125 gpf	x
<input type="checkbox"/>	-EWS	0.5 gpf	x
<input checked="" type="checkbox"/>	-WS1	1.0 gpf	
<input type="checkbox"/>	-Standard	1.5 gpf	

SUFFIX OPTIONS:

<input type="checkbox"/>	-BG	BioCare ADA Handle
<input type="checkbox"/>	-D1	1" Supply
<input type="checkbox"/>	-H	Handle on Front of Flush Valve
<input type="checkbox"/>	-HL	1" [25mm] Metal Push Button on Front
<input type="checkbox"/>	-L	1" [25mm] Metal Push Button
<input type="checkbox"/>	-VC	Vandal Resistant Stop Cover
<input type="checkbox"/>	-YJ	Split Ring Pipe Support
<input type="checkbox"/>	-YK	Solid Ring Pipe Support



Product Compliance:

ADA
 ASSE 1037/ASME A112.1037/CSA B125.37
 ASSE 1037
 CSA B125.37
 IPC
 WaterSense

*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.



*This product should be used with a WaterSense labeled counterpart with a compatible flow volume to ensure that the entire system meets the requirements for water efficiency and performance.

**Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

[Installation Guide - FV250.pdf](#)

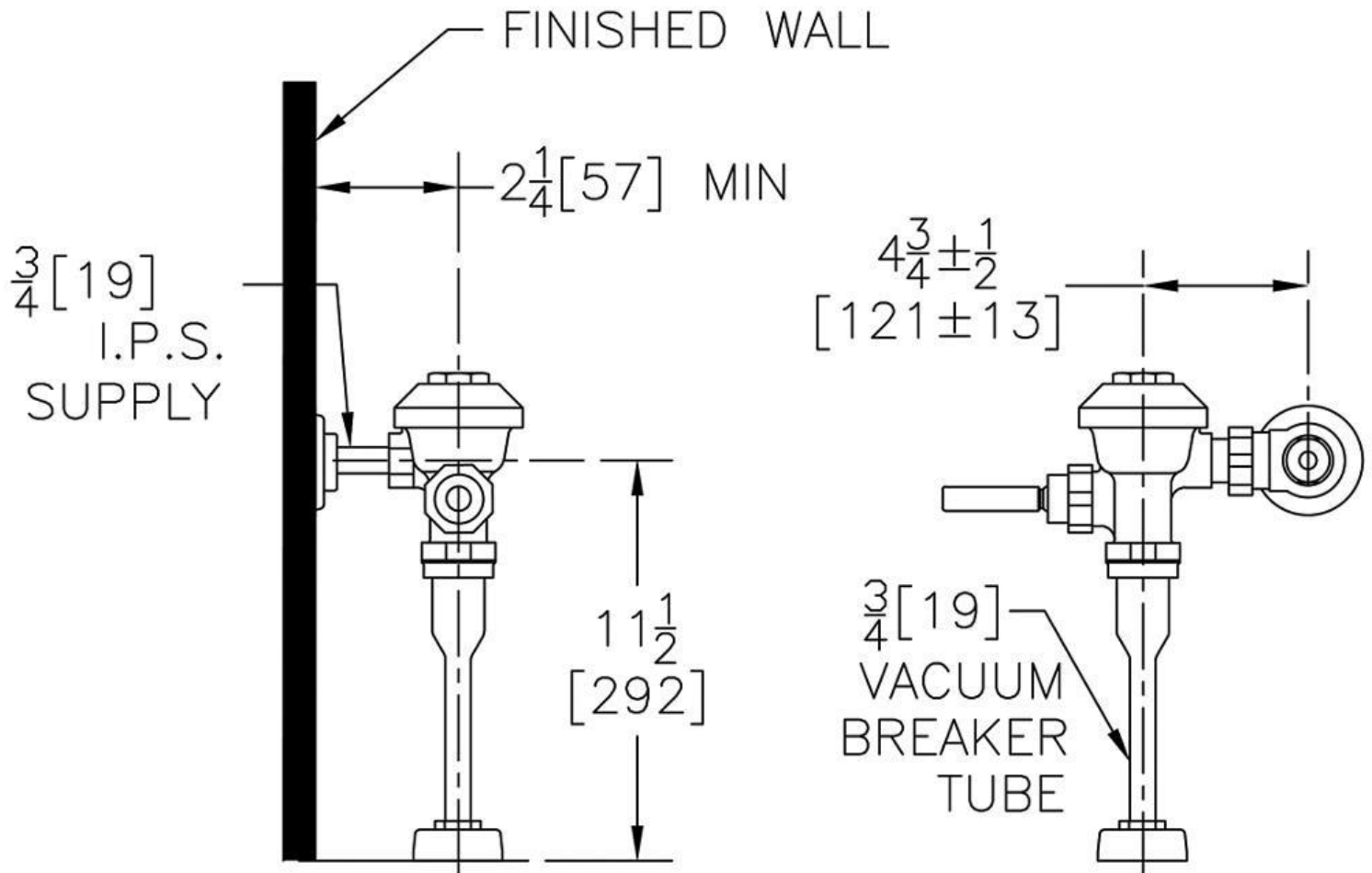
Architectural/Engineering Approval

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

⚠ WARNING: Cancer and Reproductive Harm – www.P65warnings.ca.gov

⚠ ADVERTENCIA: Cáncer y daño reproductivo – www.P65warnings.ca.gov

⚠ AVERTISSEMENT: Cancer et effets néfastes sur la reproduction – www.P65warnings.ca.gov



NOTE: All dimensions are for reference only. Do not use for pre-plumbing.

Design and dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

⚠ WARNING: Cancer and Reproductive Harm – www.P65warnings.ca.gov
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Model(s) Z5360

Wall Hung Lavatory

TAG L-1

Architectural/Engineering Specification:

20" [508 mm] x 18" [457 mm] vitreous china wall hung lavatory. Provided with hanger plate and holes for concealed arm carrier systems.

- 20" [508 mm] x 18" [457 mm] Vitreous china
- 4" high back splash
- Faucet holes for single, 4", or 8" centers
- Wall hung lavatory provided with wall hanger or for use with concealed arm carrier systems
- Front overflow
- Waste: 1-1/4" O.D.
- Depth: 5-3/4"
- Shipping Weight: 42 lbs

CONFIGURATIONS:

<input type="checkbox"/>	Z5361	Sink with single faucet hole
<input checked="" type="checkbox"/>	Z5364	Sink with 4" [102mm] center faucet holes
<input type="checkbox"/>	Z5368	Sink with 8" [203mm] center faucet holes

RECOMMENDED TRIM:

<input type="checkbox"/>	Z8743-PC	Grid Strainer
<input type="checkbox"/>	Z8700 Series	P-Trap
<input type="checkbox"/>	Z8800 Series	Top with Flexible Supplies
<input type="checkbox"/>	Z8946-1-NT	ADA Trap, Stop, and Supply Protectors

OPTIONAL TRIM:

<input type="checkbox"/>	Z8746-PC	ADA Grid Strainer
<input type="checkbox"/>	Z8946-3-NT	ADA Trap, Stop, and Supply Protectors for Offset Grid Strainer



Product Compliance:

ADA
ASME A112.19.2/CSA B45.1
CSA B45.1
IPC

*Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.

**Although products with certain combinations of options and features will meet or comply with these standards and/or certifications, not every combination of options and features will result in such compliance. If you have any questions about your particular product, please contact our Customer Care Dept. at 1-855-ONE-ZURN (United States) or 1-877-892-5216 (Canada) for confirmation.*

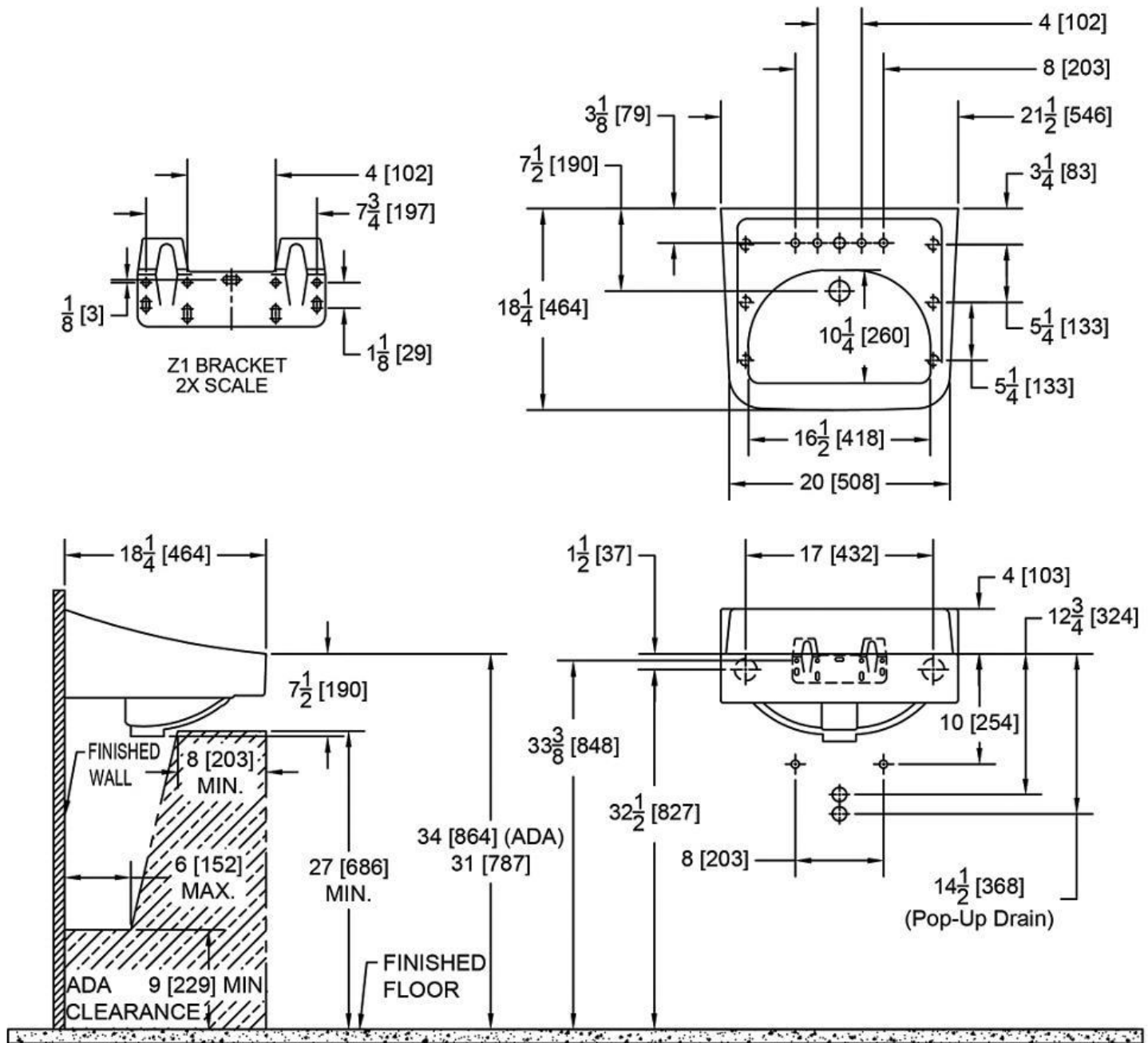
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NOTE: All dimensions are for reference only. Do not use for pre-plumbing.



Lansing School District North Elementary (Interior Renovation)

AE Project 25-1118

CM Project 25070

LSD SO Project 1844

**333 E. Miller Rd
Lansing, MI 48911**

Bid Package 1

November 18, 2025

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DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

00 11 00	Advertisement for Bids
00 30 00	Available Project Information
00 41 00	Bid Form
	LSD Supplier/Vendor Application
	LSD Commodity List
	LSD Statement of No Bid
	Affidavit of Bidder-Familial Disclosure
	Non-Discrimination in Employment Certification
	LSD Non-Discrimination Policy
	Affidavit of Bidder-Non Collusion
	Iran Economic Sanctions Act Certificate
	Legal Status of Bidder
	LSD General Conditions and Instructions to Bidders
	LSD Purchasing Policy

DIVISION 01 - GENERAL REQUIREMENTS

01 20 00.01	Price and Payment Procedures (includes alternates, allowances, and unit prices)
01 25 19.01	Substitution Request Form
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OTHER

Work Category Descriptions

- General Requirements for All Trades (includes Preliminary Project Schedule)
- WC 02A Demolition / Abatement
- WC 08A HM Doors, Wood doors, Frames, HW
- WC 09A Carpentry and Interiors
- WC 09B Floor Coverings
- WC 09C Painting
- WC 10A Specialties
- WC 12A Furnishings
- WC 22A Plumbing / Mechanical
- WC 26A Electrical / Fire Alarm

Sample Work Order/Purchase Order
A201-2017 (For Reference)



DOCUMENT 00 30 00 - AVAILABLE PROJECT INFORMATION

1.1 Documents

- A. Project manual by Laux Construction, dated December 23, 2025.
- B. Drawings by Colliers Engineering and Design, dated November 18, 2025.
- C. Lansing School District Flooring Assessment Report, dated December 23, 2025
- D. North Elementary Furniture Package

END OF DOCUMENT



DOCUMENT 00 41 00 - BID FORM

DATE

PROJECT

**North Elementary Interior Renovations
Bid Package #1**

OWNER

Lansing School District

DESIGN PROFESSIONAL

Colliers Engineering and Design

BIDDER

WORK CATEGORY

1.1 ACKNOWLEDGEMENTS

- A. Bidder accepts the provisions of Bidding Documents.
- B. Bidder will enter into a contract with the Construction Manager for this work within 10 days after notification of acceptance of this Bid.
- C. Bidder will complete the Work in accordance with the Bidding Documents prepared by Colliers/Laux Construction.
- D. Bidder has received the following Addenda:

No. _____ Dated _____, 20____

No. _____ Dated _____, 20____

No. _____ Dated _____, 20____

No. _____ Dated _____, 20____

No. _____ Dated _____, 20____

1.2 BID SUMS

- A. Base Bid: Bidder will complete the Project for stipulated sum of: \$_____

Dollars and 00/100-----



B. Alternate Bids:

- **Work Category 02A- Demolition / Abatement**

- Alternate #1 – Demo existing ceiling grid
Add to Base Bid \$_____

- **Work Category 09A- Carpentry and Interiors**

- Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.
Add to Base Bid \$_____

C. Unit Prices:

Work Category 09B – Flooring

Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

\$_____/sf

Work Category 26A—Electrical

Lineal foot cost to add/delete conduit support, including low voltage, from the 500 lf that is to be included in the base bid of this work category.

\$_____/lf

1.3 TIME FOR PERFORMANCE OF WORK

- A. All work is to be completed in order for the school to be occupied and operational no later than August 21, 2026

1.4 EMR Ratings:

- A. 2023 _____
B. 2024 _____
C. 2025 _____

Submitted by:

Firm Name _____ By _____

Street Address _____ Signature _____



City, State and Zip Code _____ Title _____

Telephone _____

Bidder is a (corporation) (partnership) (sole proprietorship) (Bidder strike out inapplicable terms)

Corporations affix Corporate Seal

State in which incorporated _____

END OF DOCUMENT



SECTION 01 20 00.01 - PRICE AND PAYMENT PROCEDURES

- **GENERAL**

.1 CASH ALLOWANCES

A. Cash Allowances: The following allowances are to be included in the base bid for the respective work categories listed below. Allowances will be only be utilized at the owner's discretion and written authorization.

- **Work Category 02A—Demolition / Abatement**

Allowance #1: 10,000 to be used at Owner's discretion.

- **Work Category 09A – Carpentry / Interiors**

Allowance #1: \$5,000 to be used at Owner's discretion.

- **Work Category 09B – Floor Coverings**

Allowance #1: \$2,500 to be used at Owner's discretion

Allowance #2: \$300 Material allowance for replacement in observation area

- **Work Category 09C— Painting**

Allowance #1: \$2,500 to be used at Owner's discretion.

- **Work Category 10A — Specialties**

Allowance #1: \$2,500 to be used at Owner's discretion.

- **Work Category 22A – Plumbing / Mechanical**

Allowance #1: \$7,500 to be used at Owner's discretion.

- **Work Category 26A – Electrical / Fire Alarm**

Allowance #1: \$5,000 to be used at Owner's discretion.

.2 UNIT PRICES

A. Unit Prices: The following unit prices will be used to establish rates for extra work and/or evaluation of bids by the CM.

- **Work Category 09B – Flooring**

Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

\$_____ /sf



- **Work Category 26A—Electrical**

Lineal foot cost to add/delete conduit support, including low voltage, from the 500 lf that is to be included in the base bid of this work category.

\$ _____ /lf

.1 ALTERNATES

- **Work Category 02A- Demolition / Abatement**

- Alternate #1 – Demo existing ceiling grid
Add to Base Bid \$ _____

- **Work Category 09A- Carpentry and Interiors**

- Alternate #1 – Replace all ceiling grid
Add to Base Bid \$ _____

.2 PRODUCT SUBSTITUTIONS

- A. Substitutions during Bidding: Only substitutions submitted and approved via written addendum PRIOR TO SUBMISSION OF BIDS.
- B. Submit substitution requests to Laux Construction via e-mail to max@lauxconstruction.com
- C. Requests are to be submitted on the form provided in Section 01 2519.01

.3 REQUESTS FOR INFORMATION (RFI)

- A. Definition: Request from trade contractors/vendors seeking interpretation or clarification of Contract Documents not involving Substitutions or changes to Contract Sum or Contract Time.
- B. Do not submit RFI's to request approval of Substitution, request changes involving changes to Contract Sum or Contract Time, request approval of submittals, or to submit Project Record Documents.
- C. Submit electronically via email to max@lauxconstruction.com
- D. Questions are to be submitted no later than 5:00 pm on Friday, January 9, 2026.

.4 CONTRACT MODIFICATION PROCEDURES

- A. Architect's Supplemental Instructions: Design Professional will advise of minor changes in Work not involving an adjustment to Contract Sum or Contract Time as authorized by the Conditions of the Contract.
- B. Bulletins:
 - 1. Construction Manager may issue a bulletin detailing a proposed change with supplemental or revised Drawings and Specifications.
 - 2. Submit estimate of any change to Contract Sum or Contract Time within 5 days after receipt.
 - 3. Submit electronically in Adobe PDF format.
 - 4. Do not proceed with change until a written authorization from Laux Construction is received.
- C. Contractor Proposed Changes:
 - 1. Describe proposed change, reason for change, effect on Work, and any changes to Contract Sum or Contract Time.
 - 2. Document proposed substitutions in accordance with Section 01 20 00.
 - 3. Submit electronically in Adobe PDF format.
- D. Construction Change Directive: Construction Manager may issue a directive, pre-approved by Owner, instructing Trade Contractor/Vendor to proceed with a change for subsequent inclusion in a Change Order.



- E. Change Orders: Change Orders will be prepared by the construction manager for signature of parties as provided in Conditions of the Contract.

.5 SCHEDULE OF VALUES

- A. Submit Schedule of Values (for contracts totals over \$5,000) to construction manager within 5 days of receipt of contract.
1. If requested, furnish data to support values given.
 2. Approved Schedule of Values will be used as basis for reviewing trade contractors'/vendors' Applications for Payment.
- B. Format: Use Table of Contents of Project Manual as basis for listing costs of work.
1. List values in sufficient detail to serve as basis for computing values for progress payments.
 2. When payment is requested for stored materials, break down value into cost of materials and total installed value.
 3. Total of costs listed in Schedule shall equal Contract Sum.
- C. Review and Resubmittal:
1. After review by Owner and CM/Design Professional, revise and resubmit if required.
 2. Resubmit along with next Application for Payment when Change Orders are issued. List each Change Order as new line item.

.6 APPLICATIONS FOR PAYMENT

- A. Format: AIA Document G702 - Application and Certification for Payment, supported by AIA Document G703 - Continuation Sheet.
- B. Use data from approved Schedule of Values as basis. Provide dollar value in each column for each line item representing portion of work performed.
- C. List each authorized Change Order as separate line item.
- D. When Owner or CM/Design Professional require substantiating information, submit data justifying dollar amounts in question.
- E. Only work that has been completed or stored can be invoiced for. Projections will not be permitted on monthly pay applications.
- F. Ten (10%) percent retainage will be required on monthly pay applications.
- G. Further information regarding pay application process will be provided at the project kickoff meeting.

- **PRODUCTS**

Not used

- **EXECUTION**

Not used

END OF SECTION



Work Category 02A: Demolition / Abatement

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering Design drawings date 11-18-25
2. Provide legal, off-site disposal of all debris generated by this work category.
3. Provide containment and dust control measures required to prevent spread of dust/debris/contaminants outside of immediate work areas.
4. Provide protection of HVAC system from intake of airborne dust/debris.
5. Provide temporary protection of surrounding finishes/fixtures to remain (Plastic/Masonite/ramboard,etc.)
6. Provide shoring as necessary at areas of structural demo. Leave shoring in place until completion of structural work. Remove when structural work is complete.
7. Provide demolition and abatement work depicted on the plans per all demo and removal key notes
8. Coordinate with Tri-Terra for air monitoring and testing as needed for abatement work.
9. Provide proper disposal of all items removed.
10. Remove and salvage doors and hardware scheduled to be re-used, turn over to GC for future construction prep
11. Protect existing Door frames, TV's, Display boards, conduit to remain
12. Re-locate existing LSD rolling refrigerators to room 205 and/or per LSD direction.

Alternates:

1. Work Category 02A- Demolition / Abatement

- a. Alternate #1 – Demo existing ceiling grid
Add to Base Bid \$ _____

Allowances:

Allowances are to be utilized at the owner's discretion and by their authorization only.

1. \$10,000.00 to be used at Owner's discretion.

END OF WORK CATEGORY



Work Category 09A: Carpentry and Interiors

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
 2. Remove existing door hardware from doors that are scheduled to remain and turn over to owner for salvage. This is to be completed prior to start of demolition activities by WC 02A.
 3. Temporary board up of windows and door openings as required.
 4. Provide and install all wood backing and blocking for all items, including, but not limited to plumbing fixtures, bath accessories, bath partitions, owner provided furnishings, etc.
 5. Patch all walls and ceilings where necessary from WC 02A demolition activities.
 6. Receive, transport, and install HM doors, wood doors, and all associated hardware (provided by WC 08A)
 7. Provide and install FRP-1 full height and trims on walls indicated and per manufacturers recommendations.
 8. Provide new ceiling grid in areas scheduled.
 9. Provide and install ACP-1 and ACP-2 as scheduled
 10. Infill wall where door and frame was removed, match adjacent materials.
 11. Install new doors and hardware into existing frames, provided by WC 08A, where specified.
 12. Perform patching of wall where plumber is installing in-wall plumbing (Refer to P sheets).
 13. Provide continuous firestopping sealant @ gyp as required.
 14. Perform all modifications, repairs, and prep work required at existing frames to remain. Coordinate with WC 08A for existing frame prep to receive new doors as specified and noted.
 15. Provide, hang, finish, and sand all gyp board as specified and in locations noted.
 16. Patch and sand holes, dents, and rough areas at existing gyp bd to remain in work areas.
 17. Provide containment and protection of surrounding areas during drywall finishing and sanding activities to prevent spread of dust and debris to other areas/finishes.
 18. Upon completion of sanding activities, perform a thorough cleaning of all debris and dust generated by these activities. Vacuum dust from all surfaces utilizing a HEPA vac.
 19. Touch up gyp board after priming activities are completed by
 20. Patch all drywall ceiling affected by MEP trades.
 21. Provide removal and reinstallation of ceiling grid/tile in areas scheduled to remain where MEP/Tech trades need to access space above for their work.
 22. Extend existing wall to meet existing fire rating as needed
-



Lansing School District
North Elementary Interior Renovations -BP 1
Work Category Description

Alternates:

- Work Category 09A- Carpentry and Interiors
 - Alternate #1 – Replace all ceiling grid with same size materials, use Armstrong brand products.

Add to Base Bid \$_____

Allowances:

\$5,000 to be used at Owner's discretion.

END OF WORK CATEGORY



Work Category 09B: Floor Coverings

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Perform preparation of floor slab as required by manufacturers' recommendations.
3. Patch and prep floors due to demo activities as needed, as specified, and noted.
4. Provide and install all floor coverings per manufacturers' instructions, including:
 - a. EP-1– color TBD - with integral base. Prep and patch as required for new floor
 - b. EP2 – color TBD - with integral base. Prep and patch as required for new floor
 - c. Provide and install RB-1
5. Coordinate with WC 09A for wall infill and patch prior to integral base installation. Coordinate with WC 09A for FRP panel and trim installation
6. Provide moisture test of existing floor to confirm acceptable substrate for new flooring.

Allowances:

1. \$2,500 to be used at Owner's discretion.
2. \$300 Material allowance for replacement in observation area

Unit Prices:

1. Square foot cost to add 1/8" floor leveling product in areas receiving new flooring.

END OF WORK CATEGORY



Work Category 09C: Painting

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering & Design plans dated 11/18/2025.
2. Provide complete protection of all surrounding finishes and surfaces during execution of scope under this WC. Clean up of any overspray, spillage, etc. will be the responsibility of this WC.
3. Provide and install caulk and joint sealants at perimeter of hollow metal door frames.
4. Apply one coat of primer to new gypsum board surfaces. Upon completion of priming activities, this WC is to mark any areas of concern (ie, defects, rough area, dents, etc.). WC 09A will patch and sand these areas ONE TIME.
5. Apply finish paint to gypsum board as specified and noted.
6. Apply filler material (i.e, bondo) over heads of HM frame anchors (ground down by WC 09A) and over slush holes in frames. Sand and prep for paint.
7. Paint hollow metal frames and doors. This WC to confirm compatibility of finish paint with factory primer.
8. Prep and paint existing frames to remain as noted. WC 09A will perform any major modifications/repairs. Painting WC to perform final touch ups/prep of frame prior to painting.
9. Prep and Paint brick wall as specified and noted
10. Prep and paint soffit as specified and noted
11. Prep and paint conduit as specified and noted, coordinate with WC 26A.
12. Prep and paint access panel and wall grilles and specified and noted, coordinate with WC 09A and 22A.

Allowances:

1. \$2,500 to be used at Owner's discretion

END OF WORK CATEGORY



Work Category 22A: Plumbing / Mechanical

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

Plumbing

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Provide plumbing permit and inspections by SOM BCC.
3. Demo existing plumbing fixtures and piping as indicated.
4. Furnish and install new fixtures as scheduled.
5. Provide and install insulation as required.
6. Field inspect existing fixture carriers and make adjustments as necessary for new fixtures.
7. Install penetration firestopping at any penetrations related to this scope of work as required.
8. Provide product data/shop drawing submittals separated by specification sections. Submittals with multiple sections grouped together as one file will not be accepted.
9. Coordinate with WC 09A for wall patching, and new wall finish prior to new fixture install.
10. Coordinate with WC 26A for final connections to new equipment.
11. Perform visual scope of UG/In wall plumbing from the cafeteria area to the center hallway by the main office. Provide video recording of the scope for engineers/owners review prior to start of any underground work.

Mechanical

1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering plans dated 11/18/2025
2. Provide mechanical permit and inspections by SOM BCC.
3. Demo existing diffusers, grilles, sensors and as indicated
4. Furnish and install new diffusers and grilles as scheduled
5. Furnish and install all materials/equipment as noted on M sheets.
6. Install penetration firestopping at any penetrations related to this scope of work as required.
7. Provide product data/shop drawing submittals separated by specification sections. Submittals with multiple sections grouped together as one file will not be accepted.
8. Coordinate with WC 09A for wall and ceiling patching and adjustments prior to new device install.
9. Perform pre-test and balance and post-test and balance, provide reports before and after work commences.

Allowances:

Allowances are to be utilized at the owner's discretion and by their authorization only.

1. \$5,000 to be used at Owner's discretion.



Work Category 12A: Furnishings

Specific Notes/Scope:

The following is to be used for clarification of the intent of this work category. This is not a comprehensive list of scope items and work category will be responsible to provide all work for the sections listed above.

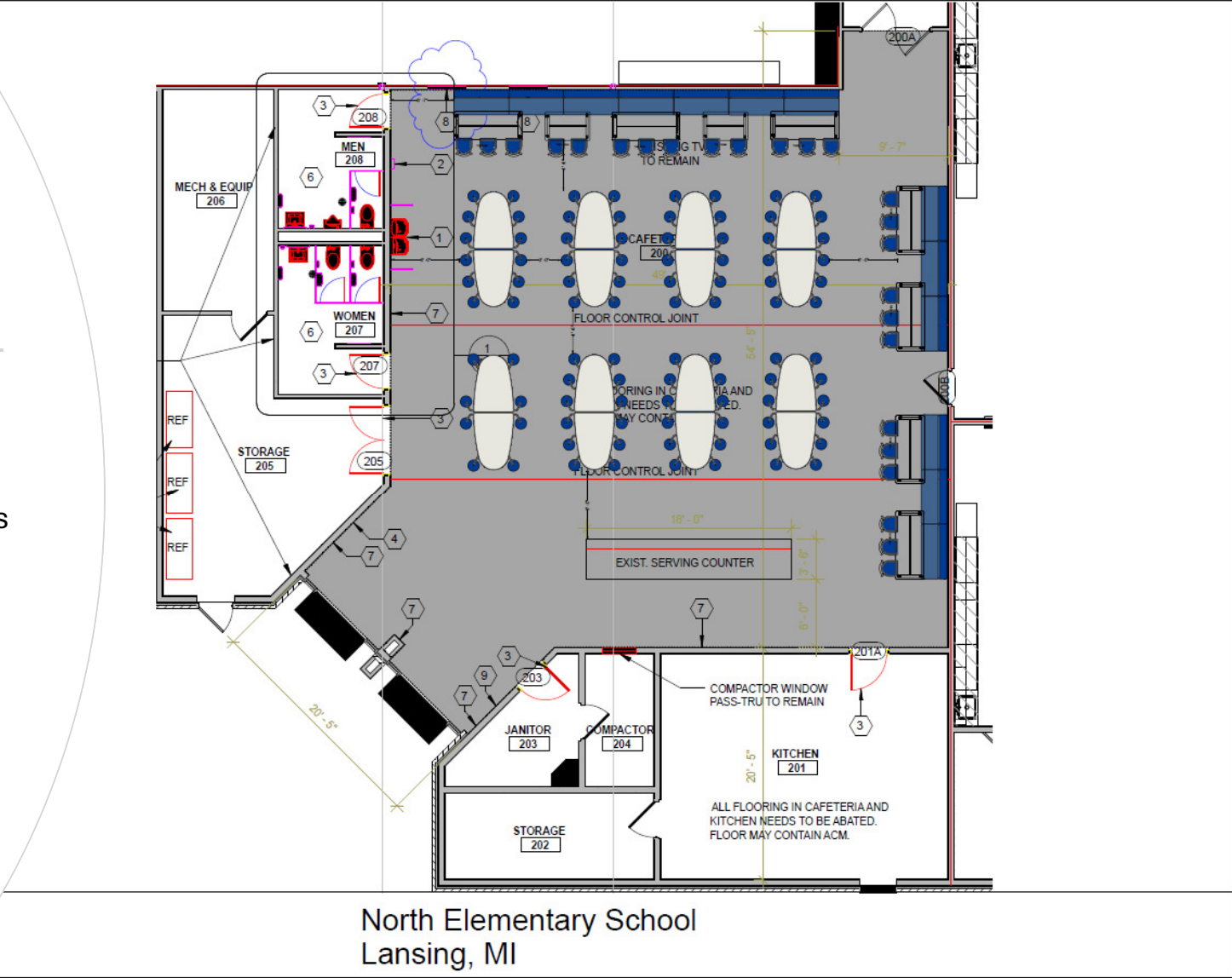
1. Provide all tools, equipment, means and methods necessary to complete the scope defined in this work category and per the Colliers Engineering Design drawings date 11-18-25
 2. Furnish and install all furniture listed in the Furniture package
 3. Furnish and install a complete furniture package, including delivery and set up.
 4. Provide protection of adjacent and existing materials during the delivery and set up.
-

END OF WORK CATEGORY

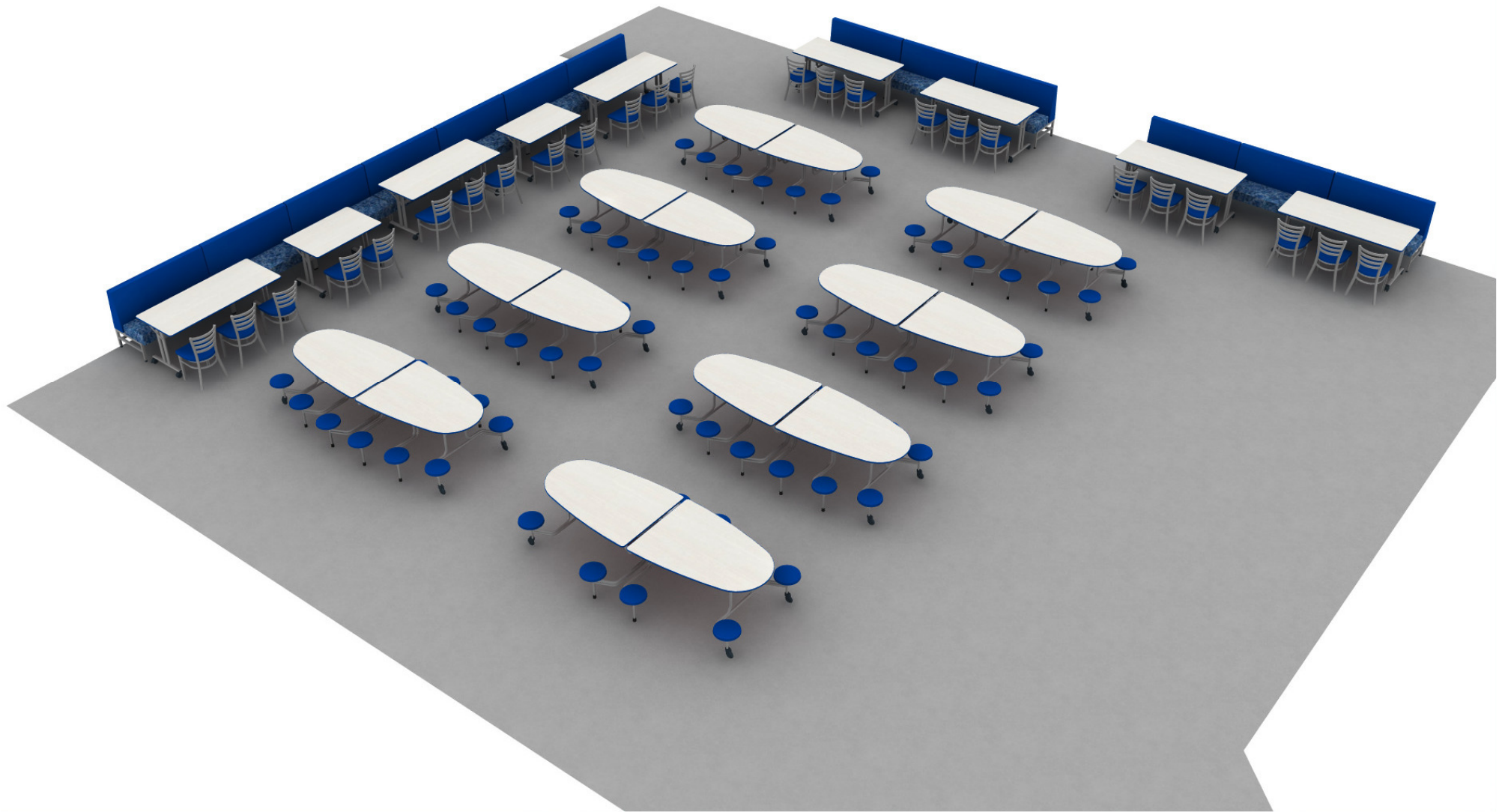
North Elementary School

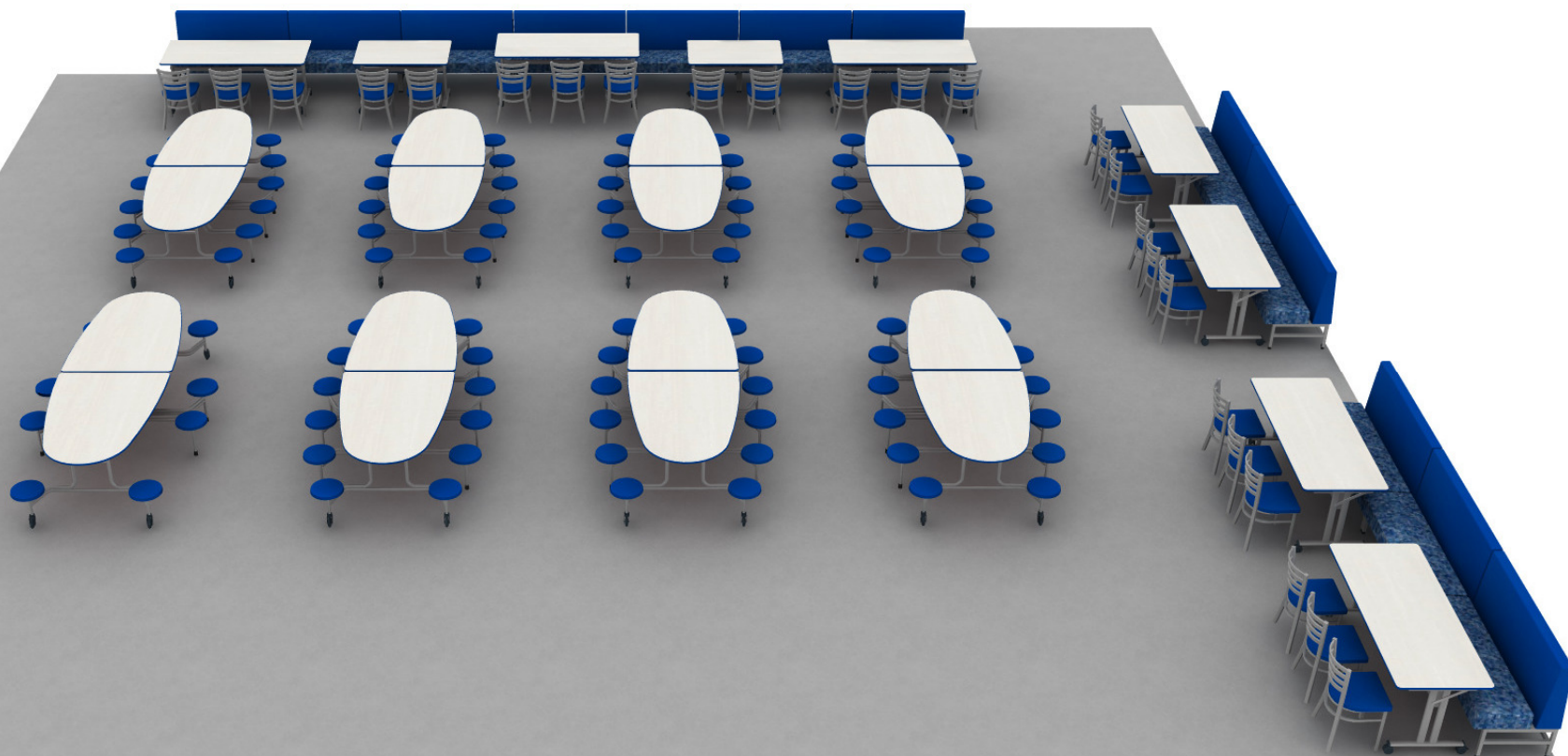
Furniture Package

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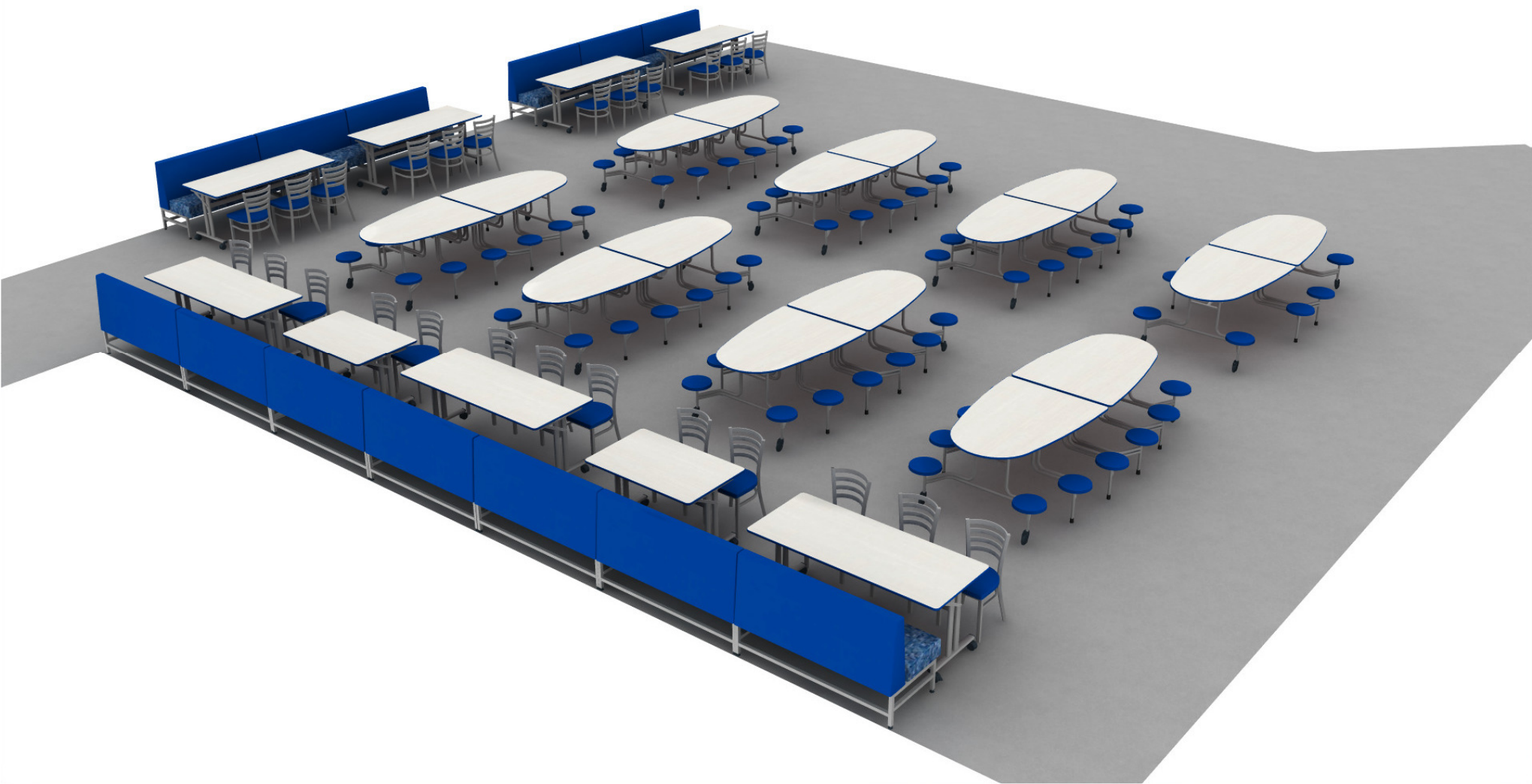


North Elementary School
Lansing, MI





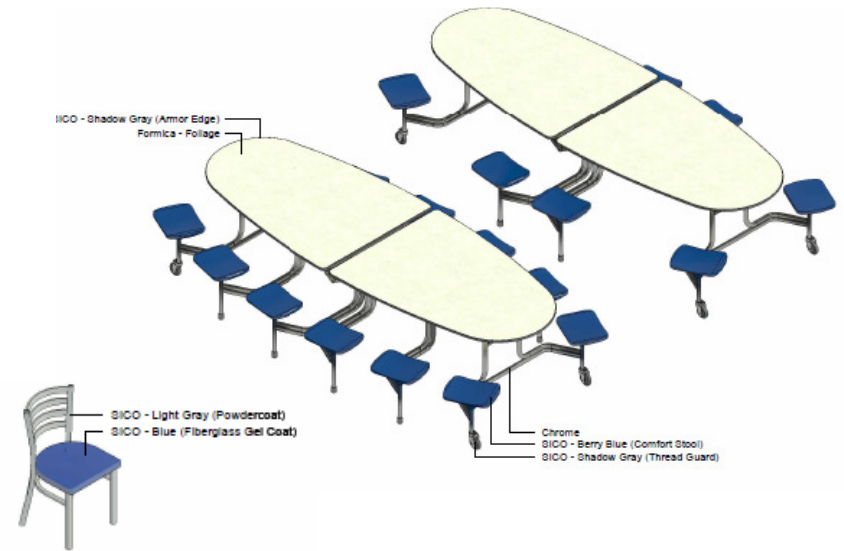




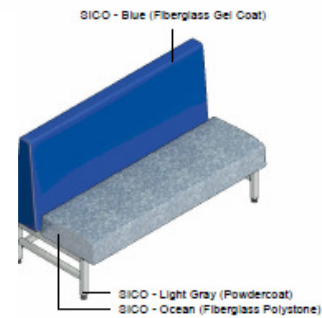
North Elementary School

Qty	Mfg	Part Number	Part Description
13	SICO	EDBO11-C3-GG	Mankato 58"L Single Booth with Fiberglass Back
			Standard Finish Options
25	SICO	EDCS11-C18	Horizon 18"Slat Back chair
			Standard Finish Options
7	SICO	TTQ61D	Communicator 30"Height table with 12 Stools
			Standard Finish Options
1	SICO	TTS61G	Communicator 30"Height table with 8 Stools with 4 wheel chairs
			Standard Finish Options
2	SICO	TUD31WQG	30"D x 48"W x 29"H Rectangular Multi-App II Table
			Standard Finish Options
7	SICO	TUD31WQI	30"D x 72"W x 29"H Rectangular Multi-App II Table
			Standard Finish Options

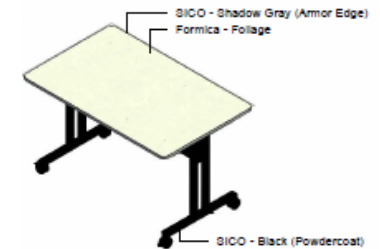
Note: Finishes shown are for example only.
Final standard finish selections TBD.



Horizon Slat Back Chair



Mankato Single Booth



MultiApp IIS (TYP)

LSD North Addendum No. 1

Narrative of Changes

Project Name:	NORTH ELEMENTARY SO-1844	Date:	January 13, 2026
Project Location:	33 E MILLER RD	Architect's Project #:	25013752A
Owner/Client:	LANSING SCHOOL DISTRICT	Attention:	Max Griffith
Issued to:	LAUX CONSTRUCTION	Email:	max@lauxconstruction.com
City/State:	LANSING, MI	Zip:	48911

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This Addendum revises the Contract Documents and shall have the same force and effect; make the following changes to the Specifications and Drawings for this project. The following is a written summary of the changes made by this Addendum. Strict attention should be given to the Drawings and Specifications for area take-off, quantities and items deleted or revised herein. This addendum forms a part of the Contract Documents.

Issued by CED by:	Courtney Norris	Date Signed:	01/13/26
Prepared by:	Courtney Norris	Date Signed:	01/13/26
Distribution:	Refer to Newforma transmittal.		

Below is a list of the changes made to our documents in response to the comments, RFIs, or clarifications provided prior to Bid. Please feel free to reach out with any further questions or clarifications in a timely manner.

Sincerely,
Courtney Norris

RFI Responses:

- Q: Looking at the new out for bid documents compared to the most recent North project completed in 2021 by Centennial, there is already emergency lighting meeting current code within the cafeteria. This emergency lighting is fed from the emergency generator system and not battery packs. The fixtures in the cafeteria could be eliminated to save cost.
- A: See attached updated electrical drawings removing appropriate emergency lighting.
- Q: Hardware Set #02 is for a pair of doors but only has 1 hinge, No flush bolts, No lockset and only 1 closer. Please verify this hardware set is complete and accurate.
- A: See attached updated hardware specifications on A002.
- Q: Hardware set #04 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also, there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.
- A: See attached updated hardware specifications on A002.
- Q: Hardware set #05 is a new fire rated door in an existing frame – This set calls out for a concealed overhead stop that the existing frame is probably not prepped for. Also there is no smoke seal listed for this opening. Please verify this hardware set is complete and accurate.
- A: See attached updated hardware specifications on A002.
- Q: I don't see in the plans any lighting controls in the drawings for the new bathroom lights. Will those be ceiling occupancy sensors, or wall switches? And if it is wall switches, what style of switch will be required?
- A: See attached updated electrical drawings for added lighting controls.
- Q: The asbestos survey provided only shows flooring materials where tested. Do you have sampling results for the other materials being impacted by this project, i.e. ceiling tile, ceramic cove in the bathrooms, fire-doors on room 205, plaster/drywall walls in the observation room?
- A: There is an AHERA Management Book on site that can be reviewed at any time. Please consider these items to be asbestos containing until proven otherwise.

Substitution Requests:

- Plumbing Fixtures
 - *Specified Product:* Kohler Plumbing Fixtures
 - *Substitution:* Zurn Plumbing Fixtures
 - *Reason:* Requesting Zurn to be considered equal to the specified fixtures on Plan Page P101.
 - *Decision:* **Acceptable**

Drawing Modifications:

- **G000 – COVER SHEET (Reissued)**
 - Revised SO number.
- **G001 – CODE REVIEW (Reissued)**
 - Revised SO number in the title block.
- **G002 – SAFETY PLAN (Reissued)**
 - Removed 20-minute door between cafeteria and classroom 217.
 - Revised SO number in the title block.
- **G003 – GENERAL REQUIREMENTS (Reissued)**
 - Revised SO number in the title block.
- **A001 – GENERAL NOTES (Reissued)**
 - Revised SO number in the title block.
- **A002 – SPECIFICATIONS (Reissued)**
 - Revised SO number in the title block.
 - Revised hardware specifications.
- **AD101 – FIRST FLOOR DEMO AND REFLECTED CEILING PLAN (Reissued)**
 - Revised SO number in the title block.
 - Door to from cafeteria to classroom 217 to be completely removed. Demo note revised to keynote 23.
 - Added demo keynote 24 to remove existing carpeting in observation room.
 - Revised keynote C7 for tectum panels to remain. No painting.
- **A102 – FIRST FLOOR PLAN (Reissued)**
 - Revised SO number in the title block.
 - Removed abatement note from cafeteria 200 as abatement has already been completed.
 - Removed door into classroom 217 and added keynote 8.
 - Removed door 217A from door schedule.

- Revised keynote 8 to include batt insulation and to match existing paint.
 - Added keynote 12 to repair/ patch spalling masonry around door frame before painting.
 - Added keynote 13 regarding repairing control joints in concrete floor before epoxy install per manufacturer recommendations.
 - Revised existing floor control joints.
 - Added keynote 14 to caulk corners of masonry before painting, typical.
- **A121 – FIRST FLOOR REFELCETED CEILING PLAN & DETAILS (Reissued)**
 - Revised SO number in the title block.
 - Revised keynote 1 to include painting of existing grid as base bid. Alternate #1 to provide new grid.
- **A421 – INTERIOR ELEVATIONS (Reissued)**
 - Revised SO number in the title block.
- **A422 – INTERIOR ELEVATIONS (Reissued)**
 - Revised SO number in the title block.
 - Removed painting of tectum panels in elevations.
 - Removed door into classroom 217 and revised elevation to show infill.
 - Revised elevation tags.
- **A501 – FIRST FLOOR FINISH SHCEUDLE (Reissued)**
 - Revised SO number in the title block.
 - Added EP-1 floor and base into cafeteria 200.
 - Existing mural to remain on south and west walls of cafeteria 200. Any repair or infill to existing wall will need to be repainted to match existing mural.
 - Added ACP-3 for painting existing grid as base bid and providing alternate for replacing grid.
 - Revised grid on ACP-1. Base bid: Paint existing grid. Alternate #1: Replace grid.
 - Added note to infill observation area with flooring to match existing VCT. Provide allowance of \$300 for material cost.
 - Added general note to provide moisture testing on flooring prior to install of any flooring finishes. Ensure readings are within manufacture recommended tolerances.
- **P101 – FLOOR PLAN PLUMBING**
 - Revised SO number in the title block.
 - Updated plumbing general notes to clarify scoping of pipes.
- **M101 – FLOOR PLAN MECHANICAL**
 - Revised SO number in the title block.
 - Updated D-1 to be 24"x48" Diffuser
 - Updated G-1 to be 24"x24" Grille

- **E1.00 – DETAILS, SYMBOL LEGEND AND SPECIFICATIONS**
 - Revised SO number in the title block.
- **E2.00 – ONE-LINE DIAGRAM**
 - Revised SO number in the title block.
- **ED101 FLOOR PLAN – DEMOLITION**
 - Revised SO number in the title block.
 - Removed lights and associated control in the Observation room.
 - Remove existing conduit and receptacles for refrigerators.
- **EL101 FLOOR PLAN – LIGHTING**
 - Revised SO number in the title block.
 - Added occupancy sensors in existing restrooms.
 - Revised location of new surface mounted emergency lights in storage areas where panels are located.
 - Removed emergency lighting from cafeteria. Maintain existing.
 - Added general note 4 regarding emergency lighting.
- **EP101 FLOOR PLAN – POWER**
 - Revised SO number in the title block.
 - Removed existing receptacles on the west wall.
 - Added notes to replace all existing receptacles in area of work and replace them with new gray tamper proof devices. Replace the cover plates with stainless steel.

Attachments:

Signed Substitution Request Form for Plumbing Fixtures

North Elementary School, Furniture Package

Drawings:

G000, G001, G002, G003, A001, A002, AD101, A102, A121, A421, A422, A501, P101, M101, E1.00, E2.00, ED101, EL101, EP101

END OF ADDENDUM NO. 1



NORTH ELEMENTARY SCHOOL


SO-1844

333 E MILLER RD, LANSING,
MI 48911


NORTH ELEMENTARY (INTERIOR RENOVATION)

11/18/2025


PROJECT CONTACT LIST




OWNER:
- LANSING SCHOOL DISTRICT
- 519 W KALAMAZOO LANSING, MI
- CONTACT: TODD COE
- PHONE: 517-755-3818



ARCHITECT:
- COLLIERS ENGINEERING & DESIGN
- 560 5TH ST, SUITE 305 GRAND RAPIDS, MI
- CONTACT: BUDDY HUYLER
- PHONE: 616-848-6969

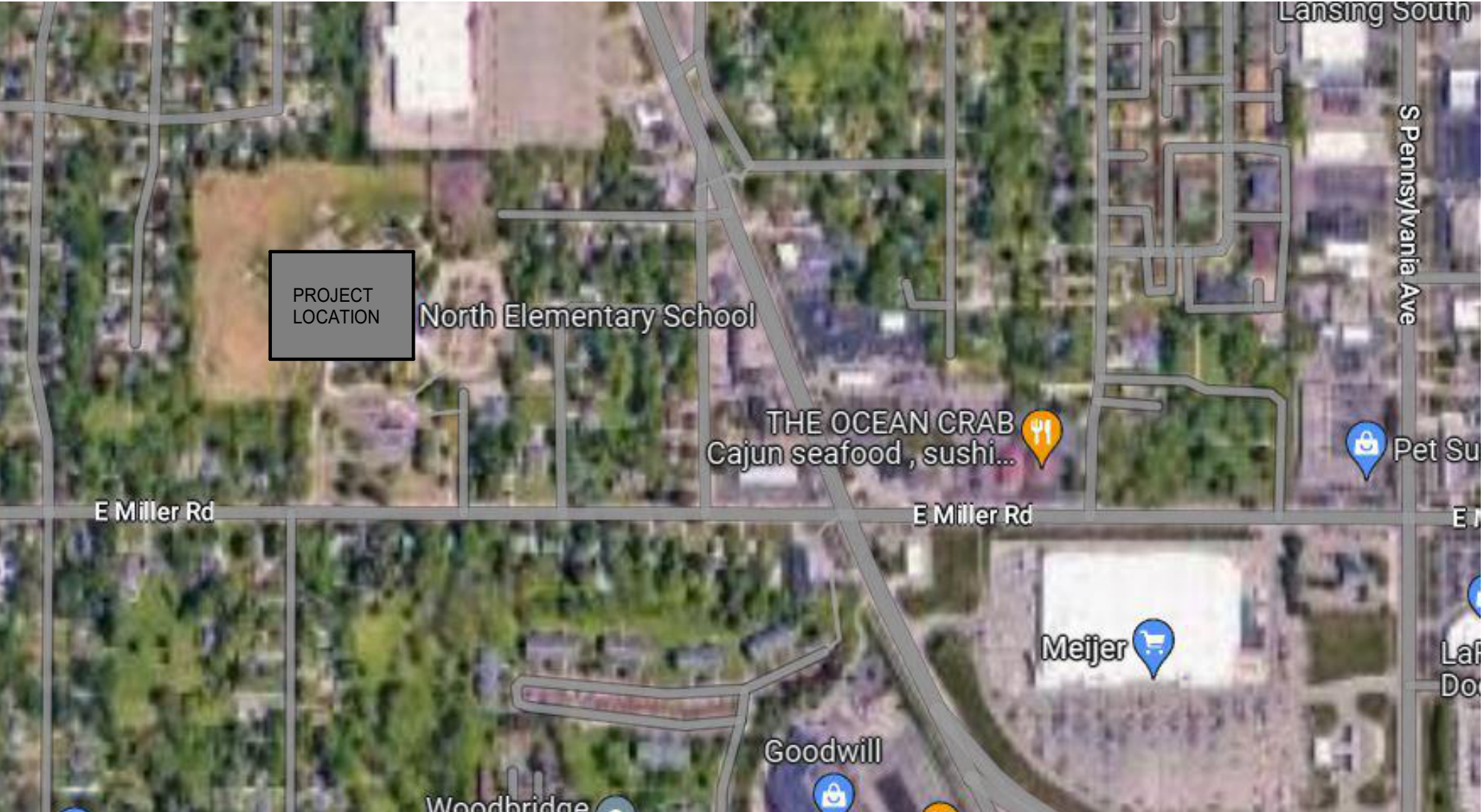


CONTRACTOR:
- LAUX CONSTRUCTION
- 1018 HOGSBACK RD LANSING, MI
- CONTACT: BRIAN STIEBE
- PHONE: 517-694-0117



MECHANICAL & ELECTRICAL ENGINEER:
- CLASSIC ENGINEERING, LLC
- 100 GRANDVILLE, SUITE 400 GRAND RAPIDS, MI
- CONTACT: LARRY WOOD & CINDY LADEWIG

PROJECT LOCATION MAP



DRAWING INDEX

- 00 - GENERAL
G001 CODE REVIEW
G002 SAFETY PLAN
G003 GENERAL REQUIREMENTS
- 04 - ARCHITECTURAL
A001 GENERAL NOTES AND LEGENDS
A002 SPECIFICATIONS
AD101 FIRST FLOOR DEMO AND REFLECTED CEILING PLAN
A102 FIRST FLOOR PLAN
A121 FIRST FLOOR REFLECTED CEILING PLAN & DETAILS
A421 INTERIOR ELEVATIONS
A422 INTERIOR ELEVATIONS
A501 FIRST FLOOR FINISH SCHEDULE
- 05 - MECHANICAL
P101 FLOOR PLAN PLUMBING
M101 FLOOR PLAN MECHANICAL
- 08 - ELECTRICAL
E1.00 DETAILS, SYMBOL LEGEND AND SPECIFICATIONS
E2.00 ONE-LINE DIAGRAM
ED101 FLOOR PLAN - DEMOLITION
EL101 FLOOR PLAN - LIGHTING
EP101 FLOOR PLAN - POWER

CODE SUMMARY

PROJECT SCOPE
THE PROJECT SCOPE WILL CONSIST OF RENOVATING EXISTING CAFETERIA SERVING GRADES K-8 AND KITCHEN, AND RESTROOMS AT THE NORTH ELEMENTARY SCHOOL.

APPLICABLE BUILDING CODES

BUILDING CODE: 2021 MICHIGAN BUILDING CODE
2021 MICHIGAN REHABILITATION CODE

BUILDING CODE (MI FIRE SAFETY STATE RULES): 2016 SCHOOL FIRE SAFETY RULES, CHAPTER 14
NFPA 101, LIFE SAFETY CODE, 2012 EDITION

MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE
PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE
ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE
2023 MICHIGAN PART 8, ELECTRICAL CODE RULES

BUILDING DATA

TOTAL BUILDING AREA: 60,223 SQ FT
TOTAL RENOVATION AREA: **3,331 SQ FT**
CONSTRUCTION TYPE= **II-B NON-COMBUSTIBLE NON-SPRINKLERED LEVEL 2 - (CHAPTER 8)**

ALTERATIONS:

USE AND OCCUPANCY

BUILDING IS CLASSIFIED AS "E" EDUCATIONAL
"S-1" STORAGE
"A-2" ASSEMBLY
USES: "E" EDUCATIONAL - CAFETERIA RENOVATION

DATE	DESCRIPTION
11/18/2025	BIDS & PERMITS
01/13/2025	ADDENDUM #1



DRAWING NUMBER

G000

NFPA 101 Life Safety Code – 2012**Chapter 6 – Classification of Occupancy and Hazard of Contents****6.1.3 Educational Occupancy** – See Chapters 15 for requirements (*Woodreck Elementary is an Educational use*)

- Educational Occupancy – Buildings or portions of buildings used for educational purposes through the twelfth grade by 6 or more persons for 4 or more hours per day or more than 12 hours per week.

Chapter 7 – Means of Egress**Definitions**

- Accessible Means of Egress** (3.3.170.1) – A means of egress that provides an accessible route to an area of refuge, a horizontal exit, or public way.

7.1.3.1 – Exit Access Corridors – Corridors used as exit access and serving more than 30 occupants shall be separated by walls having a 1-hour rating.

- Exception – Existing buildings, provided the occupancy classification hasn't changed. (*We will employ this exception for Building A – the walls were built as school 1-hour walls*)

7.1.5 – Headroom

- Headroom shall not be less than 7ft 6in., with projections from the ceiling not less than 6ft 8in. above the floor.
- Existing buildings, the ceiling height shall be not less than 7ft from the floor, with projections from the ceiling not less than 6ft 8in. nominal above the floor.

7.2.1 – Door Openings**7.2.1.2.1 – Measurement of Clear Width.**

- Projections not more than 4in. into the door opening with on the hinge side shall not be considered reductions in clear width, provided that such projections are for purposes of accommodating panic hardware or fire exit hardware and not less than 34in., and not more than 48in., above the floor.

7.2.1.2.2 – Measurement of Egress Capacity Width.**7.2.1.2.2.1 – Swinging Door Assemblies**

- For new door assemblies, clear measurement shall be taken with the leaf open 90 degrees, existing door assemblies in full open position.
- Projections of not more than 3 ½ in. at each side of the door openings at a height of not more than 38in. shall not be considered reductions in egress capacity width.

7.2.1.2.3 – Minimum Door Leaf Width

- Door openings in a means of egress shall be not less than 32 inches in clear width.
- 7.2.1.2.3.2 – Where a pair of door leaves is provided, one door leaf shall provide not less than a 32 in. (810 mm) clear width opening.
- In existing buildings, the existing door leaf width shall be not less than 28 in.

7.2.1.4 – Swing and Force to Open.

- 7.2.1.4.1 – Any door assembly in a means of egress shall be of the side-hinged or pivoted-swing type.
- 7.2.1.4.2 – Door Leaf Swing Direction – must swing in direction of egress where serving an occupant load of 50 or more.
- 7.2.1.4.3 – Door Leaf Encroachment
- 7.2.1.4.3.1 – During its swing, any door leaf in a means of egress shall not leave less than half of required width of aisle, corridor, passageway, landing unobstructed and shall not protrude more than 7 inches into required width when fully open.
- 7.2.1.4.5.1 – Forces required to fully open any door leaf manually in a means of egress shall not exceed 15 lbf to release the latch, 30 lbf to set the leaf in motion, and 15 lbf to open the leaf to the minimum required width.
- The opening forces for interior side-hinged or pivoted-swinging door leaves without closers shall not exceed 5 lbf.
- The opening forces for existing door leaves in existing buildings shall not exceed 50 lbf applied to the latch stile.

7.2.4 – Horizontal Exits**7.2.4.3 – Fire Barriers** – 2-hour fire resistance rating.**7.3.1 – Occupant Load**

7.3.1.1.2 – For other than existing means of egress, where more than one means of egress is required, the means of egress shall be of such width and capacity that the loss of any one means of egress leaves available not less than 50 percent of the required capacity.

7.3.3.1 – Capacity Factors (Table 7.3.3.1)

- Stairways: 0.3 inches per person
- Level Components and Rooms: 0.2 inches per person
- 7.4.1.2 – Minimum number of means of egress
- 500-1000 – not less than 3
- Over 1000 – not less than 4

- 7.5.1.3.1 – Where more than one exit is required, they shall be located remotely from each other and shall be arranged to minimize the possibility that both could be blocked.
- 7.5.1.3.2 – Where two exits are required, they must be separated by one half of the diagonal of the room
- 7.5.1.6 – Exit access from rooms or spaces shall be permitted to be through adjoining or intervening rooms or areas, provided that such rooms or areas are accessory to the area served.
- 7.7.1.1 – Exit Termination – All exits shall terminate directly at a public way or an exterior exit discharge.
- 7.12.1 – Mechanical equipment rooms, boiler rooms, furnace rooms shall be arranged to limit common path of travel to 50 feet.

Chapter 8 – Features of Fire Protection**8.2 – Construction and Compartmentation**

8.2.2.2 – Fire compartments shall be formed with fire barriers that comply with Section 8.3 – Fire Barriers.

8.3 – Fire Barriers

8.3.1.2 – Fire barriers shall comply with one of the following:

- The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, or a combination thereof, including continuity through all concealed spaces, such as those found above a ceiling, including interstitial spaces.
- The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, and from the floor to the bottom of the interstitial space, provided that the construction assembly forming the bottom of the interstitial space has a fire resistance rating not less than that of the fire barrier.

8.3.1.3 – Walls used as fire barriers shall comply with Chapter 7 of NFPA 221, Standard for High Challenge Fire Walls, Fire Walls, and Fire Barrier Walls. The NFPA 221 limitation on percentage width of openings shall not apply.

8.3.2.1.1 – Fire resistance-rated glazing tested in accordance with ASTM E 119, Standard Test Methods for Fire Tests of Building Construction and Materials, or ANSI/UL 263, Standard for Fire Tests of Building Construction and Materials, shall be permitted.

8.3.3.1 – Windows must be installed per NFPA 80

8.3.3.5 – Fire Protection-rated glazing shall be permitted in fire barriers having a rating of 1 hour or less.

8.3.3.11 – The area of the fire barrier in which they are used.

8.3.4.2 – **Opening Protectives** (Table 8.3.4.2 – Minimum Fire Protection Ratings for Opening Protectives in Fire Resistance-Rated Assemblies)

- 2-hour fire barrier; 1.5-hour opening protection rating
- 1-hour fire barrier; 1-hour protection for vertical opening or exit enclosure; ¾ hour for openings other than vertical exit enclosures

8.3.5.1 – **Firestop Systems and Devices Required.** Penetrations for cables, cable trays, conduits, pipes, tubes, combustion vents and exhaust vents, wires, and similar items to accommodate electrical, mechanical, plumbing, and communications systems that pass through a wall, floor, or floor/ceiling assembly constructed as a fire barrier shall be protected by a firestop system or device. The firestop system or device shall be tested in accordance with ASTM E 814.

8.3.5.6.3 – Where walls or partitions are required to have a minimum 1-hour fire resistance rating, recessed fixtures shall be installed in the wall or partition in such a manner that the required fire resistance is not reduced, unless one of the following is met

- Any steel electrical box not exceeding 0.1 sq ft shall be permitted where the aggregate area of the openings provided for the boxes does not exceed 0.7 sq ft in any 100 sq ft of wall area, and, where outlet boxes are installed on opposite sides of the wall, the boxes shall be separated by one of the following:
 - Horizontal distance of not less than 24 in.
 - Horizontal distance of not less than the depth of the wall cavity, where the wall cavity is filled with cellulose loose-fill, rock wool, or slag wool insulation
 - Solid fire blocking
 - Other listed materials and methods
- Membrane penetrations for any listed electrical outlet box made of any material shall be permitted, provided that such boxes have been tested for use in fire resistance-rated assemblies and are installed in accordance with the instructions included in the listing.
- The annular space created by the membrane penetration of a fire sprinkler shall be permitted, provided that the space is covered by a metal escutcheon plate.

8.3.6 – Joints.

8.3.6.1 – The provisions of 8.3.6 shall govern the materials and methods of construction used to protect joints in between and at the perimeter of fire barriers or, where fire barriers meet other fire barriers, the floor or roof deck above, or the outside walls.

Chapter 10 – Interior Finish, Contents, and Furnishings

10.2.3.4 – Interior wall and ceiling products are required to be tested per NFPA 286:

- Class A; flame spread 0-25; smoke development 0-450
- Class B; flame spread 26-75; smoke development 0-450
- Class C; flame spread 76-200; smoke development 0-450

10.2.4.1 – Textile materials having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler system.

10.2.4.2 – Expanded vinyl wall coverings having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler system

10.2.7.3 – Interior floor finishes per NFPA 253

- Class 1; critical radiant flux minimum of 0.45W/sq cm
- Class 2; critical radiant flux minimum of 0.22W/sq cm

10.3.1 – Draperies, curtains or other loosely hanging furnishings must be flame resistant per NFPA 701

10.3.2.1 – Upholstered furniture shall be resistant to a cigarette ignition per NFPA 260 & 261.

Chapter 14 – New Educational Occupancies (this will apply to the area of alterations)

14.1.6 – Minimum Construction Requirements – No requirements.

14.1.7.1 – Occupant Load (Table 7.3.1.2)

- Classrooms; 1 person per 20 nsf
- 14.2.2.2.2 – Door hardware – provide panic hardware for loads of 100 or more
- 14.2.3.2 – **Minimum Corridor Width.** Exit access corridors shall have not less than 6 ft of clear width.
- 14.2.5.1 – Arrangement of Means of Egress – per Section 7.5.
 - No common path of travel to exceed 75 ft. (building not protected throughout with automatic sprinkler system), 100 ft. (buildings fully protected)
 - No dead end corridors to exceed 20 ft. (building not protected throughout with automatic sprinkler system), 50 ft. (buildings fully protected)

14.2.5.4 – Every room with more than 50 persons or space larger than 1,000 sq ft. to have two exits.

14.2.6.2 – Travel distance – not to exceed 150 feet

14.3.1 – Protection of Vertical Openings – per Section 8.6

Unprotected vertical openings in accordance with 8.6.9.1.

14.3.2.1 – Protection from Hazards

- Rooms or spaces for the storage, processing, or use of materials shall be protected in accordance with the following:
 - Such rooms or spaces shall be separated from the remainder of the building by fire barriers having a minimum 1-hour fire resistance rating in the following areas:
 - Boiler and furnace rooms, unless such rooms enclose only air-handling equipment
 - Rooms or spaces used for the storage of combustible supplies in quantities deemed hazardous by the authority having jurisdiction
 - Rooms or spaces used for the storage of hazardous materials or flammable or combustible liquids in quantities deemed hazardous by recognized standards
 - Janitor closets

14.3.3.2 – Interior Wall and Ceiling Finish.

- Exits – Class A
- Other than exits – Class A or Class B
- Low-height partitions not exceeding 60 in. and used in locations other than exits – Class A, Class B, or Class C

14.3.3.3.2 – Interior floor finish in exit enclosures and exit access corridors and spaces not separated from them by walls complying with 14.3.6 shall be not less than Class II

14.3.6 – Corridors – 1-hour fire resistance rated

14.3.7.1 – Subdivision of Building Spaces.

- 14.3.7.1.1 – Educational occupancies shall be subdivided into compartments by smoke partitions having not less than a 1-hour fire resistance rating and complying with Section 8.4 where one or both of the following conditions exist:
 - The maximum floor area, including the aggregate area of all floors having a common atmosphere, exceeds 30,000 sq ft.
 - The length or width of the building exceeds 300 ft.

Chapter 15 – Existing Educational Occupancies

15.1.6 – Minimum Construction Requirements – No requirements.

15.1.7 – Occupant Load (per Table 7.3.1.2)

- Classrooms; 1 person per 20 nsf
- Shops, labs, vocational rooms; 50 nsf
- Assembly (Existing Media Center / Existing Multi-purpose Room); 15 nsf
- 15.2.2.2.2 – **Door hardware** – provide panic hardware for loads of 100 or more
- 15.2.3.2 – **Minimum Corridor Width.** Exit access corridors shall have not less than 6 ft of clear width.
- 15.2.5.1 – Arrangement of Means of Egress – per Section 7.5.
 - No common path of travel to exceed 75 feet
 - No dead end corridors to exceed 20 feet

15.2.5.4 – Every room with more than 50 persons or 1,000 sq ft. to have two exits.

15.2.6.2 – Travel distance – not to exceed 150 feet

15.2.11.1 – Windows for Rescue.

- 15.2.11.1.1 – Every room or space greater than 250 sq. ft. and used for classroom or other educational purposes or normally subject to student occupancy shall have not less than one outside window for emergency rescue that complies with all of the following, unless otherwise permitted by 15.2.11.1.2:
 - Such windows shall be operable from the inside without the use of tools and shall provide a clear opening of not less than 20 in. in width, 24 in. in height, and 5.7 sq. ft. in area.
 - The bottom of the opening shall be not more than 44 in. above the floor, and any latching device shall be capable of being operated from not more than 54 in. above the finished floor.
 - The clear opening shall allow a rectangular solid, with a width and height that provides not less than the required 5.7 sq. ft. opening and a depth of not less than 20 in., to pass fully through the opening.

15.2.11.1.2 – The requirements of 15.2.11.1 shall not apply to any of the following:

- Where the room or space has a door leading directly to an exit or directly to the outside of the building
- Where the room has a door, in addition to the door that leads to the exit access corridor as required by 15.2.5.5, and such door leads directly to another corridor located in a compartment separated from the compartment housing the corridor addressed in 15.2.5.5 by smoke partitions in accordance with Section 8.4.

15.3.3.2 – Interior Wall and Ceiling Finish.

- Exits – Class A
- Corridors and lobbies – Class A or Class B
- Low-height partitions not exceeding 60 in. and used in locations other than exits – Class A, Class B, or Class C

15.3.6 – Corridors – ½ hour fire resistant rated in accordance with Section 8.3 (Fire Barriers)

15.3.7 – Subdivision of Building Spaces.

- 15.3.7.1 – Educational occupancies shall be subdivided into compartments by smoke partitions having not less than a 1-hour fire resistance rating and complying with Section 8.4 where one or both of the following conditions exist:
 - The maximum area of a compartment, including the aggregate area of all floors having a common atmosphere, exceeds 30,000 sq ft.
 - The length or width of the building exceeds 300 ft.

15.7.4 – Furnishings and Decorations.

- 15.7.4.1 – Draperies, curtains, and other similar furnishings and decorations in educational occupancies shall be in accordance with the provisions of 10.3.1.
- 15.7.4.2 – Clothing and personal effects shall not be stored in corridors, unless otherwise permitted by one of the following:
 - This requirement shall not apply to corridor areas protected by a smoke detection system in accordance with Section 9.6.
 - This requirement shall not apply to storage in metal lockers, provided that the required egress width is maintained.

15.7.4.3 – Artwork and teaching materials shall be permitted to be attached directly to the walls in accordance with the following:

- The artwork and teaching materials shall not exceed 20 percent of the wall area in a building that is not protected throughout by an approved automatic sprinkler system in accordance with Section 9.7.

Chapter 43 – Building Rehabilitation**43.2.2 – Special Definitions.**

43.2.2.1 – **Categories of Rehabilitation Work.** The nature and extent of rehabilitation work undertaken in an existing building.

43.2.2.1.1 – **Repair.** The patching, restoration, or painting of materials, elements, equipment, or fixtures for the purpose of maintaining such materials, elements, equipment, or fixtures in good or sound condition.

43.2.2.1.2 – **Renovation.** The replacement in kind, strengthening, or upgrading of building elements, materials, equipment, or fixtures, that does not result in the reconfiguration of the building spaces within 43.2.2.1.3 Modification. The reconfiguration of any space; the addition, relocation, or elimination of any door or window; the addition or elimination of load-bearing elements; the reconfiguration or extension of any system; or the installation of any additional equipment

43.2.2.1.4 – **Reconstruction.** The reconfiguration of a space that affects an exit or a corridor shared by more than one occupant space; or the reconfiguration of a space such that the rehabilitation work area is not permitted to be occupied because existing means of egress and fire protection systems, or their equivalent, are not in place or continuously maintained.

43.2.2.2 – **Equipment or Fixture.** Any plumbing, heating, electrical, ventilating, air-conditioning, refrigerating, and fire protection equipment; and elevators, dumbwaiters, escalators, boilers, pressure vessels, or other mechanical facilities or installations related to building services.

43.2.2.3 – **Load-Bearing Element.** Any column, girder, beam, joist, truss, rafter, wall, floor, or roof sheathing that supports any vertical load in addition to its own weight, or any lateral load.

43.5 – Modifications.

43.5.1.3 – Newly constructed elements, components, and systems shall comply with the requirements of other sections of this Code applicable to new construction.

Department of Licensing and Regulatory Affairs State Fire Safety Board New and Existing School, College, and University Fire Safety – Michigan Amendments

14.2.11.1.1. The school or designated representative shall ensure every room or space which is more than 250 square feet and which is used for classroom or other educational purposes or is normally subject to student occupancy shall have not less than 1 outside window for emergency rescue or ventilation that complies with the following unless otherwise permitted by section 14.2.11.1.2:

- The windows shall be operable from the inside without the use of tools, only held closed by a single operation lock, and shall provide a clear opening of not less than 20 inches in width, 24 inches (61 centimeters) in height, and 5.7 square feet (0.5 square meters) in area. A screen on the window shall be readily removable without any special knowledge or tools.
 - The bottom of the opening shall be not more than 44 inches above the floor, and any latching device shall be capable of being operated from not more than 54 inches (1370 mm) above the finished floor.
 - The clear opening shall allow a rectangular solid, with a width and height that provides not less than the required 5.7 square feet (0.5 square meters) opening and a depth of not less than 20 inches (510 millimeters), to pass fully through the opening.
 - The windows shall be accessible by the fire department and shall open into an area that has access to a public way. Windows opening onto an open court, as defined in the code, are acceptable.
 - The windows shall be identified by a permanent durable and legible sign having letters that are not less than 5/8 of an inch high and 1/8 of an inch wide. The sign shall read "rescue window."
- 14.2.11.1.3. Windowless student occupied rooms in additions to existing buildings or renovated buildings shall be permitted where it is impractical to comply with section 14.2.11.1.1 where all of the following:
- A minimum of 50% of the required exits pass into a separate atmosphere created by a minimum 2-hour fire rated barrier with labeled 90-minute fire rated door assemblies in all openings. Glazing, other than permitted in the door by NFPA 80, shall be permitted only if the glazing has been tested for a 2-hour rating as well. The fire barrier shall completely separate the building from exterior wall to exterior wall.
 - Each separate area shall have approved exiting pursuant to the code.
 - A maximum of 25% of the total area of the student occupied rooms in the building shall be permitted to be windowless.

2021 Michigan Rehabilitation Code for Existing Buildings

Chapter 4 – Repairs (*Chapter 4 provides requirements for repairs of existing buildings. The provisions define conditions under which repairs may be made using materials and methods like those of the original construction or the extent to which repairs must comply with requirements for new buildings.*)

401 – General

401.1 – Scope – Repairs shall comply with the requirements of this chapter. Repairs to historic buildings need only comply with Chapter 12.

401.2 – Compliance – The work shall not make the building less complying than it was before the repair was undertaken.

402 – Building Elements and Materials

402.1 – Glazing in Hazardous Locations – Replacement glazing in hazardous locations shall comply with the safety glazing requirements of the *International Building Code* or *International Residential Code* as applicable.

Exception – Glass block walls, louvered windows and jalousies repaired with like materials.

403 – Fire Protection

403.1 – General – Repairs shall be done in a manner that maintains the level of fire protection provided.

404 – Means of Egress

403.1 – General – Repairs shall be done in a manner that maintains the level of protection provided for the means of egress.

Chapter 5 – Prescriptive Compliance Method (*Chapter 5 provides details for the prescriptive compliance method—one of the three main options of compliance available in this code for buildings and structures undergoing alteration, addition or change of occupancy.*)

501.1.1 – Compliance with other method. Alterations, additions and change of occupancy of existing buildings and structures shall comply with the provisions of this chapter or with one of the methods provided in Section 301.3.

501.2 – Fire-resistance ratings – Where approved by the code official, in buildings where an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 of the *International Building Code*.

502 – Additions

502.1 – General – Additions to any building or structure shall comply with the requirements of the *International Building Code* for new construction. Alterations to the existing building or structure shall be made to ensure that the existing building or structure together with the addition are not less complying with the provisions of the *International Building Code* than the existing building or structure was prior to the addition.

503 – Alterations

503.1 – General – Alterations to any building or structure shall comply with the requirements of the *International Building Code* for new construction. Alterations shall be such that the existing building or structure is not less complying with the provisions of the *International Building Code* than the existing building or structure was prior to the alteration.

503.3 – Existing structural elements carrying gravity load – Any existing gravity load-carrying structural element for which an alteration causes an increase in design dead, live or snow load, including snow drift effects, of more than 5 percent shall be replaced or altered as needed to carry the gravity loads required by the *International Building Code* for new structures.

Chapter 6 – Classification of Work (*Chapter 6 provides an overview of the Work Area Method available as an option for rehabilitation of a building. The chapter defines the different classifications of alterations and provides general requirements for alterations, change of occupancy, additions and historic buildings. Detailed requirements for all of these are found in Chapters 7 through 12.*)

601 – General

601.1 – Scope – The provisions of this chapter shall be used in conjunction with Chapters 7 through 12 and shall apply to the alteration, addition and change of occupancy of existing structures, including historic and moved structures, as referenced in Section 301.3.2. The work performed on an existing building shall be classified in accordance with this chapter.

601.2 – Compliance with other alternatives – Alterations, additions and changes of occupancy to existing structures shall comply with the provisions of Chapters 7 through 12 or with one of the alternatives provided in Section 301.3.

601.2 – Work area – The work area, as defined in Chapter 2, shall be identified on the construction documents.

602 – Alteration – Level 1

602.1 – Scope – Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment or fixtures using new materials, elements, equipment or fixtures that serve the same purpose.

602.2 – Application – Level 1 alterations shall comply with the provisions of Chapter 7.

603 – Alteration – Level 2

603.1 – Scope – Level 2 alterations include the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment, and shall apply where the work area is equal to or less than 50 percent of the building area.

Exception – The movement or addition of nonfixed and movable fixtures, cases, racks, counters and partitions not over 5 feet 9 inches (1753 mm) in height shall not be considered a Level 2 alteration.

603.2 – Application – Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

Chapter 7 – Alterations – Level 1 (*Chapter 7 provides the technical requirements for those existing buildings that undergo Level 1 alterations as described in Section 603, which includes replacement or covering of existing materials, elements, equipment or fixtures using new materials for the same purpose. This chapter, similar to other chapters of this code, covers all building-related subjects, such as structural, mechanical, plumbing, electrical and accessibility as well as the fire and life safety issues when the alterations are classified as Level 1. The purpose of this chapter is to provide detailed requirements and provisions to identify the required improvements in the existing building elements and building structural system. This chapter is distinguished from Chapters 8 and 9 by involving only replacement of building components with new components. In contrast, Level 2 alterations involve more space reconfiguration, and Level 3 alterations involve more extensive space reconfiguration, exceeding 50 percent of the building area.)*

701 – General

701.1 – Scope – Level 1 alterations as described in Section 602 shall comply with the requirements of this chapter. Level 1 alterations to historic buildings shall comply with this chapter, except as modified in Chapter 12.

701.2 – Conformance – An existing building or portion thereof shall not be altered such that the building becomes less safe than its existing condition.

Exception – Where the current level of safety or sanitation is proposed to be reduced, the portion altered shall conform to the requirements of the *International Building Code*.

702 – Building Elements and Materials

702.1 – Interior finishes – Newly installed interior wall and ceiling finishes shall comply with Chapter 8 of the *International Building Code*.

702.2 – Interior floor finish – New interior floor finish, including new carpeting used as an interior floor finish material, shall comply with Section 804 of the *International Building Code*.

702.3 – Interior trim – Newly installed interior trim materials shall comply with Section 806 of the *International Building Code*.

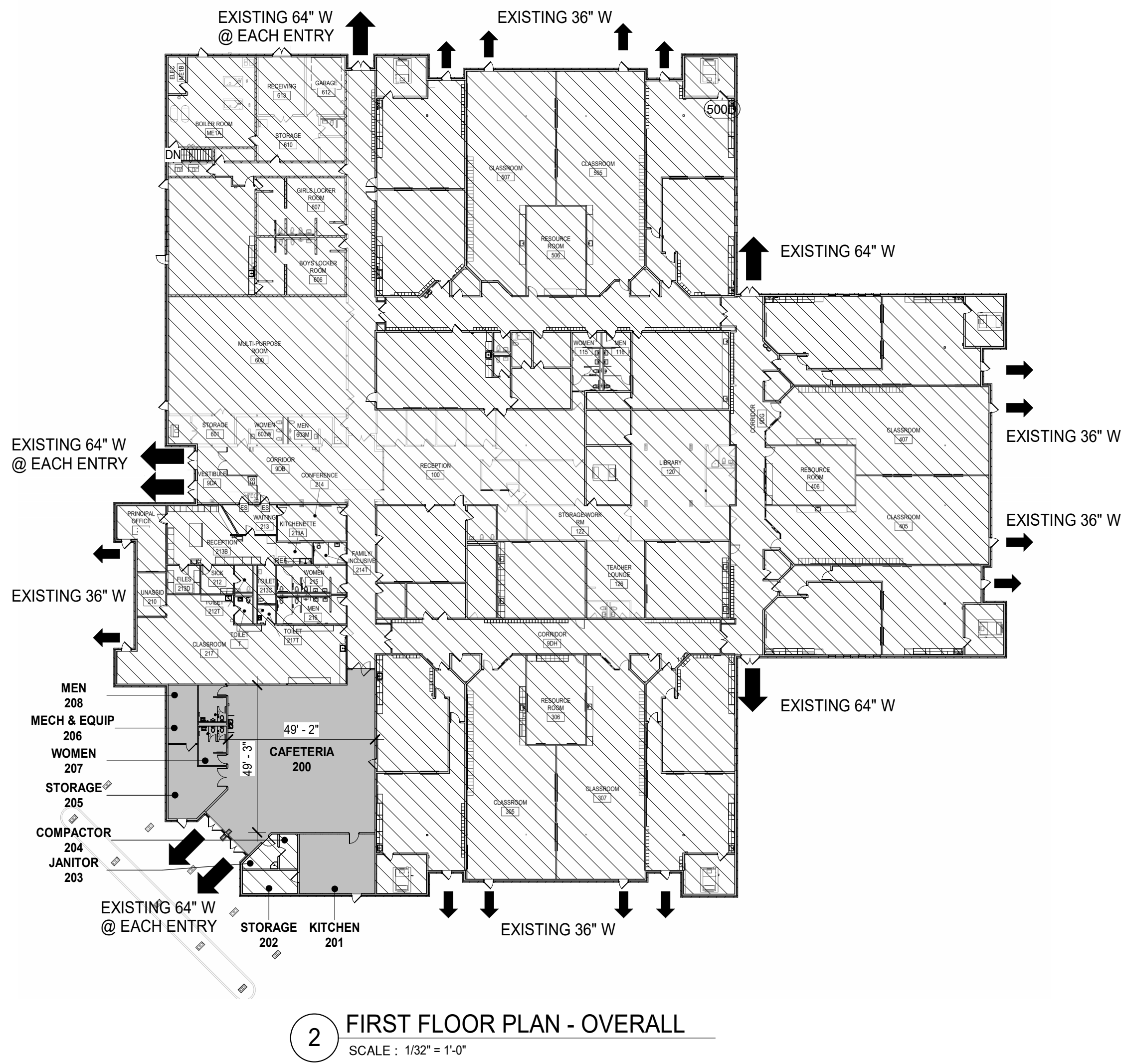
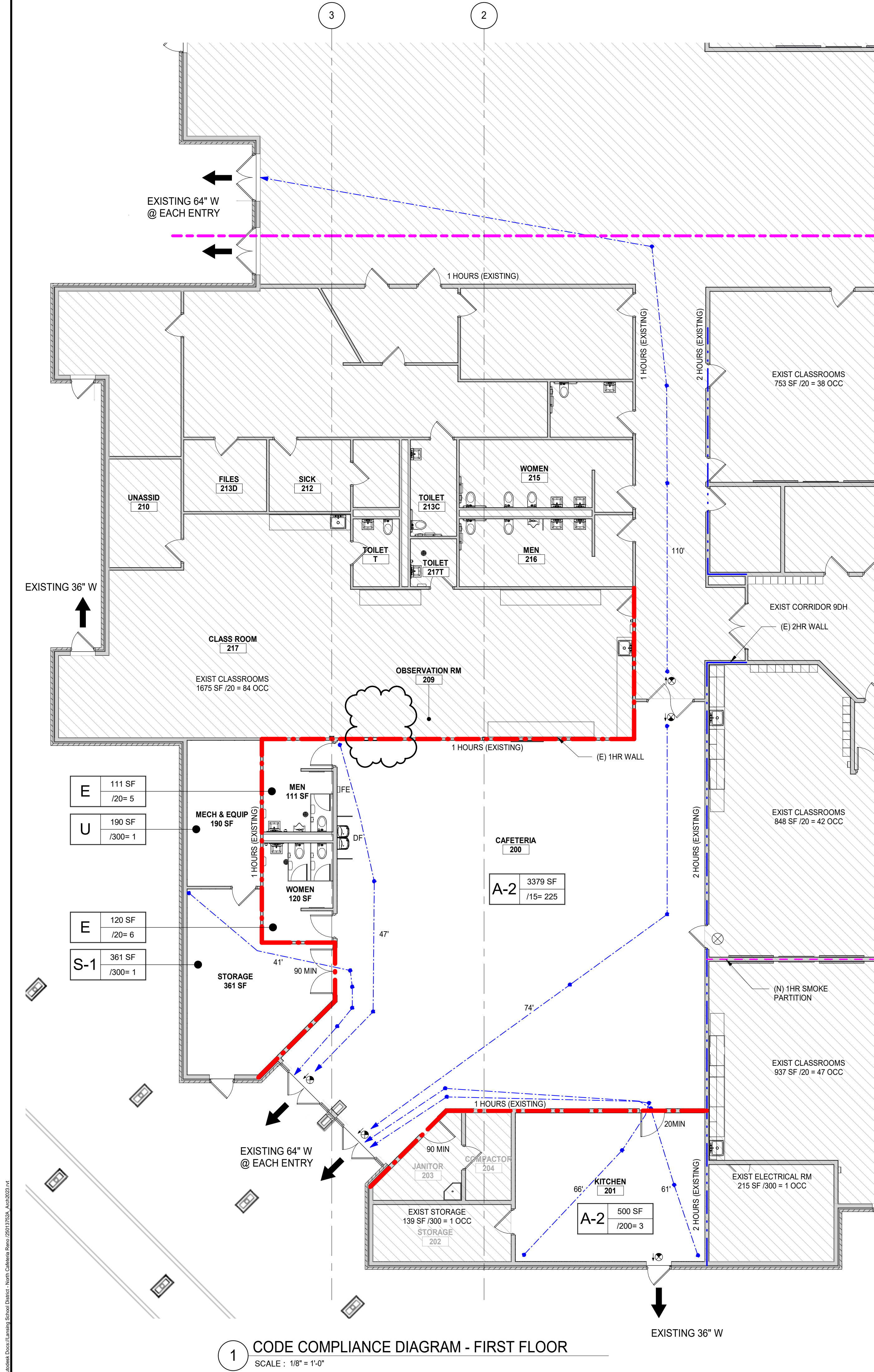
703.1 – Fire Protection

703.1 – General – Alterations shall be done in a manner that maintains the level of fire protection provided.

704 – Means of Egress

704.1 – General – Alterations shall be done in a manner that maintains the level of protection provided for the means of egress.

704.1.1 – Projections in nursing home corridors – In Group I-2, Condition 1 occupancies, where the corridor is at least 96 inches (2438 mm



CODE SUMMARY BUILDING DATA - 2021 MICHIGAN BUILDING CODE

OCCUPANCY CLASSIFICATION: (CHAPTERS 3 & 5)
☐ SINGLE
☒ MIXED OCCUPANCY ☒ SEPARATED ☐ NON-SEPARATED ☐ COMBINATION
IF SEPARATED, FIRE RESISTANCE RATING OF FIRE BARRIER (TABLE 608.3.3): 2 HR
OCCUPANCY CLASSIFICATION(S): E EDUCATIONAL, B BUSINESS, S-1 STORAGE
USES: SCHOOL - E, OFFICES - B, S-1 STORAGE

CONSTRUCTION CLASSIFICATION: (CHAPTER 6) II B - MBC & II(000) - NFPA 101
AUTOMATIC SPRINKLER SYSTEM PROVIDED: ☐ YES ☒ NO
NFPA STANDARD: ☐ 13 ☐ 13R

REHABILITATION OF EXISTING STRUCTURE:
PER THE MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
☐ REPAIRS (CHAPTER 5)
☐ ALTERATION - LEVEL 1 (CHAPTER 6)
☒ ALTERATION - LEVEL 2 (CHAPTER 7)
☐ ALTERATION - LEVEL 3 (CHAPTER 8)

HEIGHT & AREA - ACTUAL: (CHAPTER 5)
BUILDING HEIGHT: 22' - 6" ft 1
BUILDING AREA SUMMARY: BUILDING AREA 60,223 sf AREA OF ALTERATION 3,331 sf

MEANS OF EGRESS: (CHAPTER 10)
DESIGN OCCUPANT LOAD SUMMARY

USE GROUP	OCCUPANCY
E EDUCATIONAL	8
S STORAGE	4
A ASSEMBLY	228
U UTILITY	1
TOTAL	241

MEANS OF EGRESS ELEMENT	REQUIRED	PROVIDED	SECTION
NUMBER OF EXITS	4	24	(TABLE 1006.3.2)
COMMON PATH OF TRAVEL LIMIT	75 FT	EXISTING	(1006.2.1)
EXIT ACCESS TRAVEL DISTANCE	200 FT	EXISTING	(TABLE 1017.2)
CORRIDOR FIRE-RESIST. RATING	1 HR	1 HR	(TABLE 1020.1)
DEAD-END LIMIT	20 FT	NO DEAD ENDS	(1020.4)

EGRESS WIDTH	REQUIRED	PROVIDED	SECTION
DOORS/OTHER	0.2 X 241 OCCUPANTS = 48.2"	SEE PLAN	(TABLE 1005.3.2)
FIRST FLOOR			
CORRIDORS	44" MIN (USE GROUP E < 100 OCC)	72" MIN	(1007.1.1) (1020.2)
FIRST FLOOR			

PLUMBING FIXTURE REQUIREMENTS:										(MPC - CHAPTER 4)			
OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS			URINALS		D.F.		LAVATORIES				
		REQUIRED	PROVIDED	WOMEN	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	
E - EDUCATIONAL	697	7	10	7	10	0	4	7	7	7	8	7	8

SEPARATE FACILITIES FOR EACH GENDER REQUIRED? ☒ YES ☐ NO (P403.2)
EXC. #
SEPARATE EMPLOYEE FACILITIES REQUIRED? ☐ YES ☒ NO (P403.2)
EXC. #
LOCATION OF EMPLOYEE FACILITIES COMPLIES? ☒ YES ☐ NO (P403.3.2)
EXC. #
LOCATION OF PUBLIC FACILITIES COMPLIES? ☒ YES ☐ NO (P403.3.2)
EXC. #
OTHER PLUMBING FIXTURE REQUIREMENTS? NA

GENERAL NOTES

- APPLICABLE CODES:
A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
B. CONSTRUCTION SHALL CONFORM TO CURRENT EDITIONS OF THE NFPA 101 LIFE SAFETY CODE: 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 36, SUBPART D), 2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-2009), AS WELL AS WITH OTHER LOCAL, STATE AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.
- COMPLIANCE:
A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
B. OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.
- CERTIFICATIONS:
A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.

LEGEND

	OCCUPANCY GROUP
	S.F.
	# OCCUPANTS
	EXIT SIGN
	EXIT
	COMMON PATH OF EGRESS DISTANCE
	EXIT ACCESS TRAVEL DISTANCE (ALONG STAIRWAY NOSING AT OPEN STAIRWAYS)
	FIRE EXTINGUISHER ON WALL BRACKET
	FIRE EXTINGUISHER CABINET
	ELECTRICAL WATER COOLER
	1-HR RATED WALL
	2-HR RATED WALL

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Formerly Known as **BERGMANN**

811
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Key Plan

NORTH ELEMENTARY SCHOOL SO-1844
FOR
Lansing School District

333 E MILLER RD
LANSING, MI 48911

Colliers Engineering & Design
GRAND RAPIDS
560 5th St. NW
Suite 305
Grand Rapids, MI 49504
Phone: 616.827.4270

SCALE: AS SHOWN DATE: 11/18/2025 DRAWN BY: S KHUMALO CHECKED BY: B HUYLER
PROJECT NUMBER: 25013752A DRAWING NAME: REVIEWED BY: Approver
SHEET TITLE: SAFETY PLAN
SHEET NUMBER: G002

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

ALLOWANCES

- UNIT PRICES

- ## ALTERNATES

- ## SUBSTITUTION PROCEDURES

- SUBMITTAL REQUIREMENTS:**

- A. PREPARE SUBMITTAL SCHEDULE: SUBMIT, AS AN ACTION SUBMITTAL, A LIST OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME REQUIRED FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS NOTED BY ARCHITECT AND CONTRACTOR OR **CONSTRUCTION MANAGER** AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.
- B. PREPARE AND SUBMIT SUBMITTALS AS INCLUDED IN THE SUBMITTAL SCHEDULED.
- C. EMAIL: PREPARE SUBMITTALS AS PDF PACKAGE AND TRANSMIT TO ARCHITECT BY SENDING VIA EMAIL. INCLUDE PDF TRANSMITTAL FORM. INCLUDE INFORMATION IN EMAIL SUBJECT LINE AS REQUESTED BY ARCHITECT.
- D. WEB-BASED PROJECT MANAGEMENT SOFTWARE: PREPARE SUBMITTALS IN PDF FORM, AND UPLOAD TO WEB-BASED PROJECT MANAGEMENT SOFTWARE WEBSITE. ENTER REQUIRED DATA IN WEB-BASED SOFTWARE SITE TO FULLY IDENTIFY SUBMITTAL.
- E. ACTION SUBMITTALS AND INFORMATIONAL SUBMITTALS: REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT.
- F. USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S AND CONTRACTOR'S OR **CONSTRUCTION MANAGER'S** ACTION STAMP.
- G. SUBMITTAL INFORMATION: INCLUDE THE FOLLOWING INFORMATION IN EACH SUBMITTAL:
 1. PROJECT NAME, DATE AND INDICATION OF FULL OR PARTIAL SUBMITTAL.
 2. ARCHITECT'S AND CONTRACTOR'S AND/OR CONSTRUCTION MANAGER'S, FIRM OR ENTITY THAT PREPARED SUBMITTAL AND SUBCONTRACTOR, MANUFACTURER, AND SUPPLIER NAMES.
 3. NUMBER AND TITLE OF SPECIFICATION SECTION, WITH PARAGRAPH NUMBER AND GENERIC NAME FOR EACH OF MULTIPLE ITEMS
 4. MATERIAL OR SYSTEM NAME AND DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE.
 5. IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.
 6. LOCATION(S) WHERE PRODUCT IS TO BE INSTALLED, AS APPROPRIATE AND OTHER NECESSARY INFORMATION.
 7. ON EACH SUBMITTAL, CLEARLY INDICATE DEVIATIONS FROM REQUIREMENTS IN THE CONTRACT DOCUMENTS, INCLUDING MINOR VARIATIONS AND LUGS, LUGS, RELEVANT ADDITIONAL INFORMATION AND REVISIONS OTHER THAN THOSE REQUESTED BY ARCHITECT AND CONTRACTOR OR **CONSTRUCTION MANAGER** ON PREVIOUS SUBMITTALS. INDICATE BY HIGHLIGHTING ON EACH SUBMITTAL OR NOTING ON ATTACHED SEPARATE SHEET.
- H. INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.
- I. ARCHITECT'S ACTION: ARCHITECT WILL REVIEW INFORMATION OR DOCUMENTATION NOTIFY CONTRACTOR OF ACCEPTANCE REQUEST FOR MORE INFORMATION OR REJECTION WITHIN 14 DAYS OF RECEIPT. ARCHITECT WILL REVIEW RESUBMITTAL WITHIN 7 DAYS OF RECEIPT.
- J. SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS WILL BE RETURNED BY ARCHITECT WITHOUT ACTION.

QUALITY REQUIREMENTS:

- CONFLICTING STANDARDS AND OTHER REQUIREMENTS; IF COMPLIANCE WITH TWO OR MORE STANDARDS OR REQUIREMENTS IS SPECIFIED AND THE STANDARDS OR REQUIREMENTS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, INFORM THE ARCHITECT REGARDING THE CONFLICT AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. REFER CONFLICTING REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- B. PREPARE AND SUBMIT CERTIFIED WRITTEN REPORTS REQUIRED. INCLUDE THE FOLLOWING:
1. PROJECT TITLE AND NUMBER AND DATE OF ISSUE. RECORD OF TEMPERATURE AND WEATHER CONDITIONS AT TIME OF SAMPLE TAKING AND TESTING AND INSPECTION. NAME AND SIGNATURE OF LABORATORY INSPECTOR.
 2. NAME, ADDRESS, TELEPHONE NUMBER, AND EMAIL ADDRESS OF TESTING AGENCY
 3. DATES AND LOCATIONS OF SAMPLES AND TESTS OR INSPECTIONS.
 4. TEST AND INSPECTION RESULTS AND AN INTERPRETATION OF TEST RESULTS. COMMENTS OR PROFESSIONAL OPINION ON WHETHER TESTED OR INSPECTED WORK COMPLIES WITH THE CONTRACT DOCUMENT REQUIREMENTS. RECOMMENDATIONS ON RETESTING AND REINSPECTING.
- C. MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING PRODUCTS OR SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS, AS APPLICABLE. PROCURE PRODUCTS FROM MANUFACTURERS ABLE TO MEET QUALIFICATION REQUIREMENTS, WARRANTY REQUIREMENTS, AND TECHNICAL OR FACTORY-AUTHORIZED SERVICE REPRESENTATIVE REQUIREMENTS.
- D. FABRICATOR QUALIFICATIONS: A FIRM EXPERIENCED IN PRODUCING PRODUCTS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS.
- E. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLYING, OR ASSEMBLING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- F. TESTING AND INSPECTING AGENCY QUALIFICATIONS: AN NRTL, AN NVLAP, OR AN INDEPENDENT AGENCY WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT TESTING AND INSPECTION INDICATED, AS DOCUMENTED ACCORDING TO **[ASTM E339] <INSERT STANDARD>** AND WITH ADDITIONAL QUALIFICATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS; AND, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION, THAT IS ACCEPTABLE TO AUTHORITIES.
- G. PRECONSTRUCTION TESTING: WHERE TESTING AGENCY IS INDICATED TO PERFORM PRECONSTRUCTION TESTING FOR COMPLIANCE WITH SPECIFIED REQUIREMENTS FOR PERFORMANCE AND TEST METHODS, COMPLY WITH THE FOLLOWING:
1. CONTRACTOR RESPONSIBILITIES INCLUDE THE FOLLOWING: PROVIDE TEST SPECIMENS REPRESENTATIVE OF PROPOSED PRODUCTS AND CONSTRUCTION. SUBMIT SPECIMENS IN A TIMELY MANNER WITH SUFFICIENT TIME FOR TESTING AND ANALYZING RESULTS TO PREVENT DELAYING THE WORK. WHEN TESTING IS COMPLETE, REMOVE TEST SPECIMENS AND TEST ASSEMBLIES, **AND** MOCKUPS UNLESS NOTED OTHERWISE; DO NOT REUSE PRODUCTS ON PROJECT.
 2. TESTING AGENCY RESPONSIBILITIES: SUBMIT A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-ASSURANCE SERVICE TO ARCHITECT, CONTRACTOR OR **CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY**. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM THE CONTRACT DOCUMENTS.
- H. MOCKUPS: BEFORE INSTALLING PORTIONS OF THE WORK REQUIRING MOCKUPS, BUILD MOCKUPS FOR EACH FORM OF CONSTRUCTION AND FINISH REQUIRED TO COMPLY WITH THE FOLLOWING REQUIREMENTS, USING MATERIALS INDICATED FOR THE COMPLETED WORK, TO SIZE AND LOCATION INDICATED. DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. NOTIFY ARCHITECT, CONTRACTOR AND **CONSTRUCTION MANAGER 7 DAYS** IN ADVANCE OF DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED AND ALLOW 7 DAYS FOR REVIEW AND APPROVAL. OBTAIN THE APPROVAL FROM ARCHITECT, CONTRACTOR AND **CONSTRUCTION MANAGER** BEFORE STARTING CORRESPONDING WORK. FABRICATOR OR CONSTRUCTION MANAGER MAINTAIN MOCKUPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. DEMOLISH AND REMOVE MOCKUPS WHEN DIRECTED UNLESS OTHERWISE INDICATED.
- I. QUALITY CONTROL:
1. CONTRACTOR RESPONSIBILITIES: TESTS AND INSPECTIONS ARE CONTRACTOR'S RESPONSIBILITY. PERFORM ADDITIONAL QUALITY-CONTROL ACTIVITIES, WHETHER SPECIFIED OR NOT, TO VERIFY AND DOCUMENT THAT THE WORK COMPLIES WITH REQUIREMENTS. ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM QUALITY-CONTROL SERVICES. NOTIFY TESTING AGENCIES AT LEAST **[72] HOURS** IN ADVANCE OF TIME WHEN WORK THAT REQUIRES TESTING OR INSPECTION WILL BE PERFORMED. COOPERATE WITH AGENCIES AND REPRESENTATIVES PERFORMING REQUIRED TESTS, INSPECTIONS, AND SIMILAR QUALITY-CONTROL SERVICES, AND PROVIDE REASONABLE AUXILIARY SERVICES AS REQUESTED.
 2. TESTING AGENCY RESPONSIBILITIES: COOPERATE WITH ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** IN PERFORMANCE OF DUTIES. PROVIDE QUALIFIED PERSONNEL TO PERFORM REQUIRED TESTS AND INSPECTIONS. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM REQUIREMENTS. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
 3. CONTRACTOR AND TESTING AGENCY SHALL COORDINATE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED QUALITY-ASSURANCE AND QUALITY-CONTROL SERVICES WITH A MINIMUM OF DELAY AND TO AVOID NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE TESTING AND INSPECTION.
- J. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED **TESTING AGENCY OR SPECIAL INSPECTOR** TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS FOLLOWS:
1. VERIFYING THAT MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY-CONTROL PROCEDURES AND REVIEWING THE COMPLETENESS AND ADEQUACY OF THOSE PROCEDURES TO PERFORM THE WORK.
 2. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
 3. SUBMITTING A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-CONTROL SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** WITH COPY TO CONTRACTOR AND TO AUTHORITIES HAVING JURISDICTION. SUBMIT A FINAL REPORT OF SPECIAL TESTS AND INSPECTIONS AT SUBSTANTIAL COMPLETION, WHICH INCLUDES A LIST OF UNRESOLVED DEFICIENCIES.
 4. RETESTING AND REINSPECTING CORRECTED WORK.

CONSTRUCTION WASTE MANAGEMENT:

- A. DEVELOP A WASTE MANAGEMENT PLAN AND SUBMIT PLAN FOR APPROVAL WITHIN 14 DAYS OF DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK.
- B. DISTRIBUTE AND IMPLEMENT APPROVED WASTE MANAGEMENT PLAN, PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
- C. TRAIN WORKERS, SUBCONTRACTORS, AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK.
- D. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR SEPARATING MATERIALS THAT ARE TO BE SALVAGED AND RECYCLED.

CLOSEOUT PROCEDURES:

- A. CONTRACTOR'S LIST OF INCOMPLETE ITEMS: PREPARE AND SUBMIT A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (CONTRACTOR'S "PUNCH LIST"), INDICATING THE VALUE OF EACH ITEM ON THE LIST AND REASONS WHY THE WORK IS INCOMPLETE.
- B. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: COMPLETE THE FOLLOWING A MINIMUM OF 10 DAYS PRIOR TO REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION.
1. **SUBMIT A FINAL APPLICATION FOR PAYMENT.**
 2. CERTIFICATE OF INSURANCE: SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE.
 3. CERTIFIED LIST OF INCOMPLETE ITEMS: SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.
 4. CERTIFICATES OF RELEASE: OBTAIN AND SUBMIT RELEASES FROM AUTHORITIES HAVING JURISDICTION, PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
 5. SUBMIT CLOSEOUT SUBMITTALS AS REQUIRED, INCLUDING SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
 6. SUBMIT MAINTENANCE MATERIAL SUBMITTALS SPECIFIED IN INDIVIDUAL SECTIONS, INCLUDING TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS, AND DELIVER TO LOCATION DESIGNATED BY OWNER OR OWNER'S AGENT. LABEL WITH MANUFACTURER'S NAME AND MODEL NUMBER.
 7. SUBMIT TESTING, ADJUSTING, AND BALANCING RECORDS.
 8. SUBMIT CHANGEORDER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.
 9. **ALL CLOSE OUT DOCUMENTS TO BE SUBMITTED TO OWNER BY SINGLE THUMB DRIVE.**

C. FINAL CLEANING

1. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. CLEAN EACH SURFACE OR UNIT TO CONDITION EXPECTED IN AN AVERAGE COMMERCIAL BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
2. USE CLEANING PRODUCTS THAT COMPLY WITH GREEN SEAL'S GS-37, OR IF GS-37 IS NOT APPLICABLE, USE PRODUCTS THAT COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS MAXIMUM ALLOWABLE VOC LEVELS.
3. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
4. VACUUM CARPET AND SIMILAR SOFT SURFACES. REMOVING DEBRIS AND EXCESS NAP; CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IF VISIBLE SOIL OR STAINS REMAIN.
5. CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER NOTICEABLE, VISION-OBSCURING MATERIALS. POLISH MIRRORS AND GLASS, TAKING CARE NOT TO SCRATCH SURFACES.
6. CLEAN PLUMBING FIXTURES TO A SANITARY CONDITION, FREE OF STAINS, INCLUDING STAINS RESULTING FROM WATER EXPOSURE.

OPERATIONS AND MAINTENANCE DATA

- A. SUBMIT EACH MANUAL IN FINAL FORM PRIOR TO REQUESTING INSPECTION FOR SUBSTANTIAL COMPLETION AND AT LEAST 10 DAYS BEFORE COMMENCING DEMONSTRATION AND TRAINING.
- B. CORRECT OR REVISE EACH MANUAL TO COMPLY WITH ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS. SUBMIT COPIES OF EACH CORRECTED MANUAL WITHIN 10 DAYS OF RECEIPT OF ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS AND PRIOR TO COMMENCING DEMONSTRATION AND TRAINING.
- C. SUBMIT ON DIGITAL MEDIA ACCEPTABLE TO ARCHITECT BY UPLOADING TO WEB-BASED PROJECT SOFTWARE SITE OR BY EMAIL TO ARCHITECT, IF WEB-BASED SOFTWARE IS NOT UTILIZED. ENABLE REVIEWER COMMENTS ON DRAFT SUBMITTALS.
1. ELECTRONIC FILES: USE ELECTRONIC FILES PREPARED BY MANUFACTURER WHERE AVAILABLE. WHERE SCANNING OF PAPER DOCUMENTS IS REQUIRED, CONFIGURE SCANNED FILE FOR MINIMUM READABLE FILE SIZE.
 2. BOOKMARK INDIVIDUAL DOCUMENTS BASED ON FILE NAMES. NAME DOCUMENT FILES TO CORRESPOND TO SYSTEM, SUBSYSTEM AND EQUIPMENT NAMES USED IN MANUAL DIRECTORY AND TABLE OF CONTENTS. GROUP DOCUMENTS FOR EACH SYSTEM AND SUBSYSTEM INTO INDIVIDUAL COMPOSITE BOOKMARKED FILES. THEN CREATE COMPOSITE MANUAL, SO THAT RESULTING BOOKMARKS REFLECT THE SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN A READILY NAVIGATED FILE TREE. CONFIGURE ELECTRONIC MANUAL TO DISPLAY BOOKMARK PANEL ON OPENING FILE.
- D. ORGANIZATION OF MANUALS: UNLESS OTHERWISE INDICATED, ORGANIZE EACH MANUAL INTO A SEPARATE SECTION FOR EACH SYSTEM AND SUBSYSTEM, AND A SEPARATE SECTION FOR EACH PIECE OF EQUIPMENT NOT PART OF A SYSTEM. PROVIDE A TITLE PAGE AND TABLE OF CONTENTS.

1. TITLE PAGE SHALL INCLUDE:
 - a. SUBJECT MATTER INCLUDED IN MANUAL.
 - b. DATE OF SUBMITTAL.
 - c. NAME AND CONTACT INFORMATION FOR CONTRACTOR AND CONSTRUCTION MANAGER WHEN APPLICABLE.
 - d. NAME AND CONTACT INFORMATION FOR COMMISSIONING AUTHORITY.
2. EMERGENCY MANUAL: ASSEMBLE A COMPLETE SET OF EMERGENCY INFORMATION INDICATING PROCEDURES FOR USE BY EMERGENCY PERSONNEL AND BY OWNER'S OPERATING PERSONNEL FOR TYPES OF EMERGENCIES INDICATED.
3. SYSTEMS AND EQUIPMENT OPERATION MANUAL: ASSEMBLE A COMPLETE SET OF DATA INDICATING OPERATION OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE INFORMATION REQUIRED FOR DAILY OPERATION AND MANAGEMENT, OPERATING STANDARDS, AND ROUTINE AND SPECIAL OPERATING PROCEDURES.
4. SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS: ASSEMBLE A COMPLETE SET OF DATA INDICATING MAINTENANCE OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE MANUFACTURERS' MAINTENANCE DOCUMENTATION, PREVENTIVE MAINTENANCE PROCEDURES AND FREQUENCY, REPAIR PROCEDURES, WIRING AND SYSTEMS DIAGRAMS, LISTS OF SPARE PARTS, AND WARRANTY INFORMATION.
5. PRODUCT MAINTENANCE MANUAL: ASSEMBLE A COMPLETE SET OF MAINTENANCE DATA INDICATING CARE AND MAINTENANCE OF EACH PRODUCT, MATERIAL, AND FINISH INCORPORATED INTO THE WORK.

PROJECT RECORD DOCUMENTS:

- A. RECORD PRINTS: MAINTAIN ONE SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED.
- B. MAINTAIN ONE COPY OF EACH SUBMITTAL DURING THE CONSTRUCTION PERIOD FOR PROJECT RECORD DOCUMENT PURPOSES. POST CHANGES AND REVISIONS TO PROJECT RECORD DOCUMENTS AS THEY OCCUR. DO NOT WAIT UNTIL END OF PROJECT.
- C. RECORD DIGITAL DATA FILES: IMMEDIATELY BEFORE INSPECTION FOR CERTIFICATE OF SUBSTANTIAL COMPLETION, REVIEW MARKED-UP RECORD DOCUMENTS WITH ARCHITECT, CONTRACTOR AND/OR **CONSTRUCTION MANAGER**, WHEN AUTHORIZED, TO PREPARE A FULL SET OF CORRECTED DIGITAL DATA FILES OF THE CONTRACT DOCUMENTS. SEE OPERATIONS AND MAINTENANCE DATA SECTION ABOVE FOR SUBMISSION FORMAT REQUIREMENTS.

DEMONSTRATION AND TRAINING

- A. FACILITATOR: CONTRACTOR OR CONSTRUCTION MANAGER SHALL PREPARE INSTRUCTION PROGRAM AND TRAINING MODULES, TO COORDINATE INSTRUCTORS, AND TO COORDINATE BETWEEN CONTRACTOR AND OWNER FOR NUMBER OF PARTICIPANTS, INSTRUCTION TIMES, AND LOCATION.
- B. ENGAGE QUALIFIED INSTRUCTORS TO INSTRUCT OWNER'S PERSONNEL TO ADJUST, OPERATE, AND MAINTAIN SYSTEMS, SUBSYSTEMS, AND EQUIPMENT NOT PART OF A SYSTEM.
- C. PROVIDE INSTRUCTION AT MUTUALLY AGREED-ON TIMES. FOR EQUIPMENT THAT REQUIRES SEASONAL OPERATION, PROVIDE SIMILAR INSTRUCTION AT START OF EACH SEASON.
- D. TRAINING LOCATION AND REFERENCE MATERIAL: CONDUCT TRAINING ON-SITE IN THE COMPLETED AND FULLY OPERATIONAL FACILITY USING THE ACTUAL EQUIPMENT IN-PLACE. CONDUCT TRAINING USING FINAL OPERATION AND MAINTENANCE DATA SUBMITTALS.
- E. EVALUATION: AT CONCLUSION OF EACH TRAINING MODULE, ASSESS AND DOCUMENT EACH PARTICIPANT'S MASTERY OF MODULE BY USE A **DEMONSTRATION** PERFORMANCE-BASED TEST.
- F. COLLECT USED AND LEFTOVER EDUCATIONAL MATERIALS AND **GIVE TO OWNER**. REMOVE INSTRUCTIONAL EQUIPMENT. RESTORE SYSTEMS AND EQUIPMENT TO CONDITION EXISTING BEFORE INITIAL TRAINING USE.

DRAWING SYMBOLS

<div>VIEW TITLE</div> <div><div><div>DETAIL NO.</div><div>1</div></div><div><div>View Name</div><div>SCALE : 1/8" = 1'-0"</div></div></div>	<div>DETAIL CALLOUT</div> <div><div>DETAIL NO.</div><div>1</div><div><div>SIM</div><div>A101</div></div></div> <div><div>DRAWING NO.</div><div></div></div>	<div><div>101</div><div>DOOR MARKER</div></div> <div><div>XX</div><div>WINDOW TYPE MARKER</div></div> <div><div>Room name</div><div>101</div><div>ROOM TAG</div></div> <div><div><div>SCHEDULED DOOR</div></div></div> <div><div><div>EXISTING DOOR</div></div></div> <div><div>#</div><div>KEYNOTE</div></div> <div><div>#</div><div>KEYNOTE (REMOVALS)</div></div> <div><div>XX</div><div>EQUIPMENT TAG</div></div> <div><div><div>ELEVATION NOTATION</div></div></div> <div><div>8'-0"</div><div>CEILING HEIGHT</div></div>
<div>SECTION MARKER</div> <div><div><div>VIEWING DIRECTION</div><div>1</div></div><div><div>DETAIL NO.</div><div>A101</div></div><div><div>DRAWING NO.</div><div></div></div></div>	<div>ELEVATION MARKER</div> <div><div>Ref 1</div><div>ELEVATION NO.</div><div>A000</div></div> <div><div>DRAWING NO.</div><div></div></div> <div><div>Ref 1</div><div>A101</div></div>	
<div>DETAIL SECTION</div> <div><div><div>VIEWING DIRECTION</div><div>1</div></div><div><div>DETAIL NO.</div><div>A101</div></div><div><div>DRAWING NO.</div><div></div></div></div>	<div><div>BREAK MARKER</div><div><div>N</div><div>NORTH ARROW (SHOWN IN KEYPLAN)</div></div></div> <div><div>XXX</div><div>NEW COLUMN ID</div></div> <div><div>XXX</div><div>EXISTING COLUMN ID</div></div>	
<div>ACCESSORY MARKER</div> <div><div>1</div><div></div></div>		

MATERIAL INDICATORS

<div></div>	UNDISTURBED EARTH	<div></div>	STEEL	<div></div>	FINISH WOOD
<div></div>	GRAVEL OR CRUSHED STONE	<div></div>	RIGID INSULATION	<div></div>	BATT INSULATION
<div></div>	CAST STONE	<div></div>	BRICK	<div></div>	WOOD FRAMING (CONTINUOUS)
<div></div>	CONCRETE	<div></div>	PLYWOOD	<div></div>	WOOD BLOCKING (DISCONTIN.)
<div></div>	CONCRETE MASONRY UNIT	<div></div>	SAND OR GYPSUM BOARD	<div></div>	EXISTING

WALL STYLES

<div></div>	EXISTING BRICK WALL	<div></div>	BRICK WALL	<div></div>	EXISTING WALL REMOVAL
<div></div>	EXISTING CMU WALL	<div></div>	CMU WALL		
<div></div>	EXISTING STUD WALL	<div></div>	STUD WALL		

ABBREVIATIONS

* INCHES	LLV LONG LEG VERTICAL
# NUMBER, POUNDS	LMC LINEAR METAL CEILING
& AND	LT LIGHT
' FEET	LTL LINTEL
(E), EXST EXISTING TO REMAIN	LVR LOUVER
(ER) EXISTING TO BE RELOCATED	LVT LUXURY VINYL TILE
(N) NEW WORK	M MAXIMUM
(R) REMOVE	MAX MECHANICAL
(RE) RELOCATED EXISTING	MEZZ MEZZANINE
@ AT	MFR MANUFACTURER
Ø, DIA DIAMETER	MIN MINIMUM
A AIR CONDITIONING	MO MASONRY OPENING
A/C ACOUSTICAL CEILING PANELS	MTD MOUNTED
AESS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	MTL METAL
AFF ABOVE FINISHED FLOOR	N NOT IN CONTRACT
AHJ AUTHORITY HAVING JURISDICTION	NIC NOT TO SCALE
AHU AIR HANDLING UNIT	NTS NOT TO SCALE
ALT ALTERNATE	O ON CENTER
ALUM ALUMINUM	OC OWNER
AOR ARCHITECT OF RECORD	OP/CI PROVIDED/CONTRACTOR
APPROX APPROXIMATE, APPROXIMATELY	INSTALLED
ARCH ARCHITECT, ARCHITECTURAL	OPP OPPOSITE
ATTN ATTENTION	OSB ORIENTED STRAND BOARD
B BOTTOM OF	P PRECAST CONCRETE
BI, BO BOARD	PCF POUNDS PER CUBIC FOOT
BLDG BUILDING	PL PLATE
BLKG BLOCKING	PLF POUNDS PER LINEAR FOOT
BTWN BETWEEN	PLM PLASTIC LAMINATE
C CANTILEVER	PLYWD PLYWOOD
CANT CORNER GUARD	PMEJ PRE MOLDED EXPANSION JOINT
CJ CONTROL JOINT	PMF PRE MOLDED FILLER
CL CENTERLINE	PPF PLASTIC PANELING
CLG CEILING	PSF POUNDS PER SQUARE FOOT
CLR CLEAR	PSI POUNDS PER SQUARE INCH
CM CONSTRUCTION MANAGER	PT PORCELAIN TILE
CMT CERAMIC MOSAIC TILE	PTD PAINTED
CMU CONCRETE MASONRY UNIT	PTWD (PRESSURE) PRESERVATIVE-TREATED WOOD
COL COLUMN	Q QUARRY TILE
CONC CONCRETE	QT QUANTITY
CONT CONTINUOUS	R RISER
CORR CORRIDOR	RB RUBBER BASE
CT CERAMIC TILE	RCP REFLECTED CEILING PLAN
CTB CERAMIC TILE BASE	RD ROOF DRAIN
D DEEP	REBAR REINFORCING BAR
DF DRINKING FOUNTAIN	REINF REINFORCED, REINFORCING, REINFORCEMENT
DIA, Ø DIAMETER	REQD REQUIRED
DIM DIMENSION	REQMTS REQUIREMENTS
DWG, DWGS DRAWING, DRAWINGS	RESIL RESILIENT
E EACH	RF RESILIENT FLOORING
EA EXTERIOR INSULATION FINISH SYSTEM	RM ROOM
ELEV ELEVATION	RO ROUGH OPENING
ELEC ELECTRIC, ELECTRICAL	RTU ROOF TOP UNIT
ELEV ELEVATOR	S SEALED CONCRETE
EXF EPOXY FLOORING	SCHED SCHEDULE
EXP EXPANSION	SCL STRUCTURAL COMPOSITE LUMBER
EXP BT EXPANSION BOLT	SF, SQFT SQUARE FEET
EXT EXTERIOR	SIM SIMILAR
F FLOOR CLEANOUT	SMS SHEET METAL SCREW
FCO FLOOR DRAIN	SOG SLAB ON GRADE / GROUND
FE FIRE EXTINGUISHER	SPCS SPACES
FEC FIRE EXTINGUISHER CABINET	SPEC SPECIFICATION
FFE FINISH FLOOR ELEVATION	SS SOLID SURFACE
FLG FLOORING	SSL SHORT SLOTTED
FLR FLOOR	SST STAINLESS STEEL
FPR FIBER REINFORCED PLASTIC	STC SOUND TRANSMISSION CLASS
FRT FIRE RATED	STD STANDARD
FRT FIRE RETARDANT TREATED	STL STEEL
FT FLOOR TILE	STRUCT STRUCTURAL, STRUCTURE
FT FIRE TREATED	SYS SYSTEM
FTG FOOTING	T TREAD
G GAUGE	T&G TONGUE AND GROOVE
GALV GALVANIZED	TEMP TEMPORARY
GC GENERAL CONTRACTOR	TH THRESHOLD
GRC GLASS-REINFORCED CONCRETE	TL TWIST LOCK
GRG GLASS-REINFORCED GYPSUM	TR TRANSITION
GWB GYPSUM BOARD	Typ TYPICAL
H HOLLOW CORE	U UNLESS NOTED OTHERWISE
HB HOSE BIBB	UPH UPHOLSTERY
HC HOLLOW CORE	UR URINAL
HDR HEADER	V VARIES
HM HOLLOW METAL	VB VINYL BASE
HORIZ HORIZONTAL	VCT VINYL COMPOSITION TILE
HPC HIGH PERFORMANCE COATING	VERT VERTICAL
HW HOT WATER	VEST VESTIBULE
HWD HARDWARE	VIF VERIFY IF FIELD
HWT HOT WATER TANK	VWC VINYL WALL COVERING
I INSIDE DIAMETER	W WIDE, WIDTH
ID INCH OF WATER GAUGE	W WITH
INSUL INSULATION	W/O WITHOUT
INT INTERIOR	WB WOOD BASE
INV INVERT	WC WATER CLOSET
J JANITORS CLOSET	WCV WALL COVERING
JT JOINT	WD WOOD
L LAMINATE	WDT WINDOW TREATMENT
LAV LAVATORY	WF WOOD FLOORING
LBS POUNDS	WOM WALKOFF MAT
LF LINEAR FEET	WP WATERPROOF
LLH LONG LEG HORIZONTAL	WT WALL TILE

GENERAL NOTES:

ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS IN THIS SET
GENERAL

- DEFINITIONS: "PROVIDE" MEANS FURNISH AND INSTALL. SUPPLY LABOR AND MATERIALS TO RESULT IN A FINISHED AND/OR OPERABLE SYSTEM.
- CONTRACTOR RESPONSIBILITIES:
 - MATERIALS, CONSTRUCTION METHODS INCLUDING BUT NOT LIMITED TO LAYOUT, COORDINATION, SCHEDULE AND CONSTRUCTION SITE ACCESS AND WORK.
 - DAILY CLEANING: KEEP SITE FREE FROM WASTE, RUBBISH, AND DEBRIS. REMOVE DAILY. WHEN WORK IS COMPLETE, LEAVE THE PREMISES BROOM CLEAN AND CLEAN FINISHED SURFACES, FIXTURES, GLASS, STOREFRONT, ETC.
 - FINAL CLEANING, PRIOR TO PUNCHLIST INSPECTION BROOM CLEAN ALL HARD SURFACE FLOORS, VACUUM ALL CARPETING AND WIPE DOWN ALL HORIZONTAL AND GLASS SURFACES PROVIDING A DUST FREE SURFACE.
 - TEMPORARY PROTECTION IS REQUIRED TO MAINTAIN ONGOING BUILDING OPERATIONS, EXITING PATHS, DUST CONTROL AND OCCUPANT SAFETY. IDENTIFY THE REQUIREMENTS FOR TEMPORARY PROTECTION AND PROJECT PHASING. COORDINATE WITH OWNER FOR OTHER REQUIREMENTS.
 - COORDINATE STARTUP AND ADJUSTING OF EQUIPMENT AND OPERATING COMPONENTS. START EQUIPMENT AND OPERATING COMPONENTS AND TEST TO CONFIRM PROPER OPERATION AND CONTROL. REMOVE MALFUNCTIONING UNITS, REPLACE WITH NEW UNITS, AND RETEST.
 - CLOSEOUT DOCUMENTS, CERTIFICATE OF RELEASE FROM THE AUTHORITY OF JURISDICTION AND INSURANCE FOR CONTINUING COVERAGE, WARRANTIES, TEST & INSPECTION RESULTS AND OPERATION, EMERGENCY & MAINTENANCE MANUALS, ALL METAL STUD CROSS BRACING IS CONSIDERED DELEGATED DESIGN AND IS THE RESPONSIBILITY OF THE TRADE CONTRACTOR TO PROVIDE SEALED ENGINEERING DRAWINGS.
- EXISTING CONDITIONS: REVIEW EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- CONTRACT DOCUMENTS:
 - PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES ARE COMPLEMENTARY. PLAN DRAWINGS WILL TAKE PRECEDENCE OVER ELEVATION, SECTION AND DETAILS DRAWINGS IN ANY CONFLICTS OF HORIZONTAL DIMENSIONS. DETAIL PLAN DRAWINGS WILL TAKE PRECEDENCE OVER LARGER SCALE PLANS IN ANY CONFLICTS WITH HORIZONTAL DIMENSIONS. WALL AND BUILDING SECTIONS WILL TAKE PRECEDENCE OVER PLAN DRAWING AND DETAILS IN ANY CONFLICTS WITH VERTICAL DIMENSIONS. DETAILS AND WALL SECTIONS WILL TAKE PRECEDENCE OVER ELEVATION AND PLAN DRAWINGS IN ANY CONFLICTS WITH MATERIAL DESCRIPTION. SCHEDULES WILL TAKE PRECEDENCE OVER OTHER ARCHITECTURAL DRAWINGS IN AND CONFLICTS WITH WALL, FLOOR AND CEILING FINISHES AND DOOR, DOOR HARDWARE AND PENESTRATION INFORMATION.
 - DRAWINGS PREPARED BY THE ARCHITECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND, UNLESS OTHERWISE PROVIDED, BERGMANN SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.

FIELD CONDITIONS

- REPAIR: EXISTING SURFACES TO REMAIN IMPACTED BY DEMOLITION TO MATCH EXISTING ADJACENT SURFACES.
- DISCREPANCIES: NOTIFY ARCHITECT OF EXISTING DAMAGED OR DETERIORATED BUILDING ELEMENTS REVEALED DURING DEMOLITION OR CONSTRUCTION PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN THE AREA.
- HAZARDOUS MATERIALS: A PRE-DEMOLITION ASBESTOS SURVEY IS REQUIRED PRIOR TO DEMOLITION OF SUSPECT BUILDING MATERIALS IN ACCORDANCE WITH OSHA 29 DFR 1926.1101, AND USEPA 40 CFR 61.145. A PRE-DEMOLITION ASBESTOS SURVEY IS NOT REQUIRED PER 12 NYCRR 56 FOR BUILDINGS OR STRUCTURES FOR WHICH THE ORIGINAL CONSTRUCTION COMMENCED ON OR AFTER JANUARY 1, 1974. THERMAL SYSTEM INSULATIONS AND SURFACING MATERIALS FOUND IN BUILDINGS CONSTRUCTED NO LATER THAN 1980 SHALL BE CONSIDERED PRESUMED ASBESTOS CONTAINING MATERIALS (PACM) UNLESS PROVEN OTHERWISE BY APPROPRIATE BULK SAMPLING AND LABORATORY ANALYSIS CONDUCTED BY APPROVED LICENSED PERSONNEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL REGULATIONS. THE LANDLORD SHALL PROVIDE COPIES OF ANY ASBESTOS SURVEYS THEY HAVE ON FILE AT THE REQUEST OF THE CONTRACTOR.
- SAFETY: FOLLOW THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) 29 CFR 1926.62. LEAD EXPOSURE IN CONSTRUCTION REGULATION. MATERIALS HAVING A CONCENTRATION EQUAL OR GREATER THAN 0.5% BY WEIGHT IN LEAD ARE CONSIDERED TO BE LEAD BASED. HOWEVER, OSHA CONSIDERS ANY AMOUNT OF LEAD ENCOUNTERED DURING CONSTRUCTION TO BE OF CONCERN. THE REGULATION STATES THAT THE EMPLOYER SHALL ASSURE THAT NO EMPLOYEE IS EXPOSED TO LEAD AT CONCENTRATIONS GREATER THAN FIFTY MICROGRAMS PER CUBIC METER OF AIR (50 MCGM³) AVERAGED OVER AN 8-HOUR PERIOD. CONTRACTORS SHALL DETERMINE AND TAKE APPROPRIATE MEASURES IF THEY SUSPECT THE PRESENCE OF LEAD.

FINISHES

- GENERAL: FINISHED FLOORS EXTEND INTO TOE SPACES, UNDER CASEWORK ON LAB PROJECTS, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- PRODUCTS:
 - INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.N.O.
 - PAINT DESIGNATIONS INDICATE COLOR ONLY, REFER TO SPECIFICATION FOR FINISH TYPE.
- PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.
- EXECUTION:
 - ADHERE TO MATERIAL OR SYSTEM MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND TOLERANCES. ANY VARIATIONS FROM WRITTEN INSTALLATION AND INSTRUCTIONS MUST RECEIVE WRITTEN APPROVAL FROM THE MANUFACTURER AND MAINTAIN MANUFACTURER'S WARRANTIES.
 - PRIOR TO STARTING THE INSTALLATION OF A MATERIAL OR SYSTEM, VERIFY THE SUBSTRATE IS WITHIN THE MANUFACTURER'S REQUIRED TOLERANCES AND REQUIRED CLEARANCES ARE PROVIDED. NOTIFY THE CONSTRUCTION MANAGER OR GENERAL CONTRACTOR AND DEIGN PROFESSIONAL IN WRITING WHEN THE SUBSTRATE IS NOT WITHIN MANUFACTURER'S TOLERANCE OR REQUIRED CLEARANCES ARE NOT PROVIDED. PROCEEDING WITH INSTALLATION SIGNIFIES ACCEPTANCE OF THE SUBSTRATE AND CLEARANCES.
 - PROVIDE MANUFACTURER'S REQUIRED ENVIRONMENTAL TESTS FOR MOISTURE, VAPOR DRIVE, RELATIVE HUMIDITY AND TEMPERATURE TO VERIFY THESE ARE WITHIN THE MATERIAL MANUFACTURER'S TOLERANCE PRIOR TO INSTALLING MATERIALS.
- MATERIAL AND INSTALLATION SHALL CONFORM WITH LOCAL, STATE AND NATIONAL BUILDING CODES AND CONSTRUCTION STANDARDS ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- REQUIRED DOCUMENTATION:
 - SAFETY DATA SHEETS.
 - PROVIDE SAMPLES WHEN SPECIFICALLY REQUESTED IN THESE DOCUMENTS.
 - PROVIDE SHOP DRAWINGS OF MATERIALS AND SYSTEMS WHICH WILL BE BUILT INTO AND MUST BE COORDINATED WITH OTHER CONSTRUCTION. SHOP DRAWINGS SHALL CONSIST OF PLAN, ELEVATION, SECTION VIEWS AND DETAILS AS REQUIRED TO COMMUNICATE FINAL APPEARANCE AND CONNECTION TO ADJOINING CONSTRUCTION.
- PROTECT ADJACENT SURFACES DURING WORK.
- REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
- DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS TO BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- WHEN INSTALLING CARPET FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
- WHEN INSTALLING TILE FOLLOW THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
- CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- FLOOR MATERIAL TRANSITIONS SHALL OCCUR BELOW THE DOOR.

WALLS

- DIMENSIONS:
 - STUD WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED IN A.c. OR A.d. BELOW.
 - MASONRY WALLS ARE TO FACE OF MASONRY.
 - EXISTING CONSTRUCTION ARE TO FINISHED FACE OF CONSTRUCTION.
 - WHERE NOTED AS "CLR" DIMENSIONS ARE TO FINISHED SURFACE AND ARE CRITICAL FOR ACCESSIBILITY REQUIREMENTS OR BUILT-IN FURNISHINGS.
 - TYPES:
 - WALLS NOT INDICATED WITH A WALL TYPE SHALL BE TYPE M30.
 - COLUMN ENCLOSURES, CHASES AND ENCLOSED UNINHABITABLE SPACES SHALL BE WALL TYPE M31, UNLESS NOTED OTHERWISE.
 - BRACING: PROVIDE CHANNEL COLD ROLLED STEEL (CRSS) BRACING AT ALL METAL STUD WALLS. INSTALL TWO ROWS OF BRACING 4'-0" O.C. FOR WALLS UP TO 13'-0" HIGH.
 - PROVIDE (2) #10-7/16" HEX HEAD SHEET METAL SCREWS AT EACH STUD/TRACK CONNECTION AT ALL WALLS, BULK HEADS & SOFFITS NOT EXTENDING FLOOR TO DECK.
 - PROVIDE DEFLECTION TRACK OR CLIP AT TOP OF METAL STUD WALLS THAT EXTEND TO THE UNDERSIDE OF STRUCTURAL MEMBERS OR FLOOR/ ROOF DECK.
 - METAL STUD WALLS IN WHICH STUDS DO NOT EXTEND TO DECK ABOVE SHALL BE Laterally BRaced AT 45 DEGREES TO THE STRUCTURE ABOVE WITH 3 5/8" x 20 GA. STUDS @ 48" O.C. MAX., AND AT ENDS OF SUCH WALLS WHICH DO NOT INTERSECT OTHER WALLS.
 - PROVIDE FULL HEIGHT DOUBLE STUDS AT DOOR AND WINDOW JAMBS.
 - FIRE-RESISTANT JOINT SYSTEMS: AT FIRE-RESISTANT RATED WALLS, FLOORS OR FLOOR/CEILING ASSEMBLIES, AND ROOFS OR ROOF/CEILING ASSEMBLIES, PROVIDE AN APPROVED TESTED JOINT ASSEMBLY PROVIDING THE MINIMUM TIME AND TEMPERATURE RISE AT THE WALL, FLOOR, OR ROOF SUITABLE FOR THE CONSTRUCTION WHERE THE SYSTEM IS TO BE INSTALLED.
 - THE BOTTOM EDGE OF GYPSUM WALL BOARD SHALL BE INSTALLED 3/8" ABOVE THE FLOOR AND SEALED AS NOTED IN WALL TYPES.
 - RATINGS:
 - SMOKE WALLS AND SMOKE BARRIERS: SMOKE WALLS AND SMOKE BARRIERS MUST FORM A COMPLETE BARRIER TO LIMIT THE TRANSFER OF SMOKE, INCLUDING PERIMETER DETAILS, PENETRATIONS, AND AS REQUIRED BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES. THE MEMBRANE IS TO BE CONTINUOUS THROUGH ALL CONCEALED SPACES.
 - RECESSED CABINETS, OUTLET BOXES, AND OTHER PENETRATIONS MUST BE SEALED
 - OPENINGS AROUND PENETRATIONS ARE TO BE SEALED.
 - ALL EXPOSED JOINTS, ANGLES, AND ABUTMENTS IN THE SYSTEM, INCLUDING FLOOR AND ABOVE CEILING MUST BE TAPED AND FINISHED.
 - SEAL THE INTERFACE BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES.
 - FIRE WALLS AND FIRE BARRIERS: FIRE WALLS AND FIRE BARRIERS MUST BE SIMILARLY CONSTRUCTED AS A COMPLETE BARRIER TO RESIST THE SPREAD OF SMOKE AND FIRE. PENETRATIONS MUST BE SEALED AND LABELED WITH AN APPROVED FIRE RESISTANT JOINT SYSTEM. INSTALL A FIRE RESISTANT JOINT SYSTEM AT THE HEAD AND FLOOR CONDITION OF FIRE RATED WALLS AND BARRIERS.
 - FIRE AND SMOKE WALL / BARRIER / WALLS LABELING:
 - WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL:
 - BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
 - INCLUDE LETTERING NOT LESS THAN 3 INCHES (76 MM) IN HEIGHT WITH A MINIMUM 3/8-INCH (9.5 MM) STROKE IN A CONTRASTING COLOR, INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER – PROTECT ALL OPENINGS," OR OTHER WORDING.
 - ACOUSTICAL WALLS: WALLS INDICATED WITH ACOUSTICAL BATT, AND/OR A GIVEN AN STC RATING, SHALL BE CONSTRUCTED TO MINIMIZE SOUND TRANSMISSION AS FOLLOWS:
 - PROVIDE ACOUSTICAL SEALANT AT ALL FLOOR AND HEAD LEVELS, EACH SIDE OF THE WALLS.
 - SET TRACK IN 3 CONTINUOUS BEADS OF ACOUSTICAL SEALANT.
 - EXTEND SOUND BATTS THOROUGH ANY INTERSECTING WALLS.
 - STAGGER OUTLETS A MINIMUM OF 24 INCHES HORIZONTAL. DO NOT INSTALL MORE THAN ONE OUTLET IN A COMMON STUD CAVITY. SEAL JOINTS AROUND OUTLETS WITH ACOUSTICAL SEALANT.
 - GYPSUM BOARD WALL COMPONENTS AND ACCESSORIES:
 - WALL TYPES DO NOT INDICATE FINAL FINISHES. REFER TO FINISH PLANS AND FINISH SCHEDULE.
 - GYPSUM BOARD SHALL BE TYPE "X" FIRE RATED WITH:
 - LEVEL 1 FINISH AT JOINTS WHICH WILL REMAIN CONCEALED. PROVIDE GALVANIZED STEEL CORNER BEADS AT CORNERS.
 - LEVEL 3 FINISH WHERE WALLS EXPOSED TO VIEW SCHEDULED FOR PAINT IN SERVICE SPACES (eg. TELE / DATA CLOSETS, MECHANICAL ROOMS, JANITOR CLOSETS, STORAGE ROOMS).
 - LEVEL 4 FINISH WHERE EXPOSED TO VIEW UPON PROJECT COMPLETION U.N.O.
 - LEVEL 5 FINISH AT GRAPHIC CORRIDOR, AS WELL AS DRY ERASE AND CHALK BOARD PAINTED AREAS. REFER TO FINISH LOCATION ON PLANS, AND COORDINATE WITH DESIGNER IN THE FIELD.
 - PROVIDE MOISTURE/ MOLD / ABUSE RESISTANT GYPSUM BOARD AT WALLS IN TOILET ROOMS, JANITORS CLOSETS AND ANY ROOM WHERE MOISTURE CONDITIONS WILL OCCUR AND NOT RECEIVING TILE FINISH.
 - PROVIDE GLASS MATT GYPSUM BOARD AT WALLS DIRECTLY ADJACENT TO LIVING WALL ELEMENT AND AT ALL WET AREAS (SHOWER ROOMS, COMMUNAL KITCHEN/DISHWASHER, ETC.) GLASS MAT GYPSUM BOARD SHALL RECEIVE FIBERGLASS TAPE AND FINISH AS RECOMMENDED BY MANUFACTURER.
 - METAL TRIM:
 - EXPOSED METAL J-TRIM TO BE COMPLETELY COVERED WITH SKIM COAT
 - NON-METALIC J-TRIM OR OTHER SHAPES ARE NOT ACCEPTABLE, UNLESS OTHERWISE NOTED
 - LOCATIONS WHERE GYPSUM BOARD WALLS TERMINATE AT DISSIMILAR MATERIALS, PROVIDE A FINISH-ABLE METAL END TRIM AND A 1/4" GAP BETWEEN TRIM AND ADJACENT MATERIAL. FILL GAP WITH BACKER ROD AND SEALANT.
 - PROVIDE SOLID FIRE TREATED WOOD BLOCKING IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO SUPPORT WALL MOUNTED MILLWORK AND CASEWORK, FURNISHINGS, RAILINGS, GRAB BARS, TOILET & BATH ACCESSORIES OR ANY OTHER WALL MOUNTED ITEMS INDICATED ON THESE DRAWINGS REQUIRING BLOCKING. REFER TO DIAGRAMS ON DRAWING FOR MOUNTING LOCATIONS OF GRAB BARS.
 - PROVIDE PAPER FACED "L" SHAPED TAPE ON TRIM AT THE TOP OF ALL GYP. BD. THAT ABUTS SUSPENDED CEILINGS AND EXPOSED STRUCTURE.
- CONTROL JOINTS:
 - PROVIDE IN GYPSUM WALL BOARD CONSTRUCTION AS FOLLOWS:
 - PROVIDE CONTROL JOINTS IN EXPANSES OF WALLS AT MAXIMUM 25-FOOT INTERVALS, AND FULL HEIGHT. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO TOP OF WALL.
 - CONTROL JOINTS ARE REQUIRED IN CEILINGS TO LIMIT AREAS TO 2,500 SQUARE FEET. INSTALL CONTROL JOINTS IN CEILINGS TO LIMIT DIMENSIONS IN EITHER DIRECTION TO 50 FEET MAXIMUM WITH PERIMETER RELIEF, 30 FEET MAXIMUM OTHERWISE. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
 - PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD WHERE THE UNDERLYING STRUCTURE CONTAINS A CONTROL OR MOVEMENT JOINT.
 - IN AN ACOUSTICALLY RATED ASSEMBLY, PROVIDE ACOUSTICALLY TESTED CONTROL JOINT ASSEMBLY WITH A STC RATING MINIMALLY EQUAL TO THE WALLS STC RATING. COORDINATE REQUIRED LOCATIONS ON FEATURE WALLS WITH DESIGNER IN THE FIELD. METAL TRIM: EXPOSED METAL OR NON-METALIC J-MOLD IS NOT ACCEPTABLE.
 - PROVIDE CONTROL JOINTS AT ALL BUILDING CONTROL OR EXPANSION JOINTS.
- IN CONCRETE MASONRY UNIT WALLS REFER TO STRUCTURAL FOR CONTROL JOINT SPACING
- IN CLAY MASONRY VENEERS REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR EXPANSION JOINT LOCATIONS

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SCALE: AS SHOWN

DATE: 11/18/2025

DRAWN BY: S KHUMALO

CHECKED BY: B HUYLER

PROJECT NUMBER: 25013752A

DRAWING NAME:

REVIEWED BY: Approver

SHEET TITLE:

GENERAL NOTES AND LEGENDS

SHEET NUMBER:

A001

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

088000/088813 - GLAZING AND FIRE-RESISTANT GLAZING

- ## 081113 - HOLLOW METAL DOORS

- 081416 - FLUSH WOOD DOORS:**

087100 - DOOR HARDWARE:

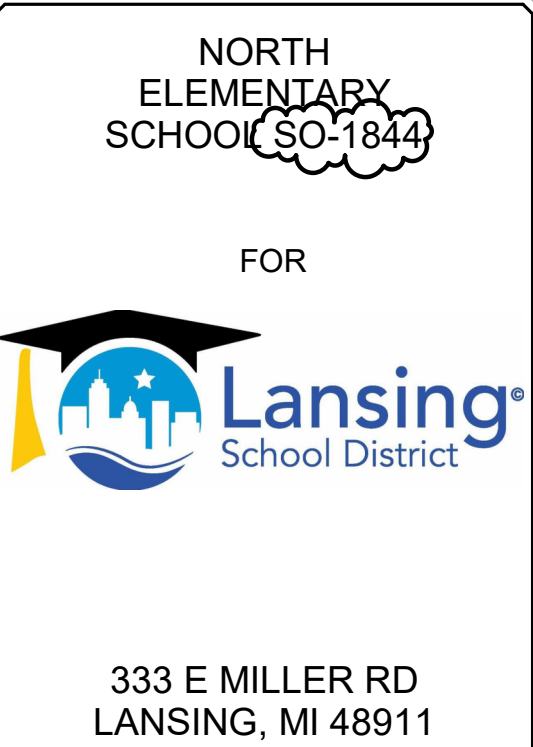
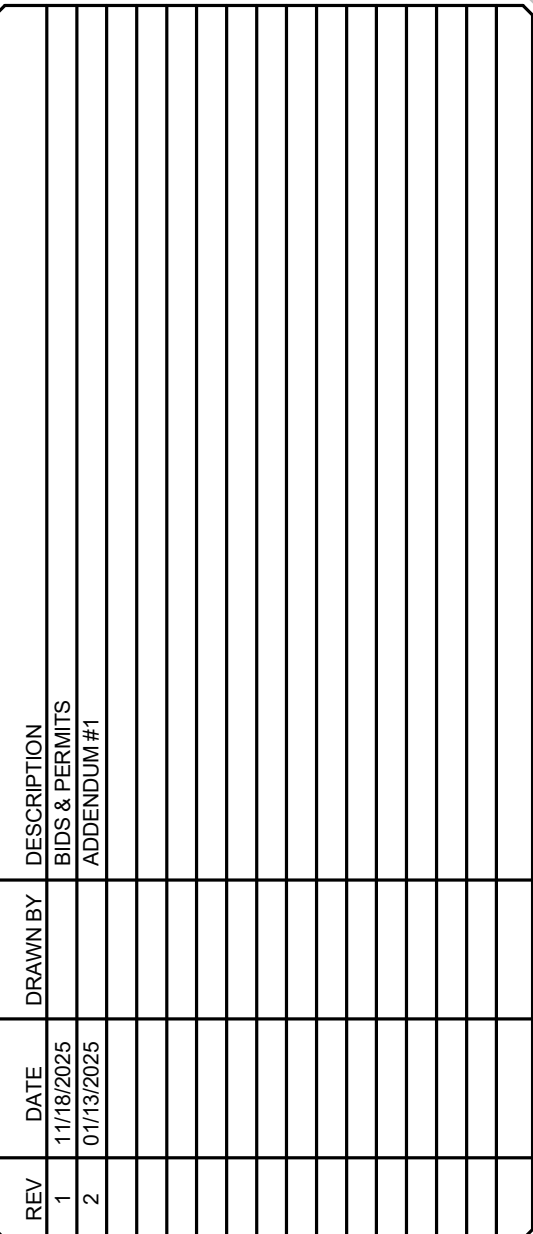
- MANUFACTURERS/PRODUCTS
- a. HINGES: IVES 588 SERIES. ALSO ACCEPTABLE: HAGER BB1191/1279 SERIES OR MCKINNEY TB SERIES.
- b. CONTINUOUS HINGES: IVES. ALSO ACCEPTABLE: SELECT OR PEMKO.
- c. MORTISE LOCKS: SCHLAGE L9000 SERIES. ALSO ACCEPTABLE: SARGENT 8200 SERIES.
- WARRANTY: 10 YEARS
- d. CYLINDERS: BEST. NO SUBSTITUTION. PROVIDE INTERCHANGEABLE CYLINDERS/CORES TO MATCH OWNER'S EXISTING KEY SYSTEM, COMPLIANT WITH ANSI/BHMA A156.5, LATEST REVISION.
- e. DOOR CLOSERS: LCN 4040XP SERIES. ALSO ACCEPTABLE: SARGENT 281 SERIES.
- WARRANTY: 30 YEARS.
- f. PROTECTION PLATES: IVES. ALSO ACCEPTABLE: TRIMCO OR ROCKWOOD.
- g. OVERHEAD STOPS AND OVERHEAD STOP/HOLDERS: GLYNN-JOHNSON. ALSO ACCEPTABLE: SARGENT OR ABH.
- h. DOOR STOPS AND HOLDERS: IVES. ALSO ACCEPTABLE: TRIMCO OR ROCKWOOD.
- i. THRESHOLDS, SEALS, DOOR SWEEPS, AUTOMATIC DOOR BOTTOMS, AND GASKETING: ZERO INTERNATIONAL. ALSO ACCEPTABLE: NATIONAL GUARD, REESE, OR PEMKO.
- j. FINISHES: GENERALLY, SATIN CHROMIUM, BHMA 628/652 (US2BD). PROVIDE FINISH FOR EACH ITEM AS INDICATED IN THE SETS.
- B. KEYING
- a. SCHEDULED SYSTEM.
- EXISTING FACTORY REGISTERED SYSTEM:
1. PROVIDE CYLINDERS/CORES 0-BITTED FOR OWNER'S EXISTING FACTORY REGISTERED KEYING SYSTEM. COMPLY WITH GUIDELINES IN ANSI/BHMA A156.23.
- b. REQUIREMENTS:
- PERMANENT KEYING: PROVIDED BY OWNER.
- C. HARDWARE SET #01 (DOORS 207, 209)
- a. (3) EA HINGE - 588H/HWSW (SIZE AS REQ'D. CONFIRM HINGE REQ. TO MATCH EXIST FRAME PREPS). FINISH 652 - MFR IVE
- b. (1) EA CLASSROOM LOCK - L9070BDC 03A - FINISH 626 - MFR SCH
- c. (1) EA PERMANENT CORE - CONTRACTOR SUPPLIED. TO BE COMBINATION BY OWNER - MFR BES
- d. (1) EA SURFACE CLOSER - 4040XP RW/PA - FULL SIDE - FINISH 689 - MFR LCN
- e. (2) EA KICK PLATE - 8400 10" X 34" LOW B-CS - FINISH 630 - MFR IVE
- f. (1) EA ARMOR PLATE - 8402 24" X 34" LOW B-CS - FINISH 630 - MFR IVE
- g. OPERATIONAL DESCRIPTION: FIELD VERIFY EXISTING CONDITIONS. VERIFY/COORDINATE PREPS ON EXIST FRAMES TO ENSURE COMPATIBILITY OF NEW HARDWARE PRIOR TO ORDER OF NEW MATERIALS. PROVIDE FIELD MODIFICATIONS AND/OR NECESSARY FILLERS (PAINT TO MATCH WHERE EXIST PREVIOUSLY PAINTED), REINFORCEMENTS AND FASTENERS, COMPATIBLE WITH EXIST MATERIALS REQUIRED FOR MOUNTING NEW SPECIFIED HARDWARE AND TO COVER EXIST FRAME PREPARATIONS PER NFPA 80.
- D. HARDWARE SET #02 (DOOR 205)
- a. (6) EA HINGE - 588H/HWSW (SIZE AS REQ'D. CONFIRM HINGE REQ. TO MATCH EXIST FRAME PREPS). FINISH 652 - MFR IVE
- b. (1) EA CONST LATCHING LOCK - FB51P - FINISH 630 - MFR IVE
- c. (1) EA JUST STOP OF STRIKE - DP2 - FINISH 626 - MFR IVE
- d. (1) EA STOREROM LOCK - L9080BDC 03A - FINISH 626 - MFR SCH
- e. (1) EA PERMANENT CORE - CONTRACTOR SUPPLIED. TO BE COMBINATION BY OWNER - MFR BES
- f. (1) EA COORDINATOR - COR X FL - FINISH 626 - MFR IVE
- g. (1) EA OH STOP - 90S - FINISH 630 - MFR GLY
- h. (2) EA SURFACE CLOSER - 4040XP RW/PA - FULL SIDE - FINISH 689 - MFR LCN
- i. (2) EA KICK PLATE - 8400 10" X 34" LOW B-CS - FINISH 630 - MFR IVE
- j. (1) EA GASKETING - 488S - FINISH BK - MFR ZER
- k. (1) EA MEETING STILE - 8217S - FINISH BK - MFR ZER
- l. OPERATIONAL DESCRIPTION: FIELD VERIFY EXISTING CONDITIONS. VERIFY/COORDINATE PREPS ON EXIST FRAMES TO ENSURE COMPATIBILITY OF NEW HARDWARE PRIOR TO ORDER OF NEW MATERIALS. PROVIDE FIELD MODIFICATIONS AND/OR NECESSARY FILLERS (PAINT TO MATCH WHERE EXIST PREVIOUSLY PAINTED), REINFORCEMENTS AND FASTENERS, COMPATIBLE WITH EXIST MATERIALS REQUIRED FOR MOUNTING NEW SPECIFIED HARDWARE AND TO COVER EXIST FRAME PREPARATIONS PER NFPA 80.
- E. HARDWARE SET #03
- a. REMOVED IN ADDENDUM #1
- F. HARDWARE SET #04 (DOOR 203)
- a. (3) EA HINGE - 588H/HWSW (SIZE AS REQ'D. CONFIRM HINGE REQ. TO MATCH EXIST FRAME PREPS). FINISH 652 - MFR IVE
- b. (1) EA CLASSROOM LOCK - L9070BDC 03A - FINISH 626 - MFR SCH
- c. (1) EA PERMANENT CORE - CONTRACTOR SUPPLIED. TO BE COMBINATION BY OWNER - MFR BES
- d. (1) EA SURFACE CLOSER - 4040XP RW/PA - FULL SIDE - FINISH 689 - MFR LCN
- e. (2) EA KICK PLATE - 8400 10" X 34" LOW B-CS - FINISH 630 - MFR IVE
- f. (1) EA OH STOP - 90S - FINISH 630 - MFR GLY
- g. (1) EA GASKETING - 488S - FINISH BK - MFR ZER
- h. OPERATIONAL DESCRIPTION: FIELD VERIFY EXISTING CONDITIONS. VERIFY/COORDINATE PREPS ON EXIST FRAMES TO ENSURE COMPATIBILITY OF NEW HARDWARE PRIOR TO ORDER OF NEW MATERIALS. PROVIDE FIELD MODIFICATIONS AND/OR NECESSARY FILLERS (PAINT TO MATCH WHERE EXIST PREVIOUSLY PAINTED), REINFORCEMENTS AND FASTENERS, COMPATIBLE WITH EXIST MATERIALS REQUIRED FOR MOUNTING NEW SPECIFIED HARDWARE AND TO COVER EXIST FRAME PREPARATIONS PER NFPA 80.
- G. HARDWARE SET #05 (DOOR 204)
- a. (3) EA HINGE - 588H/HWSW (SIZE AS REQ'D. CONFIRM HINGE REQ. TO MATCH EXIST FRAME PREPS). FINISH 652 - MFR IVE
- b. (1) CLASSROOM LOCK - L9070BDC 03A - FINISH 626 - MFR SCH
- c. (1) PERMANENT CORE - CONTRACTOR SUPPLIED. TO BE COMBINATION BY OWNER - MFR BES
- d. (1) ARMOR PLATE - 8402 24" X 34" LOW B-CS (PUSH-SIDE) - FINISH 630 - MFR IVE
- e. (1) KICK PLATE - 8400 10" X 34" LOW B-CS - FINISH 630 - MFR IVE
- f. (2) EA KICK PLATE - 8400 10" X 34" LOW B-CS - FINISH 630 - MFR IVE
- g. (1) EA SURFACE CLOSER - 4040XP RW/PA - FULL SIDE - FINISH 689 - MFR LCN
- h. (1) GASKETING - 488S - FINISH BK - MFR ZER
- i. OPERATIONAL DESCRIPTION: FIELD VERIFY EXISTING CONDITIONS. VERIFY/COORDINATE PREPS ON EXIST FRAMES TO ENSURE COMPATIBILITY OF NEW HARDWARE PRIOR TO ORDER OF NEW MATERIALS. PROVIDE FIELD MODIFICATIONS AND/OR NECESSARY FILLERS (PAINT TO MATCH WHERE EXIST PREVIOUSLY PAINTED), REINFORCEMENTS AND FASTENERS, COMPATIBLE WITH EXIST MATERIALS REQUIRED FOR MOUNTING NEW SPECIFIED HARDWARE AND TO COVER EXIST FRAME PREPARATIONS PER NFPA 80.
- H. ALL HARDWARE TO MEET ACCESSIBILITY REQUIREMENTS SET BY 201 ICC 117.1 AND ADA.

099123 - INTERIOR PAINTING:

- A. BASIS OF DESIGN MANUFACTURER, SHERWIN WILLIAMS, ALSO ACCEPTABLE: BENJAMIN MOORE AND PPG PAINTS.
- B. PAINT SYSTEMS:
- a. GYPSUM BOARD AND PLASTER:
 - PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B2W#2600
 - 1. 4.0 MILS WET, 1.0 MILS DRY.
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20-2600 SERIES.
 - 1. 4.0 MILS WET, 1.6 MILS DRY.
 - b. CMU:
 - PRIMER: PREPRITE BLOCK FILLER, B25W25
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX SEMI-GLOSS, B31-2600 SERIES.
 - 1. 4.0 MILS WET, 1.6 MILS DRY PER COAT.
 - c. HOLLOW METAL FRAMES AND DOORS:
 - PRIMER: PRO INDUSTRIAL PRO CRYL UNIVERSAL PRIMER, B66-310 SERIES.
 - 1. 5.0 TO 10 MILS WET, 2.0 TO 4.0 MILS DRY.
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PRO INDUSTRIAL ACRYLIC SEMI-GLOSS COAT, B66-650 SERIES.
 - 1. 2.5 TO 4.0 MILS DRY PER COAT.
 - d. BRICK/CLAY MASONRY:
 - PRIMER: LOXON CONCRETE & MASONRY PRIMER SEALER, A24W#3300.
 - 1. 8.0 MILS WET, 3.2 MILS DRY.
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC LATEX SEMI-GLOSS, B31-2600 SERIES.
 - 1. 4.0 MILS WET, 1.6 MILS DRY PER COAT.
 - e. ACOUSTIC/TECTUM DECK
 - WATERBORNE ACRYLIC DRY FALL, B42W1. UP TO 6 COATS, SPRAY APPLIED.
 - 1. 3.5 TO 5.0 MILS WET, 1.5 TO 2.0 MILS DRY PER COAT.
- C. COLORS: REFER TO BASIS OF DESIGN.

102113.19 - PLASTIC TOILET COMPARTMENTS:

- a. PLASTIC TOILET COMPARTMENTS
 - a. BASIS OF DESIGN PRODUCT BY ONE OF THE FOLLOWING: ASG GLOBAL PARTITIONS, BRADLEY, BOBRICK, HADRIAN, METPAR
 - b. TOILET-ENCLOSURE STYLE: SOLID PLASTIC (HDPE), OVERHEAD BRACED, FLOOR ANCHORED.
- b. COMPONENTS
 - a. DOORS AND PENALS: SOLID SHEETS OF SOLID MOLDED HOMOGENOUS HIGH-DENSITY POLYETHYLENE (HDPE).
 - FINISH:
 - 1. COLOR: AS SELECTED FROM MANUFACTURER'S COLOR CARD.
 - 2. TEXTURE: MANUFACTURER'S STANDARD FOR SELECTED COLOR.
 - EDGES: 1/4" RADIUS MACHINED EDGES.
 - HEAT SINK: EXTRUDED ALUMINUM ATTACHED TO BOTTOM OF DOORS AND PANELS.
 - NO SIGHT-55 PRIVACY: PROVIDE COMPARTMENTS WITH NO-SIGHTLINE PRIVACY STRIPS.
 - b. DOOR AND PANEL DIMENSIONS:
 - THICKNESS: 1".
 - DOOR WIDTH: PER PLAN.
 - DOOR PANEL HEIGHT: 55".
 - 1. EXTEND TO TOP RAIL WITH ADDITIONAL FILLER PANEL. SECURE PANELS WITH CONTINUOUS H-BAR AND SECURITY SCREWS.
 - DOOR PANEL HEIGHT ABOVE FLOOR: 14".
 - PANEL DEPTH: AS INDICATED ON DRAWINGS.
 - c. PILASTERS:
 - 1" THICK, OF SIZES REQUIRED TO SUIT COMPARTMENT WIDTH AND SPACING; MINIMUM 3" WIDE.
 - PILASTER HEIGHT: 82".
 - PROVIDE EASY-STAIL SHOES AT FLOOR ANCHORED, OVERHEAD BRACED TOILET COMPARTMENTS.
 - d. HEAD RAILS: HOLLOW ANODIZED ALUMINUM TUBE, 1-BY 1-5/8" SIZE, WITH ANTI-GRIP SURFACE AND CAST-SOCKET WALL BRACKETS.
- c. HARDWARE AND ACCESSORIES
 - a. BRACKETS:
 - CONTINUOUS TYPE: BRUSHED STAINLESS STEEL
 - b. DOOR HARDWARE:
 - BRUSHED STAINLESS STEEL:
 - 1. HINGES: BRUSHED STAINLESS STEEL CONTINUOUS HINGE, SELF-CLOSING SPRING-LOADED TYPE.
 - 2. LATCH AND KEEPER: SURFACE MOUNT SLIDE.
 - 3. COAT HOOK: MANUFACTURER'S STANDARD COAT HOOK WITH RUBBER BUMPER, ONE PER COMPARTMENT, MOUNTED ON DOOR.
 - 4. DOOR PULL: PROVIDE DOOR PULL FOR OUTSWINGING DOORS. PROVIDE ON BOTH SIDES OF DOORS DESIGNATED AS ACCESSIBLE.
 - 5. DOOR BUMPER: PROVIDE RUBBER-TIPPED DOOR BUMBERS AT OUT-SWINGING DOORS.
 - c. ATTACHMENTS, SCREWS, AND BOLTS: STAINLESS STEEL, TAMPER-RESISTANT TYPE.
 - FOR ATTACHING PANELS AND PILASTERS TO BRACKETS: SEX-TYPE THROUGH-BOLTS AND NUTS, TAMPER-RESISTANT.
 - FOR ATTACHING PANELS TO ADDITIONAL FILLER PANEL: ALUMINUM H-BAR, 1-1/32" WIDTH BY 1-1/2" HEIGHT BY 1/16" THICKNESS. HEIGHT AND WIDTH MAY NEED TO CHANGE TO ALLOW PROPER SECURING, CUT TO PROPER LENGTH.



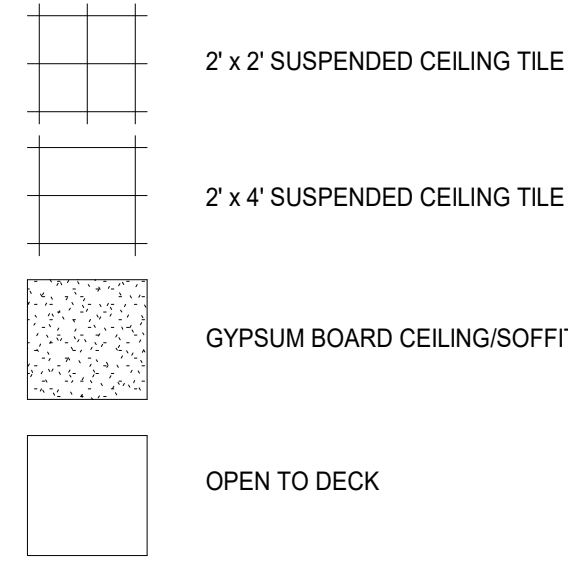
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SCALE: AS SHOWN	DATE: 11/18/2025	DRAWN BY: S KHUMALO	CHECKED BY: B HUYLER
PROJECT NUMBER: 25013752A		DRAWING NAME:	REVIEWED BY: Approver

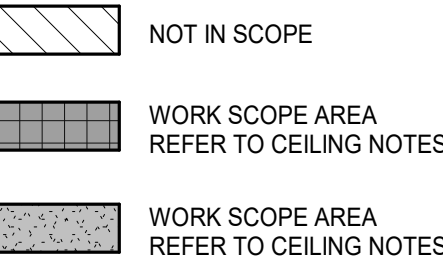
SHEET TITLE:
<h1>SPECIFICATIONS</h1>
SHEET NUMBER:
A002

CEILING LEGEND

NOTE: SEE OTHER DISCIPLINE DRAWINGS (E.G. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS) FOR ASSOCIATED SYSTEMS AND INFORMATION ABOUT SYMBOLS NOT INDICATED IN THIS LEGEND.



LEGEND



CEILING PLAN KEYNOTES 1

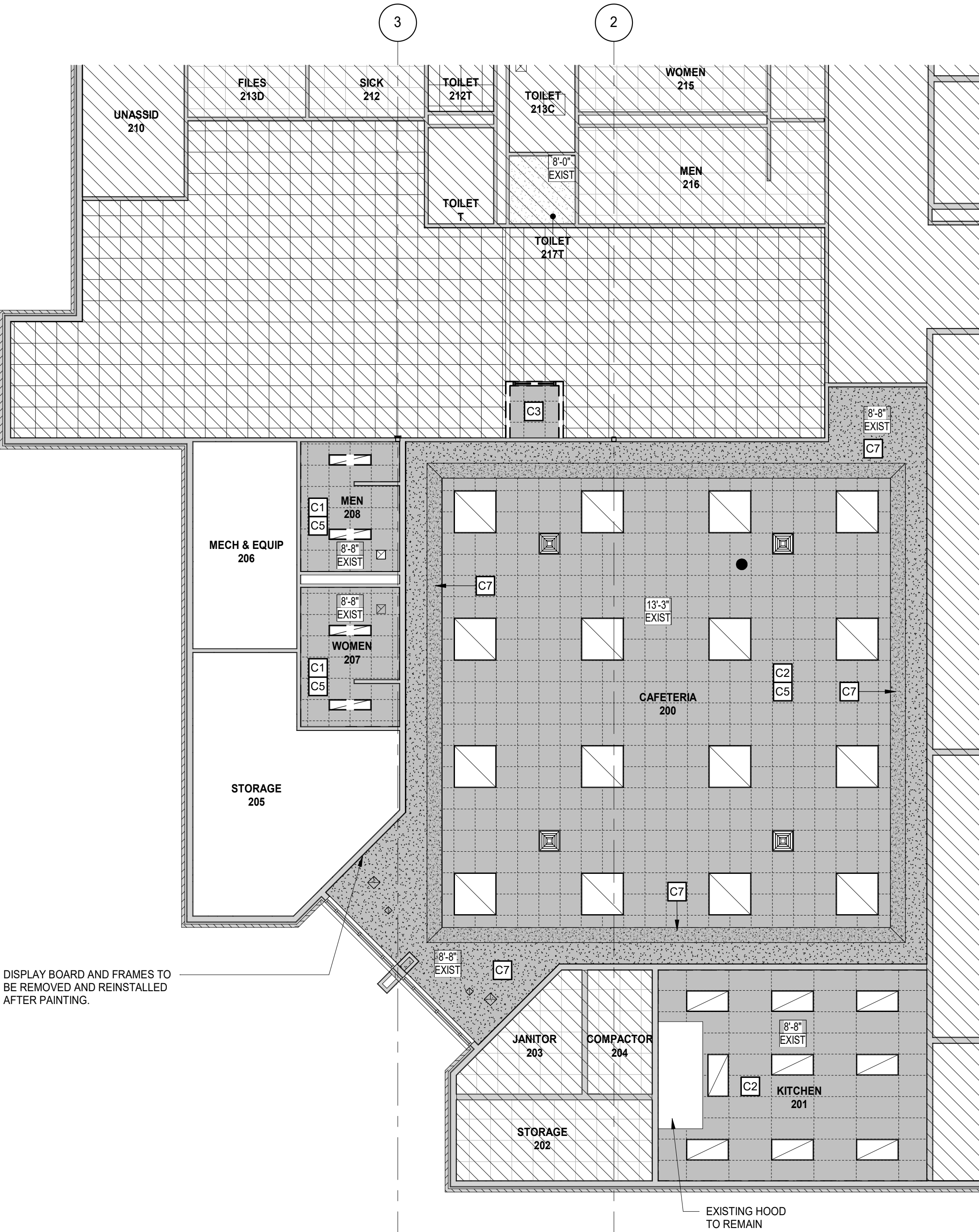
- C1 REMOVE EXISTING LAY-IN PANEL SYSTEM IN ITS ENTIRETY ALONG WITH LIGHTING FIXTURES.
- C2 REMOVE EXISTING LAY-IN PANELS, GRID AND LIGHTING TO REMAIN. GRILLS AND DIFFUSERS TO BE REMOVED REFER TO MECHANICAL DWGS.
- C3 REMOVE EXISTING CEILING SYSTEM AND LIGHTING FIXTURES IN ITS ENTIRETY. MAINTAIN EXISTING BULK HEAD AT PLAN WEST (SOUTH) WALL. REFER NEW WORK CEILING PLAN.
- C5 REMOVE AND REPLACE DIFFUSERS. REFER TO MECHANICAL SHEETS.
- C7 EXISTING SOFFIT AND TECTUM PANELS TO REMAIN.

FIRST FLOOR PLAN KEYNOTES 1

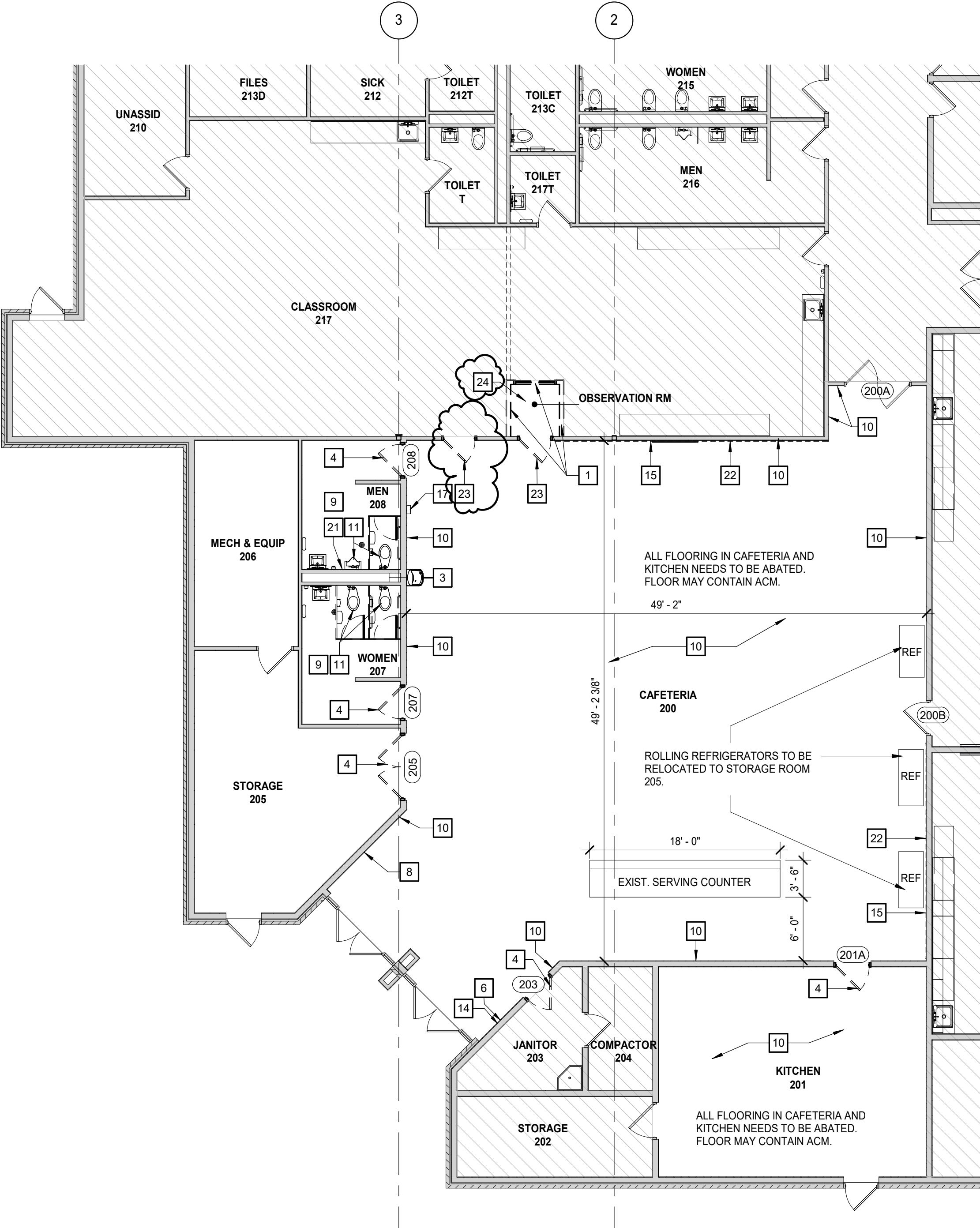
- 1 REMOVE OBSERVATION ROOM WALLS AND WINDOWS. PLAN WEST WALL (SOUTH) OF OBSERVATION TO STOP AT EXISTING BULK HEAD.
- 3 REMOVE EXISTING DRINKING FOUNTAIN AND REPLACED WITH H/L AND BOTTLE FILLER WITH CHILLED WATER. CLEAN AND REPAIR WALL AS REQUIRED. PREP OPENING FOR NEW EWC. REFER TO MECHANICAL/PLUMBING.
- 4 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. FRAME TO REMAIN. PREP FOR NEW DOOR AND HARDWARE.
- 6 PREP ACCESS PANEL TO BE PAINTED TO MATCH WALL COLOR.
- 8 EXISTING DISPLAY BOARD TO REMAIN (DO NOT PAINT).
- 9 RESTROOM FLOOR TO REMAIN. REMOVE EXISTING CERAMIC COVE BASE. CLEAN/PATCH/REPAIR FLOOR AND WALL AS REQUIRED. PREP WALL AND FLOOR FOR NEW FINISHES.
- 10 FLOORING AND BASE TO BE REMOVED.
- 11 REMOVE EXISTING FIXTURES AND TOILET PARTITIONS. REMOVE EXISTING ACCESSORIES/WALL ATTACHMENTS. PREP WALL FOR NEW FIXTURES AND FINISHES PER PLAN.
- 14 REPLACE WALL GRILL. SEE MECHANICAL DRAWINGS.
- 15 PREP EXISTING CONDUIT TO BE PAINTED (TYP). ALL EXISTING CONDUIT TO BE PAINTED TO MATCH ADJACENT WALL COLOR (TYP).
- 17 REMOVE EXISTING FIRE EXTINGUISHER CABINET.
- 21 REMOVE EXISTING FRP. PREP AND REPAIR EXISTING WALL FOR NEW FINISHES.
- 22 REMOVE EXISTING BUMPER GUARD ON EXISTING WALL. PATCH AND REPAIR WALL.
- 23 REMOVE EXISTING DOOR, FRAME AND DOOR HARDWARE. PREP WALL AS REQUIRED FOR INFILL AFTER DOOR REMOVAL.
- 24 REMOVE EXISTING CARPETING AND PREP FOR NEW FINISHES.

GENERAL NOTES

- A. CONTRACTOR SHALL COORDINATE REMOVAL OF FLOORS, WALLS AND CEILINGS WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES. ALL POWER, MECHANICAL AND PLUMBING LINES SHALL BE REMOVED BACK TO NEAREST MAIN BRANCH LINE OR PANEL.
- B. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND EQUIPMENT NOTED TO REMAIN FROM DAMAGE RESULTING FROM DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM DEMOLITION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- C. CONTRACTOR SHALL PROTECT ADJACENT SURFACES IN PREPARATION OF SAW CUTTING REQUIRED FOR DEMOLITION ACTIVITIES.



2 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE : 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
SCALE : 1/8" = 1'-0"

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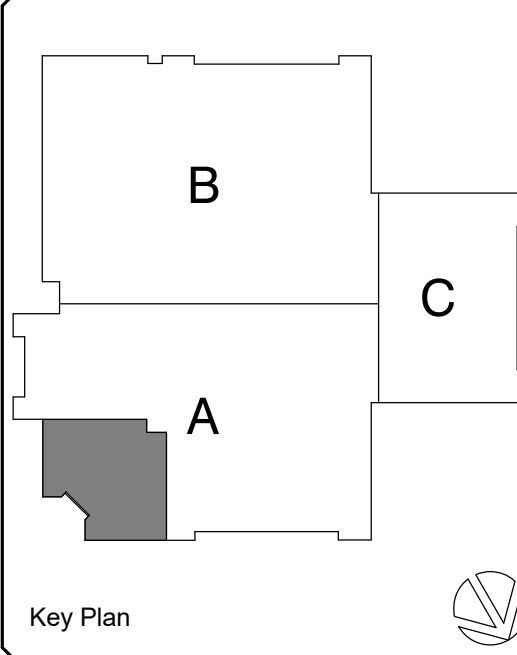
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2	01/19/2025	ADDENDUM #1		



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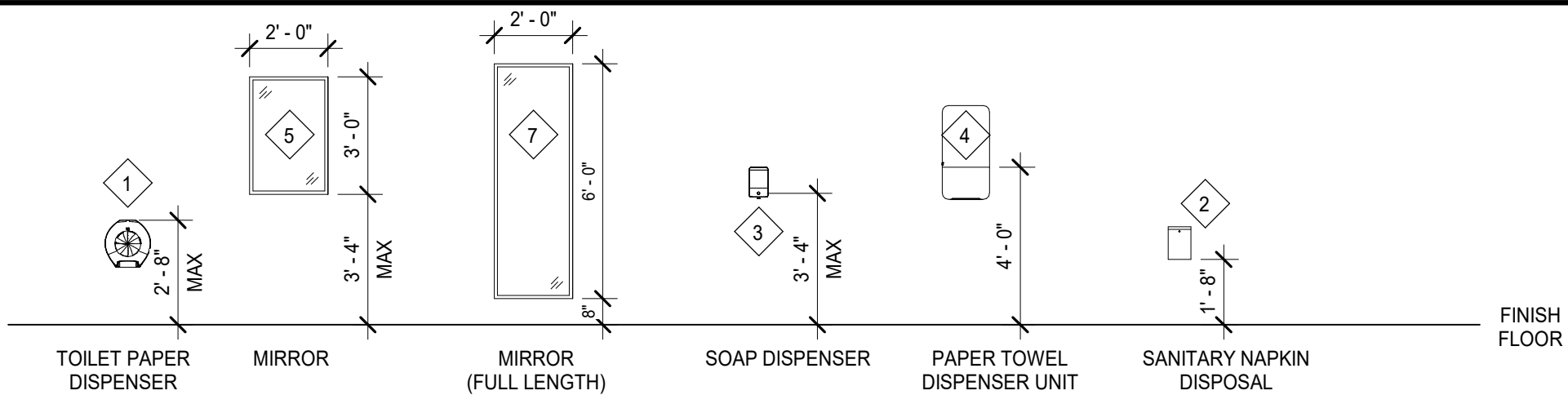
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PROJECT NUMBER: 25013752A DRAWING NAME: Approver

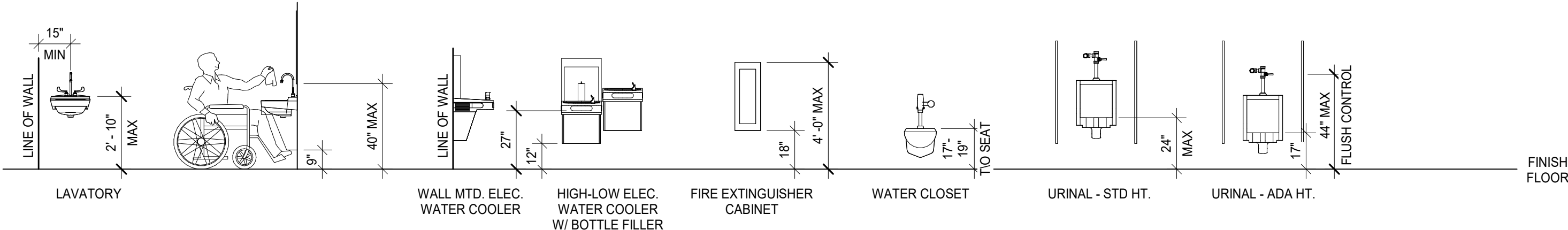
SHEET TITLE:
FIRST FLOOR DEMO AND
REFLECTED CEILING PLAN
SHEET NUMBER:
AD101

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

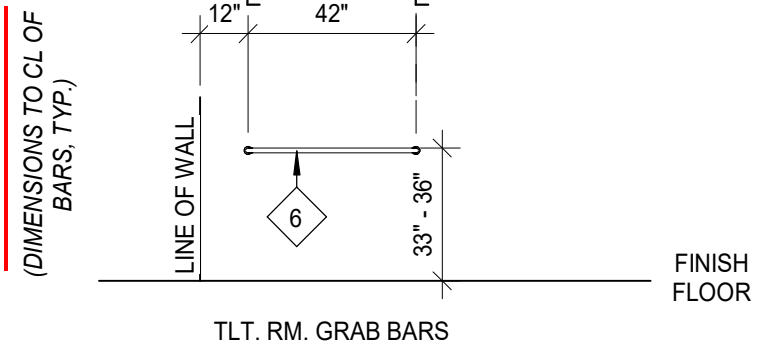
ACCESSORIES



FIXTURE DIMENSIONS



GRAB BARS



KEYNOTES

- NEW HILO DRINKING FOUNTAIN WITH BOTTLE FILLER. USE ELKAY WATER COOLERS WITH CHILLED WATER. ADA ACCESSIBLE. PROVIDE POWER FOR NEW DRINKING FOUNTAIN.
- NEW FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER TO MATCH EXISTING. DO NOT PAINT.
- NEW DOOR AND HARDWARE. REFER TO DOOR SCHEDULE. PAINT EXISTING FRAM. COLOR BENCH MARK FOR NEW DOORS: 200A & B.
- EXISTING DISPLAY BOARD TO REMAIN (DO NOT PAINT).
- INSTALL NEW EPOXY FLOOR OVER EXISTING CERAMIC TILE CONTINUE EPOXY UP WALL MIN 4".
- PAINT EXISTING BRICK WALL.
- INFILL WALL WHERE DOOR WAS REMOVED WITH MATERIALS TO MATCH ADJACENT. ADD BATT INSULATION TO WALL CAVITY. PAINT WALL TO MATCH EXISTING.
- WALL GRILL AND ACCESS PANEL ABOVE TO BE PAINTED TO MATCH WALL COLOR.
- REPAIR/ PATCH SPALLING MASONRY AROUND DOOR FRAME BEFORE PAINTING.
- CONTRACTOR IS RESPONSIBLE FOR FLOOR INSTALLATION OVER THE CONTROL JOINTS. JOINT WILL NEED TO BE REPAIRED AND PATCHED PER MANUFACTURER RECOMMENDATIONS BEFORE EPOXY INSTALL.
- CAULK CORNERS OF MASONRY BEFORE PAINTING TYP.

GENERAL NOTES

- REFER TO A002 FOR WALL TYPES, DETAILS, AND ADDITIONAL INFORMATION.
- REFER TO A120 SERIES DRAWINGS FOR REFLECTED CEILING PLANS AND DETAILS.
- REFER TO A140 SERIES DRAWINGS FOR FINISH PLANS, SCHEDULES, AND DETAILS.
- REFER TO A160 SERIES DRAWINGS FOR FURNITURE AND EQUIPMENT PLANS AND SCHEDULES.
- REFER TO A600 SERIES DRAWINGS FOR DOOR SCHEDULE, WINDOW SCHEDULE, DETAILS, AND BASIS OF DESIGN.
- ALL DOORS TO BE LOCATED 4" FROM DRYWALL ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALIGN FACES OF MASONRY AND STUD WALLS INDICATED IN THE SAME PLANE ON PLANS, U.O.N.

LEGEND

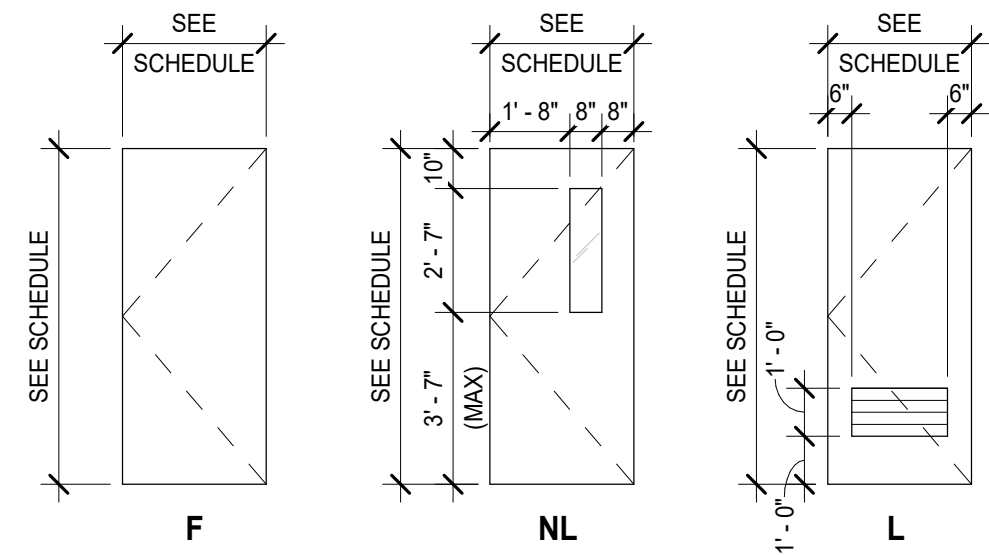
- NOT IN SCOPE
- EXISTING DOOR AND FRAME TO REMAIN
- NEW DOOR AND FRAME

DOOR SCHEDULE												
DOOR #	DOOR					FRAME			GENERAL			DOOR #
	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	REMARKS	
New Construction FIRST FLOOR												
201A	3' - 2"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	5	20 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME	201A
203	3' - 0"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	4	90 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME	203
205	6' - 0"	7' - 0"	0' - 1 3/4"	F	NEW HM - PT	EXIST	EXIST HM - PT	EXISTING	2	90 MIN	NEW HOLLOW METAL DOOR, NEW HARDWARE, PAINT EXISTING FRAME	205
207	3' - 0"	7' - 0"	0' - 1 3/4"	L	NEW WD - ST	EXIST	EXIST HM - PT	EXISTING	1	---	NEW WOOD DOOR, NEW HARDWARE, PAINT EXISTING FRAME	207
208	3' - 0"	7' - 0"	0' - 1 3/4"	L	NEW WD - ST	EXIST	EXIST HM - PT	EXISTING	1	---	NEW WOOD DOOR, NEW HARDWARE, PAINT EXISTING FRAME	208

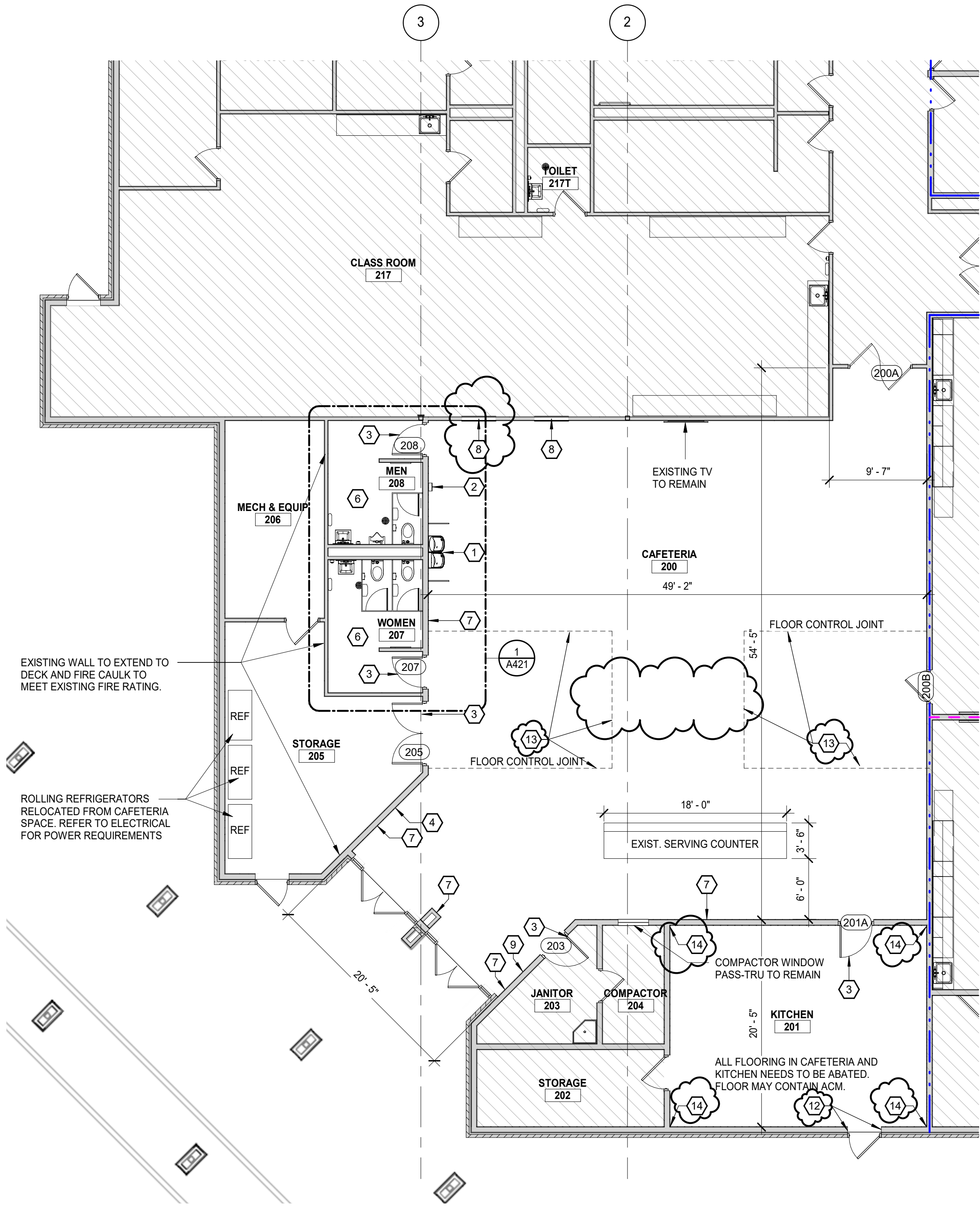
DOOR AND HARDWARE NOTES

- EXISTING DOOR AND FRAME - REPAIR, PREP AND PAINT HOLLOW METAL FRAME AND DOOR / TOUCH UP WOOD DOOR FINISH; REFER TO HARDWARE SCHEDULE FOR ADDITIONAL INFORMATION
- PROTECT EXISTING DOORS AND FRAMES TO REMAIN
- FIELD CERTIFICATION FOR FIRE RESISTANCE RATING OF EXISTING FRAME REQUIRED
- SALVAGE CORES OF EXISTING HARDWARE TO BE REMOVED. CONTRACTOR TO PROVIDE NEW CORES WHERE REQUIRED.
- ALL HARDWARE TO MEET ALL STATE AND LOCAL ACCESSIBLY REQUIREMENTS
- REFER TO HARDWARE SPECIFICATIONS FOR ADDITIONAL HARDWARE REQUIREMENTS
- NEW HARDWARE IN EXISTING FRAME
- NEW KICK PLATE FOR DOORS THAT CURRENTLY HAVE AN EXISTING KICK PLATE
- KICK PLATE ON DOOR 201A IS TO BE A FULL HEIGHT BOTH SIDES
- COLOR BENCH MARK FOR ALL DOOR IS DOOR 200A & 200B

NOTES:
A. ALL RESTROOM ACCESSORIES ARE FOR REFERENCE ONLY.
B. RESTROOM ACCESSORIES TO BE PROVIDED BY OWNER, INSTALLED BY G.C., U.O.N.



DOOR - TYPES



1 FIRST FLOOR PLAN
SCALE : 1/8" = 1'-0"

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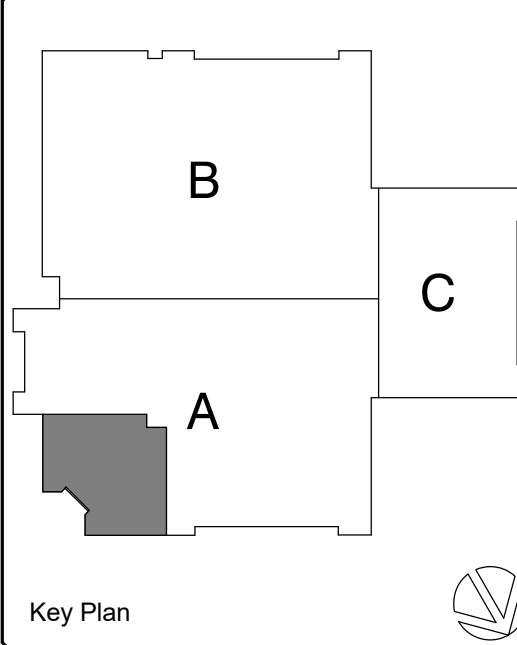
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FOR
Lansing School District

333 E MILLER RD
LANSING, MI 48911

GRAND RAPIDS
560 5th St. NW
Suite 305
Grand Rapids, MI 49504
Phone: 616.827.4270

Colliers Engineering & Design

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PROJECT NUMBER: 25013752A	DRAWING NAME:	REVIEWED BY:	Approver

SHEET TITLE:

FIRST FLOOR PLAN

SHEET NUMBER:
A102

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CEILING LEGEND

NOTE: SEE OTHER DISCIPLINE DRAWINGS (E.G. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS) FOR ASSOCIATED SYSTEMS AND INFORMATION ABOUT SYMBOLS NOT INDICATED IN THIS LEGEND.

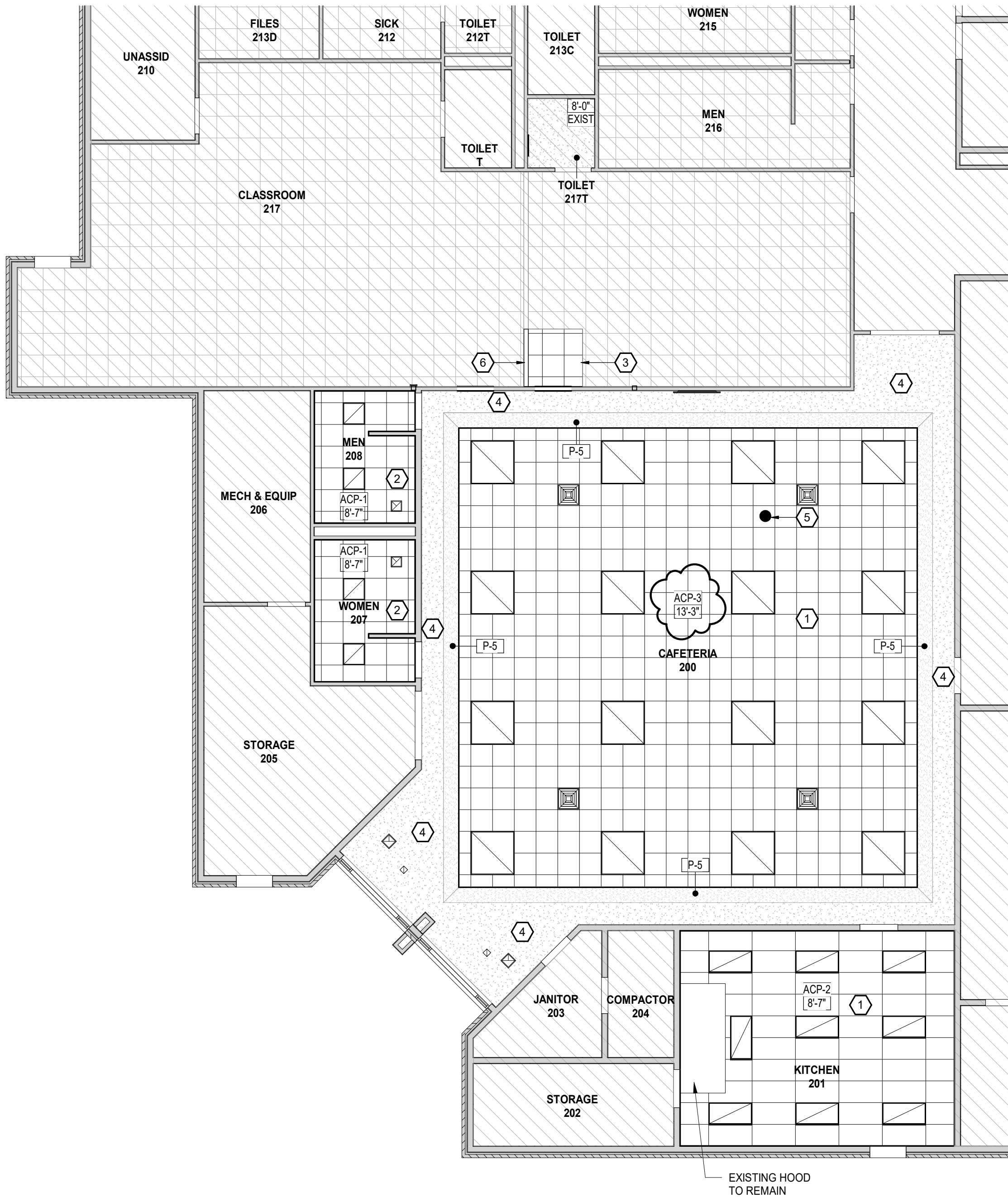
- 2' x 2' SUSPENDED CEILING TILE
- 2' x 4' SUSPENDED CEILING TILE
- GYPSUM BOARD CEILING/SOFFIT
- OPEN TO DECK

KEYNOTES

- 1 NEW CEILING PADS IN EXSITING CEILING GRID. PAINT EXISTING GRID. ALTERNATE #1: TO REPLACE EXISTING CEILING GRID WITH ARMSTRONG 15/16" PRELUDE - WHITE.
- 2 NEW CEILING SYSTEM - SEE INTERIOR FINISH SCHEDULE.
- 3 PATCH EXSITING CEILING SYSTEM AND GRID TO MATCH EXISTING.
- 4 PATCH AND CLEAN ANY DAMAGES ON THE EXISTING SOFFIT. EXISTING SOFFIT TO BE PAINTED. SEE FINISH SCHEDULE.
- 5 EXISTING SPEAKER TO REMAIN. VERIFY LOCATION WITH ONWER.
- 6 EXTEND BULKHEAD AS REQUIRED AFTER REMOVAL OF WALL.

GENERAL NOTES

- A. REFER TO A002 FOR WALL TYPES, DETAILS, AND ADDITIONAL INFORMATION.
- B. REFER TO A120 SERIES DRAWINGS FOR REFLECTED CEILING PLANS AND DETAILS.
- C. REFER TO A140 SERIES DRAWINGS FOR FINISH PLANS, SCHEDULES, AND DETAILS.
- D. REFER TO A160 SERIES DRAWINGS FOR FURNITURE AND EQUIPMENT PLANS AND SCHEDULES.
- E. REFER TO A600 SERIES DRAWINGS FOR DOOR SCHEDULE, WINDOW SCHEDULE, DETAILS, AND BASIS OF DESIGN.
- F. ALL DOORS TO BE LOCATED 4" FROM DRYWALL ADJACENT WALL UNLESS OTHERWISE NOTED.
- G. ALIGN FACES OF MASONRY AND STUD WALLS INDICATED IN THE SAME PLANE ON PLANS, U.O.N.



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE : 1/8" = 1'-0"

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B

C

A

Key Plan

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FOR

Lansing School District

333 E MILLER RD
LANSING, MI 48911

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Phone: 616.627.4270

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AS SHOWN	11/18/2025	S KHUMALO	B HUYLER

PROJECT NUMBER:	DRAWING NAME:	REVIEWED BY:
25013752A		Approver

SHEET TITLE:

FIRST FLOOR REFLECTED CEILING PLAN & DETAILS

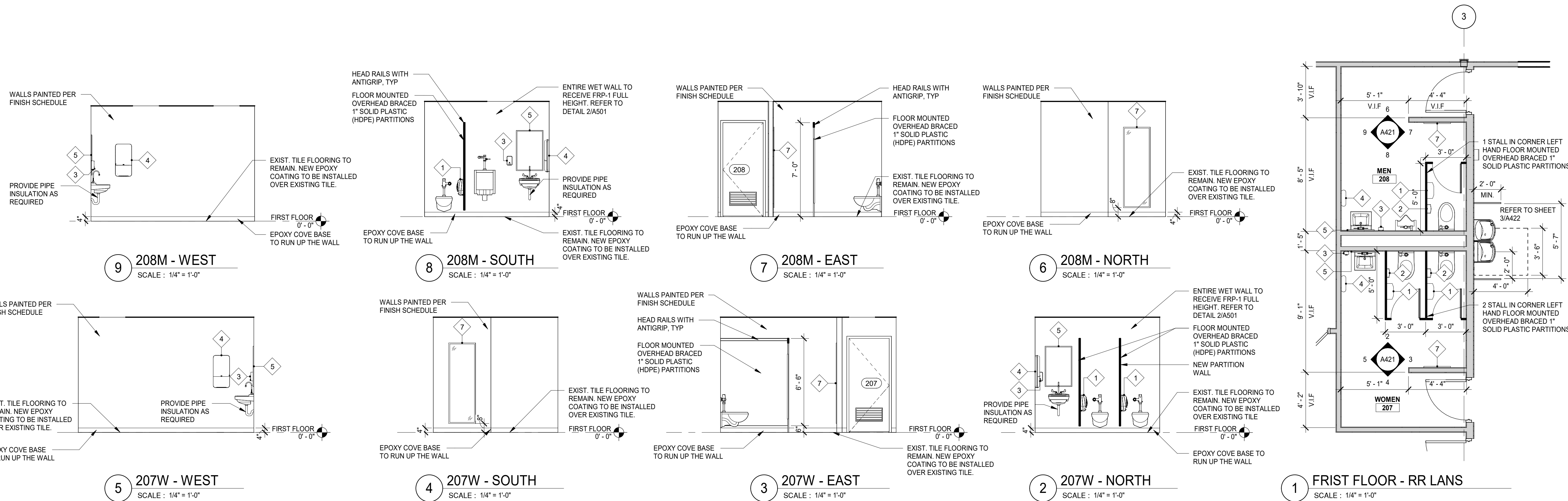
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TOILET ACCESSORIES SCHEDULE					
TAG	MANUFACTURER	MODEL	DESCRIPTION	COMMENTS	QTY
1	TORK	565828	TORK 3-ROLL BATH TISSUE DISPENSER FOR OPTICORE, BLACK	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	3
2	BOBRICK	B-270	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL		3
3	BUCKEYE	B063-51	SYMMETRY STEALTH PRESTIGE 1250ML SOAP DISPENSER (BLACK)	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	2
4	TORK	552528	TORK PEAKSERVE CONTINUOUS HAND TOWEL, BLACK	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR	2
5	BOBRICK	B-290 2436	24x36 WELDED FRAME MIRROR	PROVIDED & INSTALLED BY G.C.	2
7	BOBRICK	B-290 2472	24 x 72 WELDED FRAME MIRROR	PROVIDED & INSTALLED BY G.C.	2

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Key Plan

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FOR

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SHEET TITLE:
INTERIOR ELEVATIONS

SHEET NUMBER:
A421

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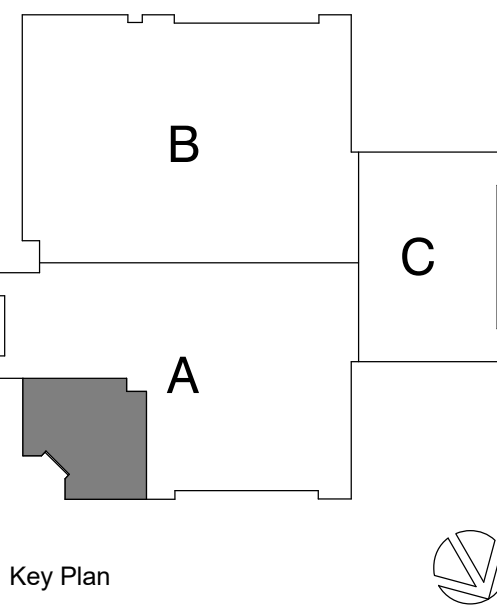
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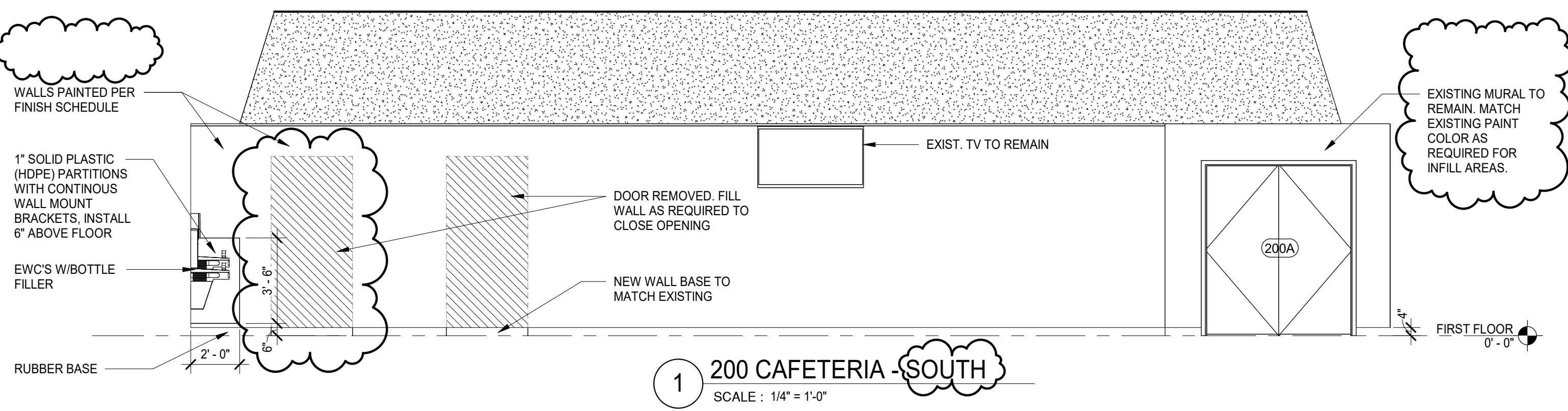
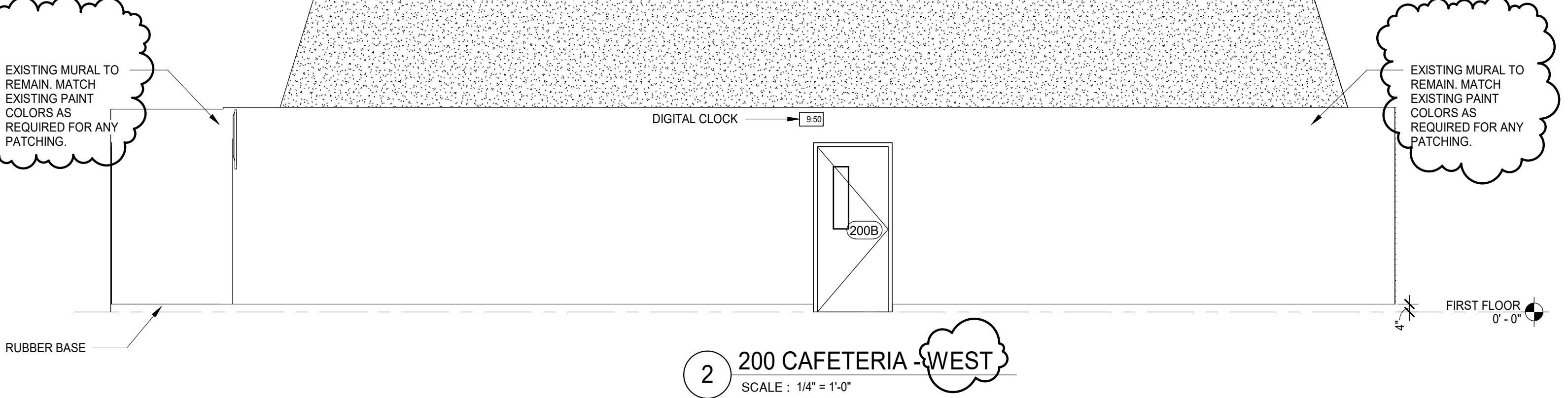
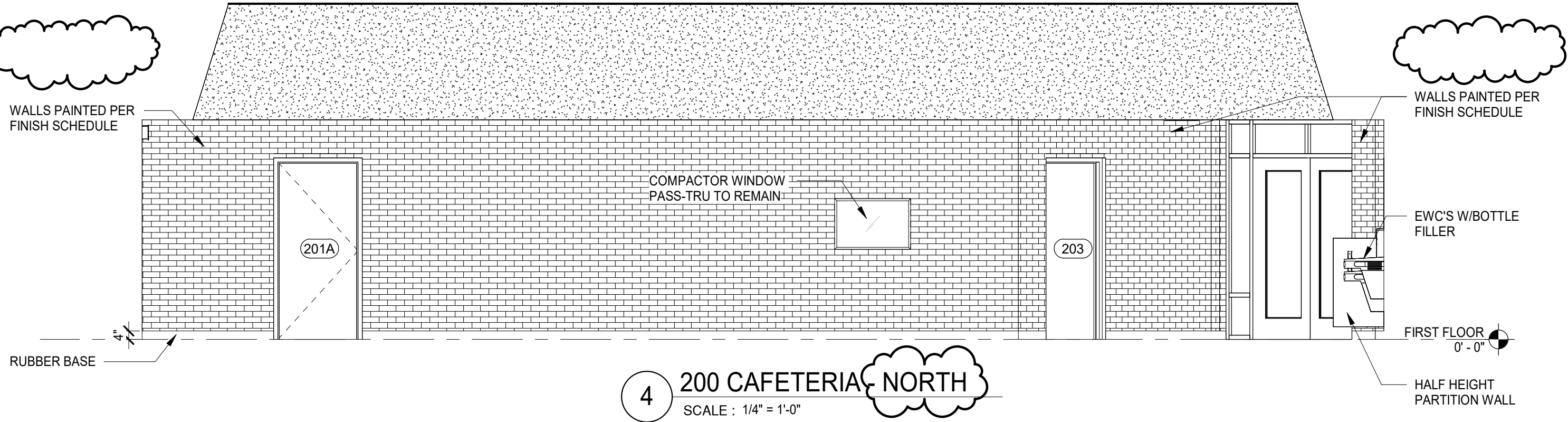
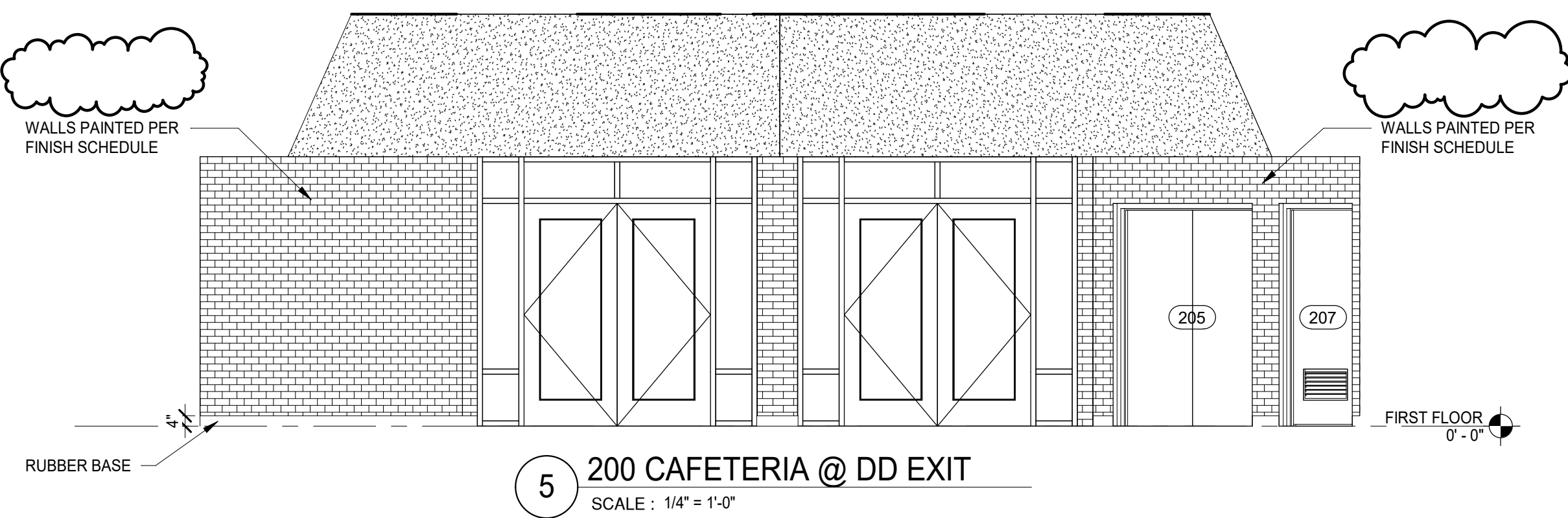
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PROJECT NUMBER: 25013752A
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DRAWN BY: S KHUMALO
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SHEET TITLE:

INTERIOR ELEVATIONS

SHEET NUMBER:
A422



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BASIS OF DESIGN

09 51 13 ACOUSTIC CEILING PANEL

ACP-1
MANUFACTURER: ARMSTRONG
STYLE: SCHOOL ZONE FINE FISSURED SQUARE LAY-IN
SIZE: 2' X 2' PANEL
GRID: 15/16" PRELUDE - WHITE

ACP-2
MANUFACTURER: ARMSTRONG
STYLE: KITCHEN ZONE
SIZE: 2' X 4' PANEL
GRID: BASE BID: PAINT EXISTING GRID
ALTERNATE #1: NEW 15/16" PRELUDE GRID - WHITE

ACP-3
MANUFACTURER: ARMSTRONG
STYLE: SCHOOL ZONE FINE FISSURED SQUARE LAY-IN
SIZE: 2' X 2' PANEL
GRID: BASE BID: PAINT EXISTING GRID
ALTERNATE #1: NEW 15/16" PRELUDE GRID - WHITE

09 67 23 RESINOUS FLOORING

EP-1
MANUFACTURER: SHERWIN WILLIAMS
STYLE: RESUFLO DECOR FLAKE BC
COLOR: TBD. BY CLIENT FROM MANUF STANDARD COLORS

EP-2
MANUFACTURER: SHERWIN WILLIAMS
STYLE: POLY-CRETE SLB
COLOR: TBD. BY CLIENT FROM MANUF STANDARD COLORS

09 65 13 RESILIENT BASE AND ACCESSORIES

RB-1
MANUFACTURER: FLEXCO
TYPE: BASE 2000
SIZE: 4" COVE
COLOR: 024 STONE

09 91 23 INTERIOR PAINTING

P-1: FIELD - INTERIOR PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD. BY CLIENT
FINISH: PER SUBSTRATE
LOCATION: CAFETERIA

P-2: FIELD - INTERIOR PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD. BY CLIENT
FINISH: PER SUBSTRATE
LOCATION: KITCHEN

P-3: FIELD - INTERIOR PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD. BY CLIENT
FINISH: PER SUBSTRATE
LOCATION: RESTROOM (MEN)

P-4: FIELD - INTERIOR PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD. BY CLIENT
FINISH: PER SUBSTRATE
LOCATION: RESTROOM (WOMEN)

P-5: FIELD - INTERIOR PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD. BY CLIENT
FINISH: PER SUBSTRATE
LOCATION: CAFETERIA TECTUM

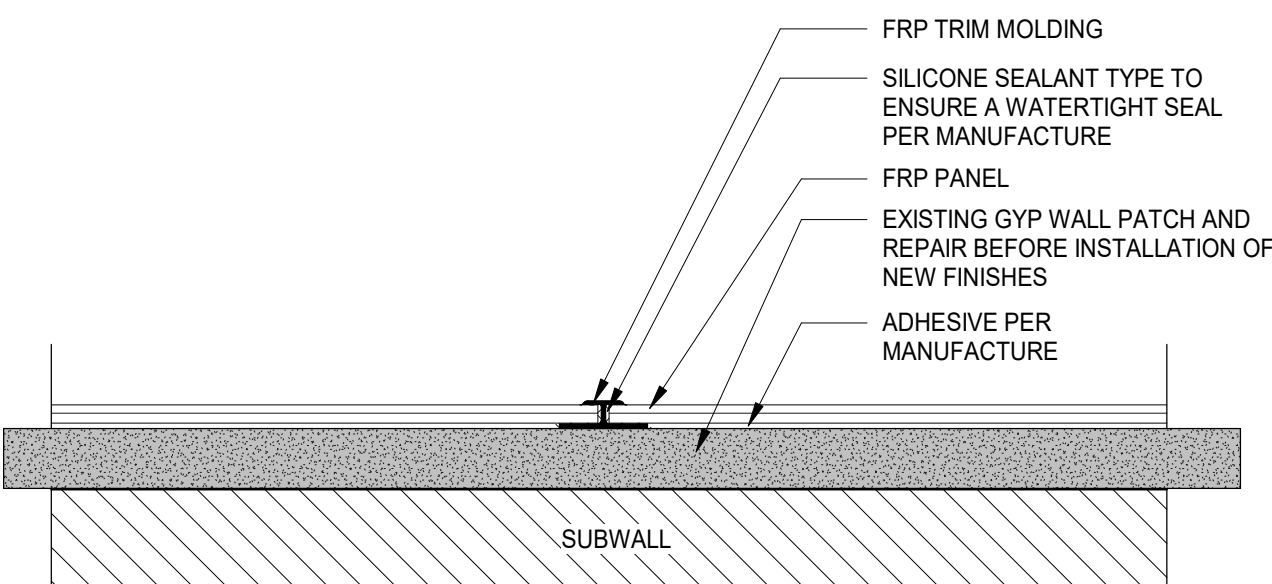
P-6: HOLLOW METAL DOOR FRAME PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TO MATCH EXISTING (USE DOOR 200A & B AS COLOR BENCH MARK)
FINISH: SEMI GLOSS
LOCATION: SEE DOOR SCHEDULE

06 82 00 GLASS FIBER REINFORCED PLASTIC

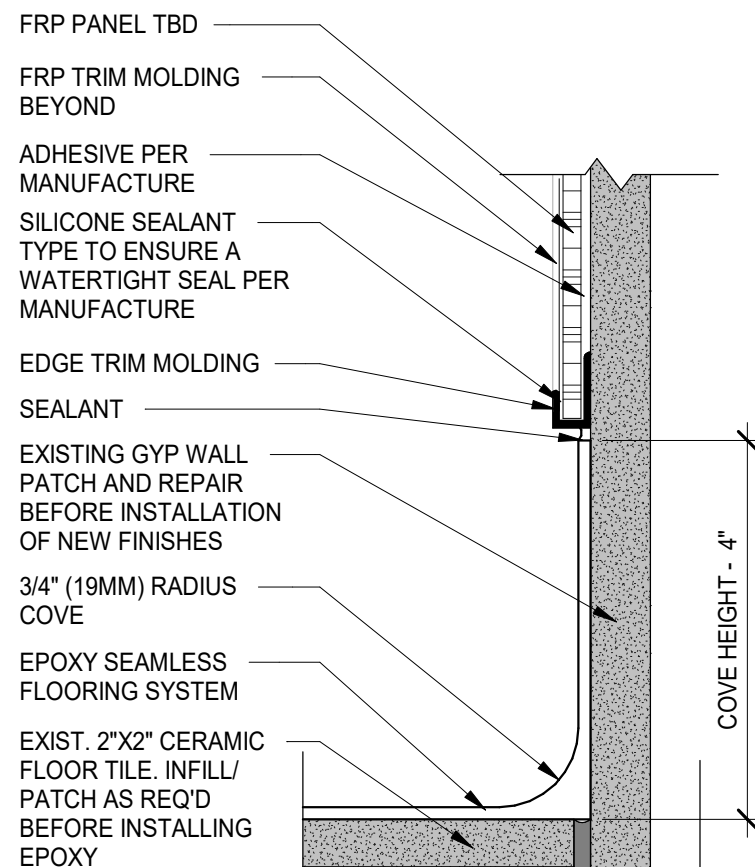
FRP-1: GLASS FIBER REINFORCED PLASTIC
MANUFACTURER: PANOLAM SERVICE SYSTEMS
COLOR: AS SELECTED FROM MANUFACTURER'S STANDARD RANGE
FINISH: MANUFACTURER'S STANDARD BUBBLE FINISH
LOCATION: RESTROOMS
NOTE: PROVIDE TRIMS AS REQUIRED FOR A COMPLETE INSTALLATION

ROOM FINISH SCHEDULE

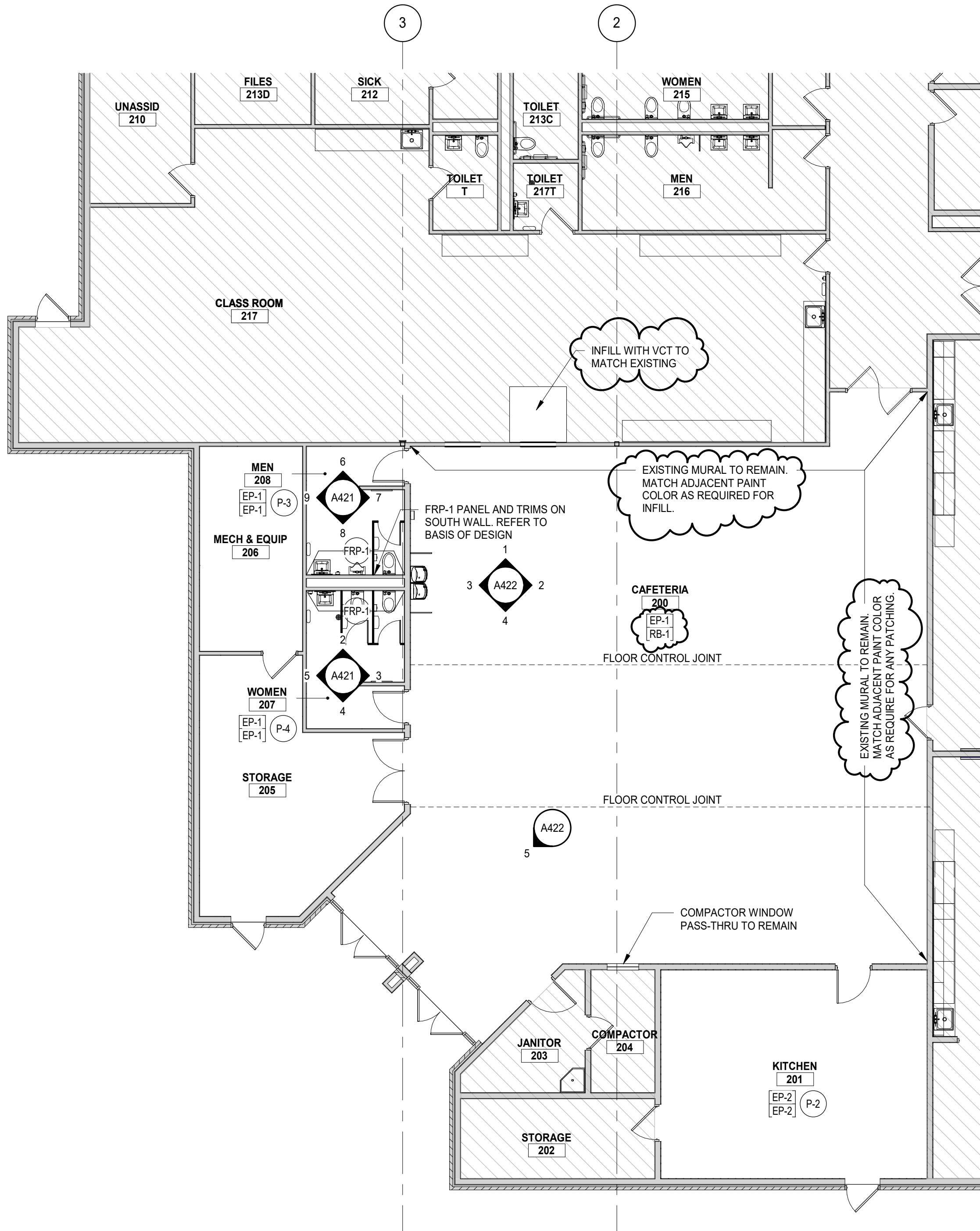
Level	ROOM		FLOOR	BASE	WALL FINISH				CEILING FINISH	REMARKS
	NUMBER	NAME			NORTH	SOUTH	EAST	WEST		
FIRST FLOOR	200	CAFETERIA	EP-1	EP-2	P-1	EXISTING MURAL	P-1	EXISTING MURAL	ACP-3	
FIRST FLOOR	201	KITCHEN	EP-2	EP-2	P-2	EXISTING MURAL	P-2	EXISTING MURAL	ACP-2	WASHABLE CEILING TILE
FIRST FLOOR	207	WOMEN	EP-1	EP-1	FRP-1	P-3	P-3	P-3	ACP-1	
FIRST FLOOR	208	MEN	EP-1	EP-1	P-4	FRP-1	P-4	P-4	ACP-1	



3 FRP PLAN DETAIL
SCALE : 6" = 1'-0"



2 RESTROOM RFP WALL BASE DETAIL
SCALE : 6" = 1'-0"

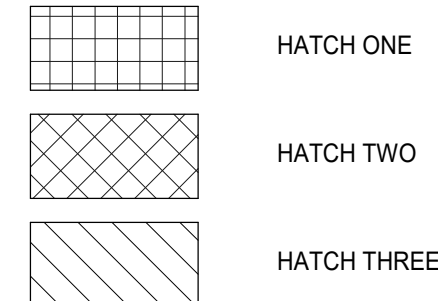


1 FIRST FLOOR FINISH PLAN
SCALE : 1/8" = 1'-0"

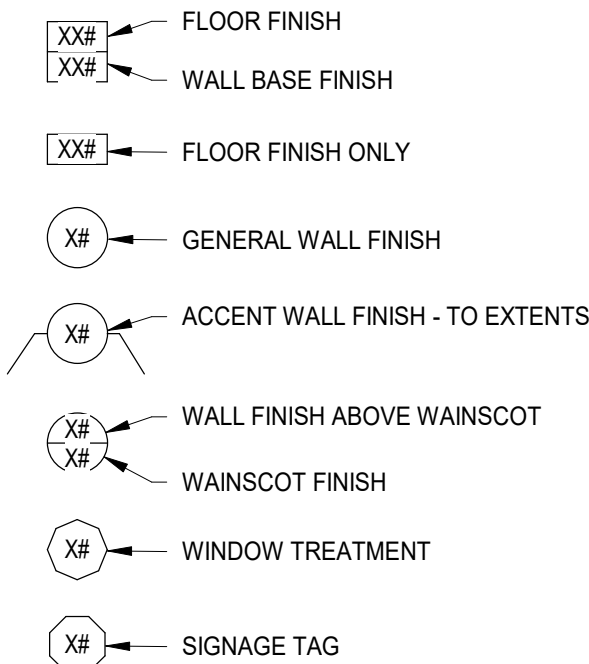
GENERAL NOTES

- COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
- PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
- REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
- FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER
- DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- PAINT DESIGNATIONS INDICATE COLOR ONLY. REFER TO SPECIFICATION FOR FINISH TYPE.
- EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
- WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - PREPARE/PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
 - FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
- PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION.
- INSTALL TILE PER THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS.
- PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION
- CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
- PROVIDE MOISTURE TEST ON FLOORING BEFORE INSTALLATION OF ANY FINISHES AND ENSURE PROPER RANGE FOR MANUFACTURER REQUIREMENTS.

FINISH HATCH LEGEND



FINISH SYMBOL LEGEND



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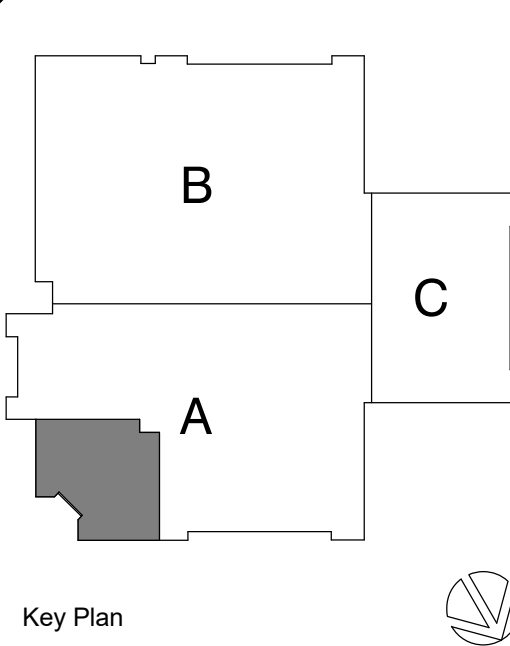
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DRAWN BY: S KHUMALO
PROJECT NUMBER: 25013752A
DRAWING NAME: REVIEWED BY: Approver

SHEET TITLE:
**FIRST FLOOR FINISH
SCHEDULE**

SHEET NUMBER:
A501

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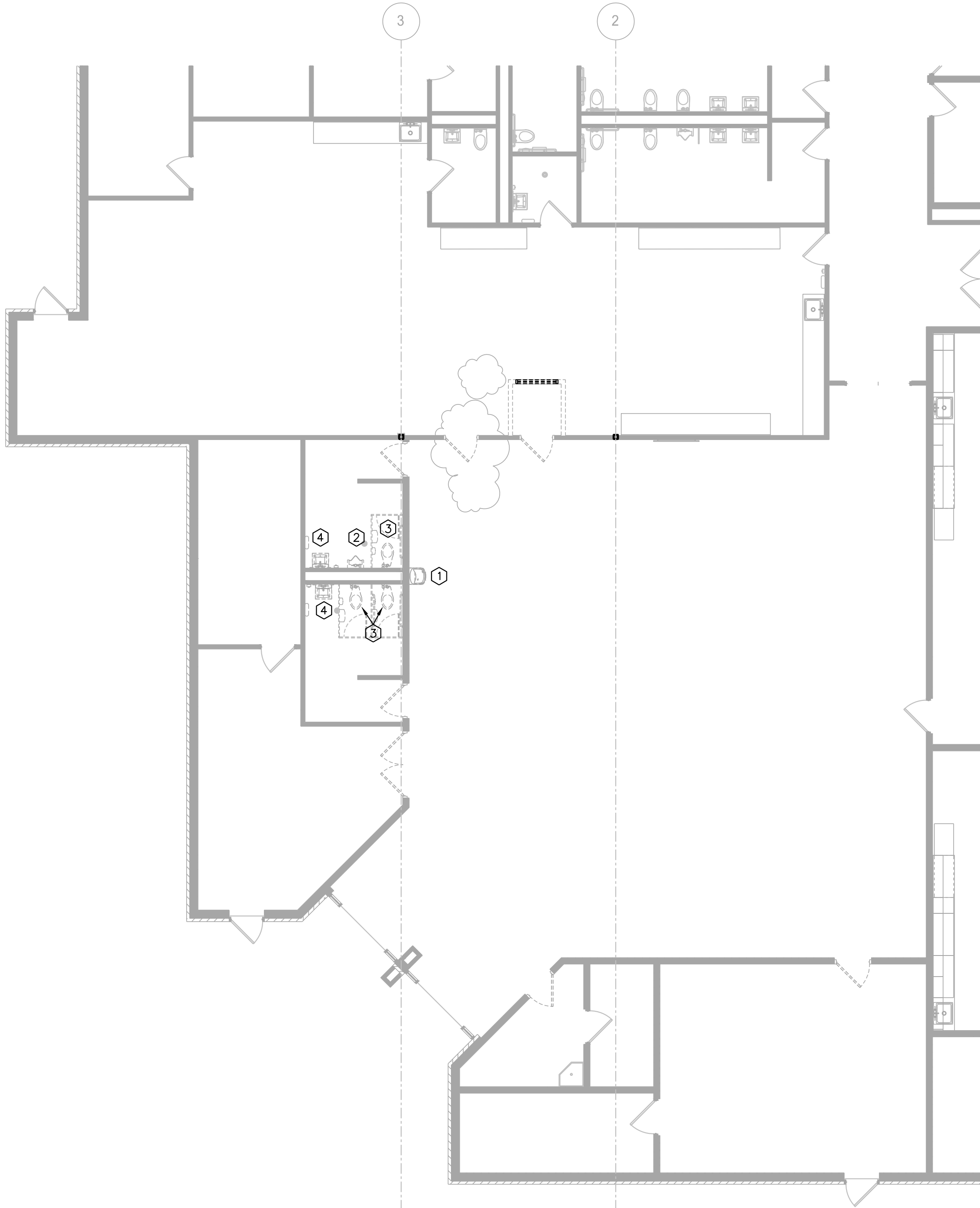
PLUMBING DEMOLITION NOTES

- 1
- REMOVE AND DISPOSE OF EXISTING ELECTRIC WATER COOLER. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW BI-LEVEL WATER COOLER.
- 2
- REMOVE AND DISPOSE OF EXISTING URINAL, CARRIER, AND FLUSH VALVE. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW URINAL.
- 3
- REMOVE AND DISPOSE OF EXISTING WALL-HUNG WATER CLOSET, CARRIER, AND FLUSH VALVE. EXISTING COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW WATER CLOSET.
- 4
- REMOVE AND DISPOSE OF EXISTING WALL-HUNG LAVATORY, CARRIER, AND FAUCET. EXISTING HOT & COLD WATER SUPPLY AND DRAIN TO BE REUSED FOR INSTALLATION OF NEW LAVATORY.

GENERAL NOTES:

1.
- P.C. SHALL FIELD INSPECT EXISTING FIXTURE CARRIERS AFTER REMOVAL OF FIXTURES AND MAKE ADJUSTMENTS AS NECESSARY TO ALLOW FOR PROPER INSTALLATION OF NEW FIXTURES.
2.
- PERFORM VISUAL SCOPE OF UG/INWALL PIPING FROM THE CAFETERIA AREA TO THE CENTER HALLWAY BY THE MAIN OFFICE. PROVIDE VIDEO RECORDING OF THE SCOPE FOR ENGINEER'S/OWNER'S REVIEW PRIOR TO START OF UNDERGROUND WORK.

1



FLOOR PLAN - PLUMBING DEMO

SCALE: 1/8" = 1'-0"

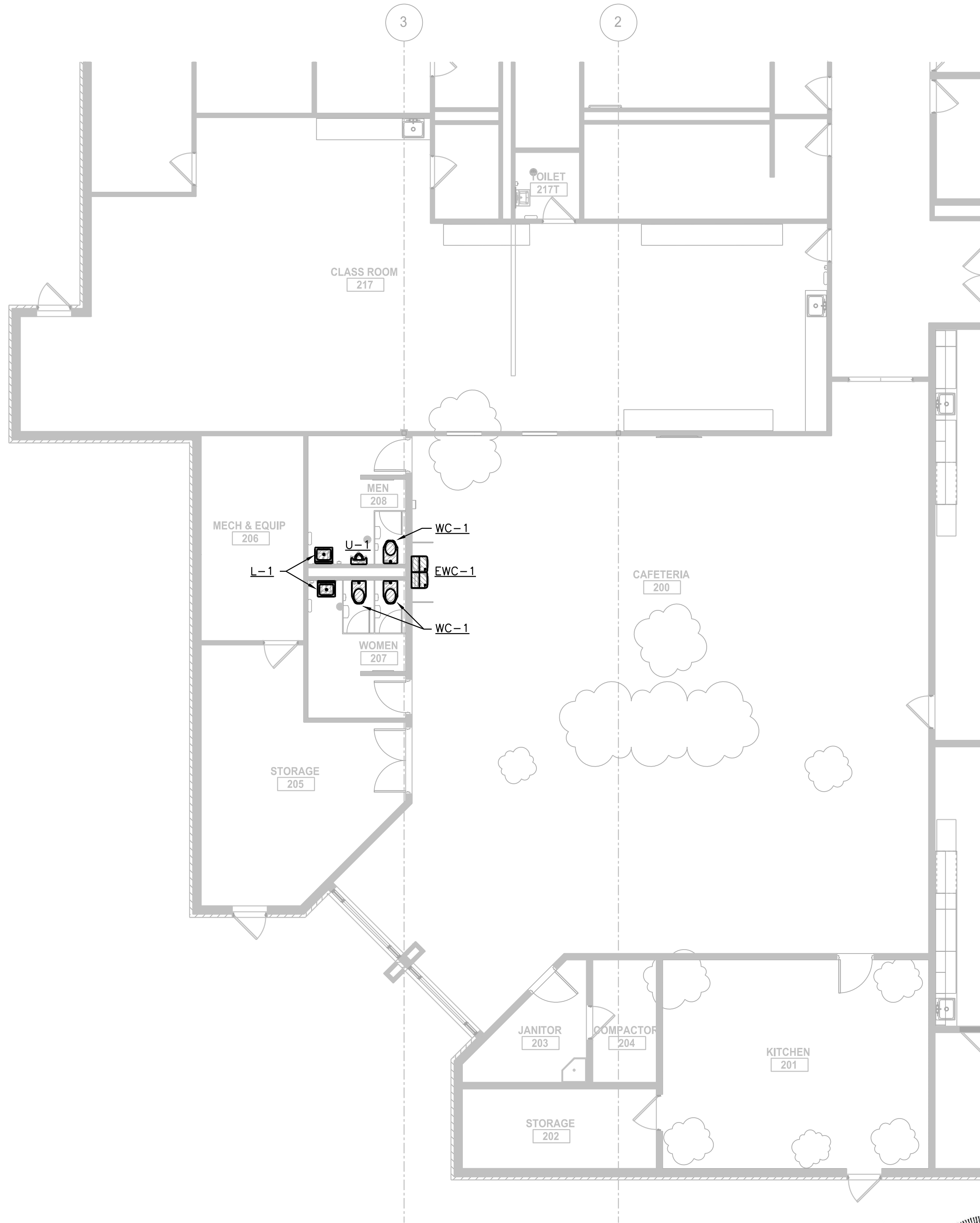
PLUMBING FIXTURE LIST

WC-1 WALL HUNG, VITREOUS CHINA, SIPHON JET, ELONGATED BOWL, BOLT CAPS, 16 1/8" RIM HEIGHT, 1 1/2" TOP SPUD, KOHLER MODEL K-4325. PROVIDE WITH MANUAL FLUSH VALVE, SLOAN REGAL 111 XL CV 1.6 GPF, AND WHITE SOLID PLASTIC OPEN FRONT SEAT, LESS COVER, BEMIS 1955CT. PROVIDE WITH JAY R SMITH ADJUSTABLE FIXTURE SUPPORT.

U-1 WALL MOUNTED, VITREOUS CHINA, SIPHON JET, WITH 3/4" TOP SPUD AND 2" OUTLET. KOHLER 4991-ET-0 BARDON. PROVIDE WITH MANUAL FLUSH VALVE, SLOAN REGAL 186, 1.0 GPF. AND CONCEALED WALL SUPPORT CARRIER. MOUNTING HEIGHT TO BE 15" MAXIMUM TO RIM OF FIXTURE.

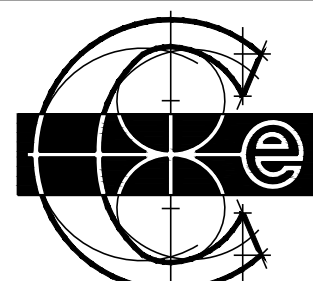
L-1 WALL MOUNTED, VITREOUS CHINA, 20"x18", FRONT OVERFLOW, 4" BACK AND 4" CENTERS. KOHLER KINGSTON K-2005, WHITE FINISH. PROVIDE WITH HANDS FREE, HARD-WIRED SENSOR FAUCET, ZURN Z6913-XL-CWB, 0.5 GPM AERATOR. INCLUDE HARDWIRED POWER CONVERTER AND MINI JUNCTION BOX WITH FAUCET. 3/8" LOOSE KEY OPERATED ANGLE STOPS AND CHECK VALVES. PERFORATED DRAIN STRAINER, TRAP ASSEMBLY AND PROTECTIVE PIPE COVERS. CARRIER TO HAVE CONCEALED ARMS, LEVELING AND SECURING SCREWS. PROVIDE A TEMPERING VALVE AT ALL ACCESSIBLE HANDWASHING FIXTURES THAT CONFORMS TO ASSE 1070.

EW-1 WALL MOUNTED, BARRIER FREE, FILTERED COOLER MODULE WITH BOTTLE FILLING STATION. HANDICAPPED FOUNTAIN SHALL BE MOUNTED TO PROVIDE AMPLE LEG ROOM AND EASY ACCESS FROM THE SITTING POSITION. HOUSING SHALL BE GRANITE VINYL FINISH WITH TYPE 304 STAINLESS STEEL TOP. MOTOR OVERLOAD PROTECTION, ANSI A 117.1-1992, U.L. LISTED AND ARI RATED. COOL 7.8 GPH TO 50 DEGREE F. WATER AT 90 DEGREE F. AMBIENT AND 80 DEGREE F. INLET WATER TEMPERATURE. ELKAY MODEL LZSTL8WSLK.



FLOOR PLAN - PLUMBING

SCALE: 1/8" = 1'-0"



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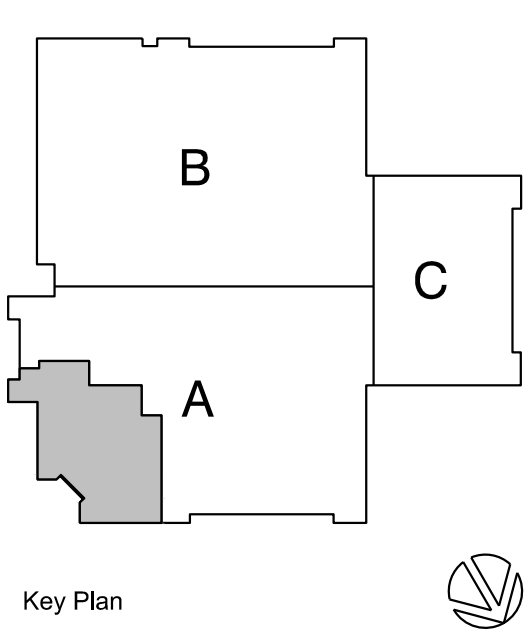
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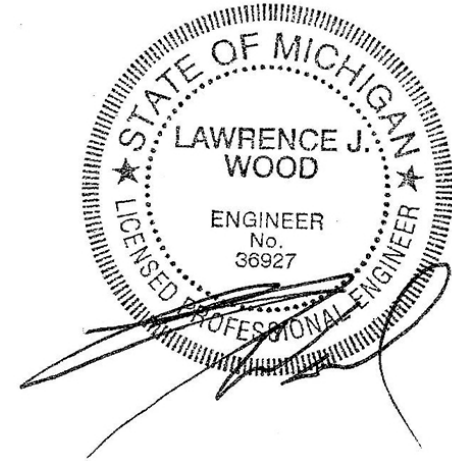
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PROJECT NUMBER:	DRAWING NAME:	REVIEWED BY:	
SHEET TITLE: FLOOR PLAN - PLUMBING			
SHEET NUMBER: P101			



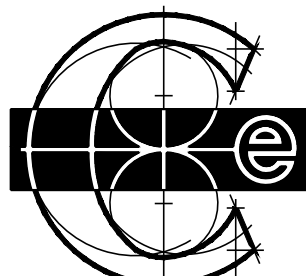
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MECHANICAL DEMOLITION NOTES

- ① REMOVE AND DISPOSE OF EXISTING 24"x24" LAY-IN SUPPLY DIFFUSER AND BRANCH FLEX DUCT. FURNISH AND INSTALL NEW D-1. REFER TO SCHEDULE AND NEW FLOOR PLAN.
- ② REMOVE EXISTING PERFORATED RETURN GRILLE. FURNISH AND INSTALL NEW G-1. REFER TO SCHEDULE AND NEW FLOOR PLAN.
- ③ REMOVE AND DISPOSE OF EXISTING 12"x12" SURFACE MOUNT SUPPLY DIFFUSER. FURNISH AND INSTALL NEW D-2 IN EXISTING LOCATION.
- ④ REMOVE AND DISPOSE OF EXISTING LOW WALL RETURN GRILLE. FURNISH AND INSTALL NEW G-2 IN EXISTING LOCATION. GRILLE IS APPROXIMATELY 24"x16". M.C. TO FIELD VERIFY EXACT SIZE AND FURNISH EQUIVALENT SIZE.
- ⑤ REMOVE AND DISPOSE OF EXISTING CEILING MOUNTED EXHAUST GRILLE. FURNISH AND INSTALL NEW 12"x12" G-3 IN NEW CEILING GRID.
- ⑥ REMOVE AND DISPOSE OF EXISTING WALL MOUNTED EXHAUST GRILLE. FURNISH AND INSTALL NEW 8"x8" G-3 IN WALL IN EXISTING LOCATION.
- ⑦ REMOVE EXISTING SPACE SENSOR AND RELOCATE WHERE SHOWN ON NEW FLOOR PLAN.

DIFFUSER, REGISTER AND GRILLE SCHEDULE					
MARK	SERVICE	MODEL	VOLUME DAMPER	FINISH	REMARKS
D-1	CEILING SUPPLY DIFFUSER	SMD-24x24	----	OFF-WHITE	①
D-2	CEILING SUPPLY DIFFUSER	SMD-12x12	----	OFF-WHITE	①
G-1	CEILING PERFORATED RETURN	PDDR-12x24	----	OFF-WHITE	①
G-2	LOUVERED RETURN GRILLE	530	----	OFF-WHITE	①
G-3	EGGCRATE RETURN GRILLE	82-1"x1"x1"	----	OFF-WHITE	①

① BASED ON PRICE



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Key Plan

A B C

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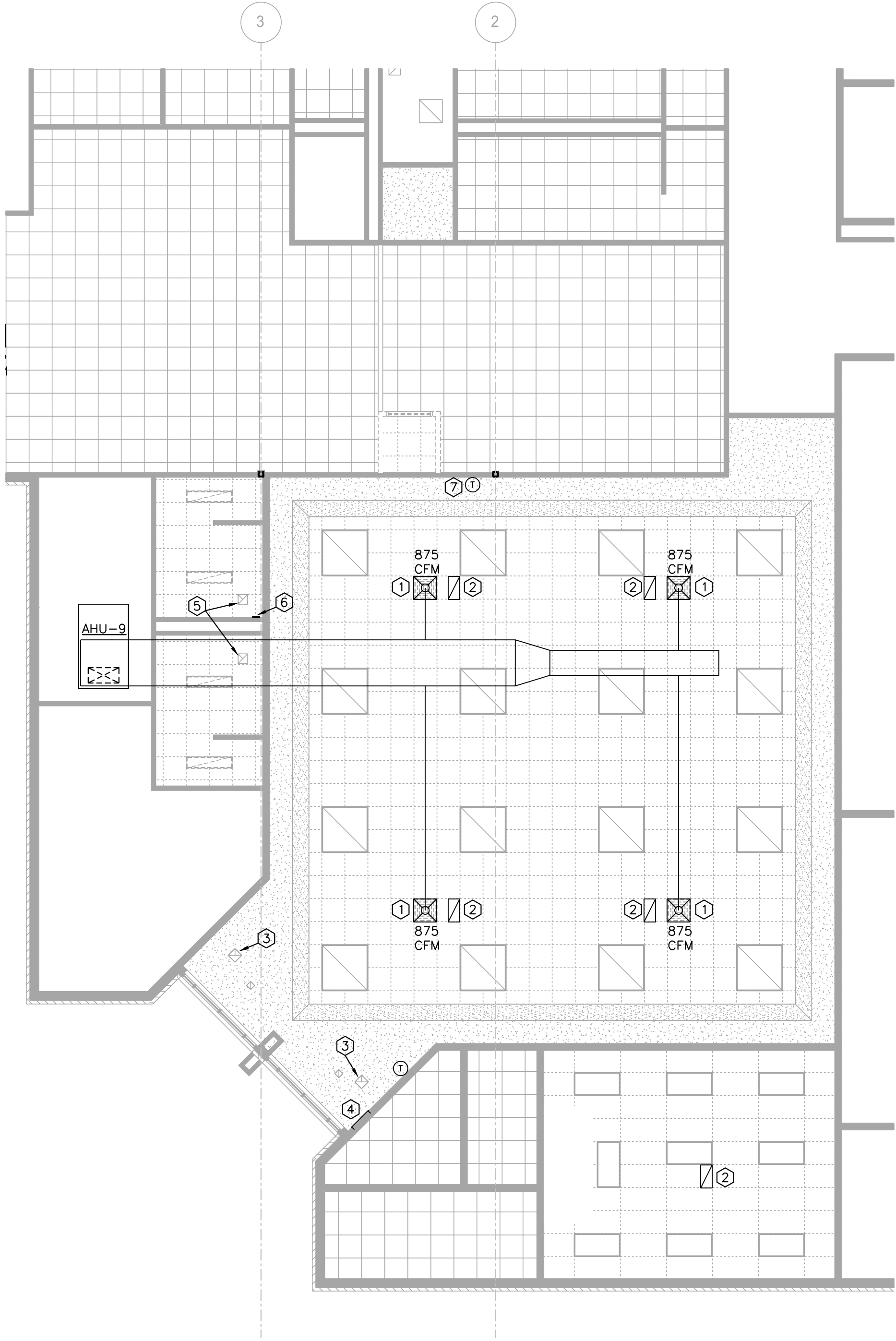
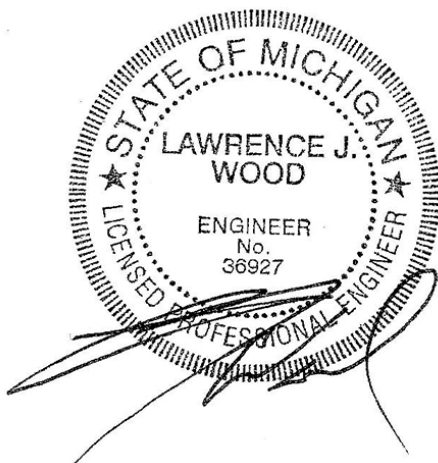
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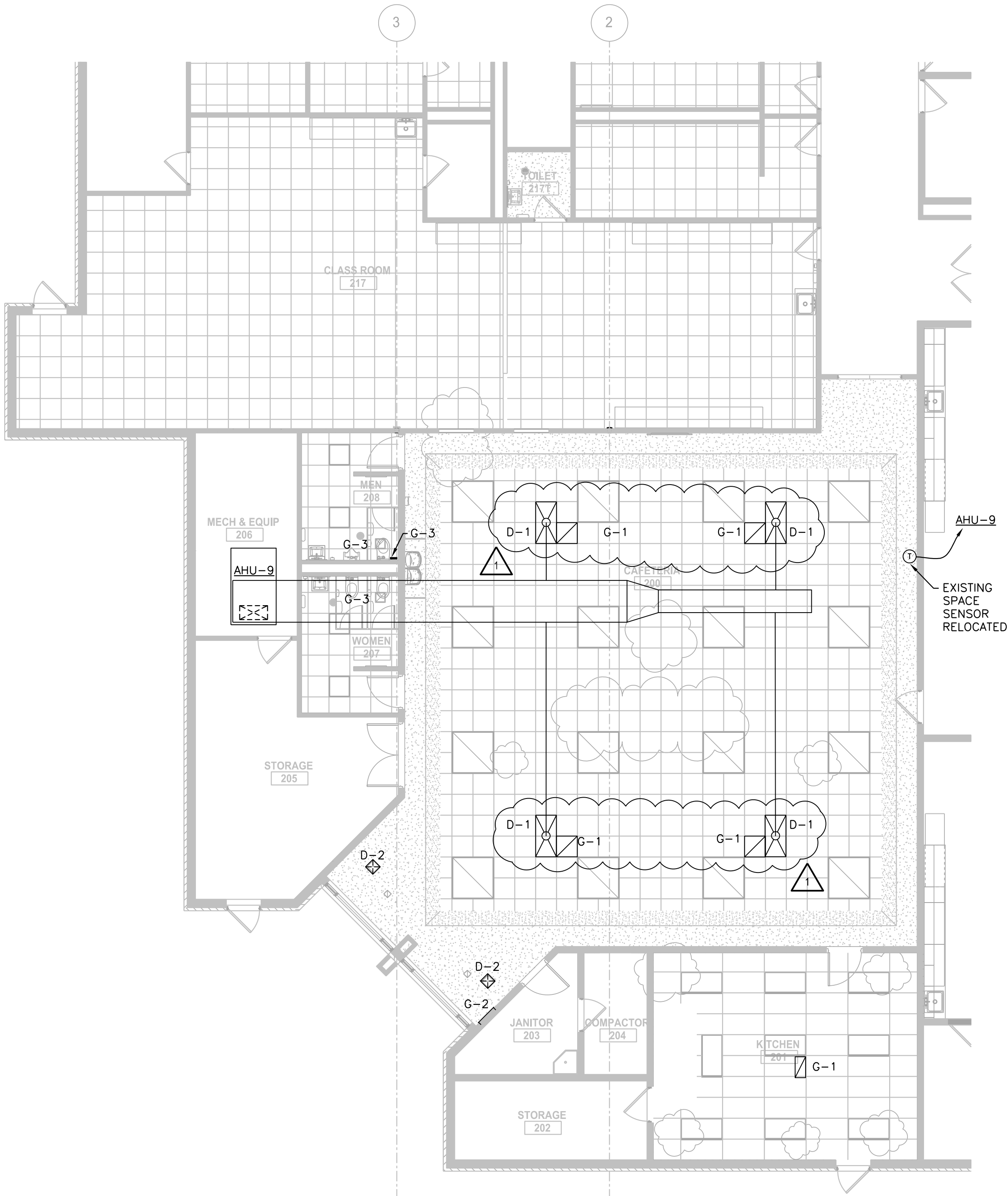
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SHEET TITLE: FLOOR PLAN - MECHANICAL

SHEET NUMBER: M101



FLOOR PLAN - MECHANICAL DEMO
SCALE: 1/8" = 1'-0"



FLOOR PLAN - MECHANICAL
SCALE: 1/8" = 1'-0"

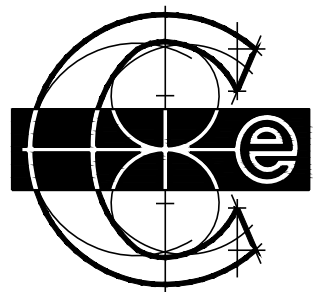
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GENERAL POWER NOTES:

1. CEILING GRID AND TILES TO BE REPLACED. EXISTING LIGHTING TO REMAIN.

DEMOLITION POWER KEYNOTES:

- 1 NO WORK IN THIS AREA.
2 REMOVE EXISTING LIGHTS, PULL WIRING BACK TO SOURCE.
3 REMOVE EXISTING CONDUIT AND RECEPTACLES FOR REFRIGERATORS THAT ARE TO BE REMOVED.
4 NOT USED.
5 REPLACE EXISTING CEILING MOUNTED OCCUPANCY SENSORS WITH NEW.
6 NOT USED.
7 EXISTING T.V. TO REMAIN.
8 REMOVE EXISTING WALL MOUNTED OCCUPANCY SENSOR.
9 REMOVE EXISTING 1X4 LIGHTS FROM RESTROOMS. DISPOSE OF PROPERLY.



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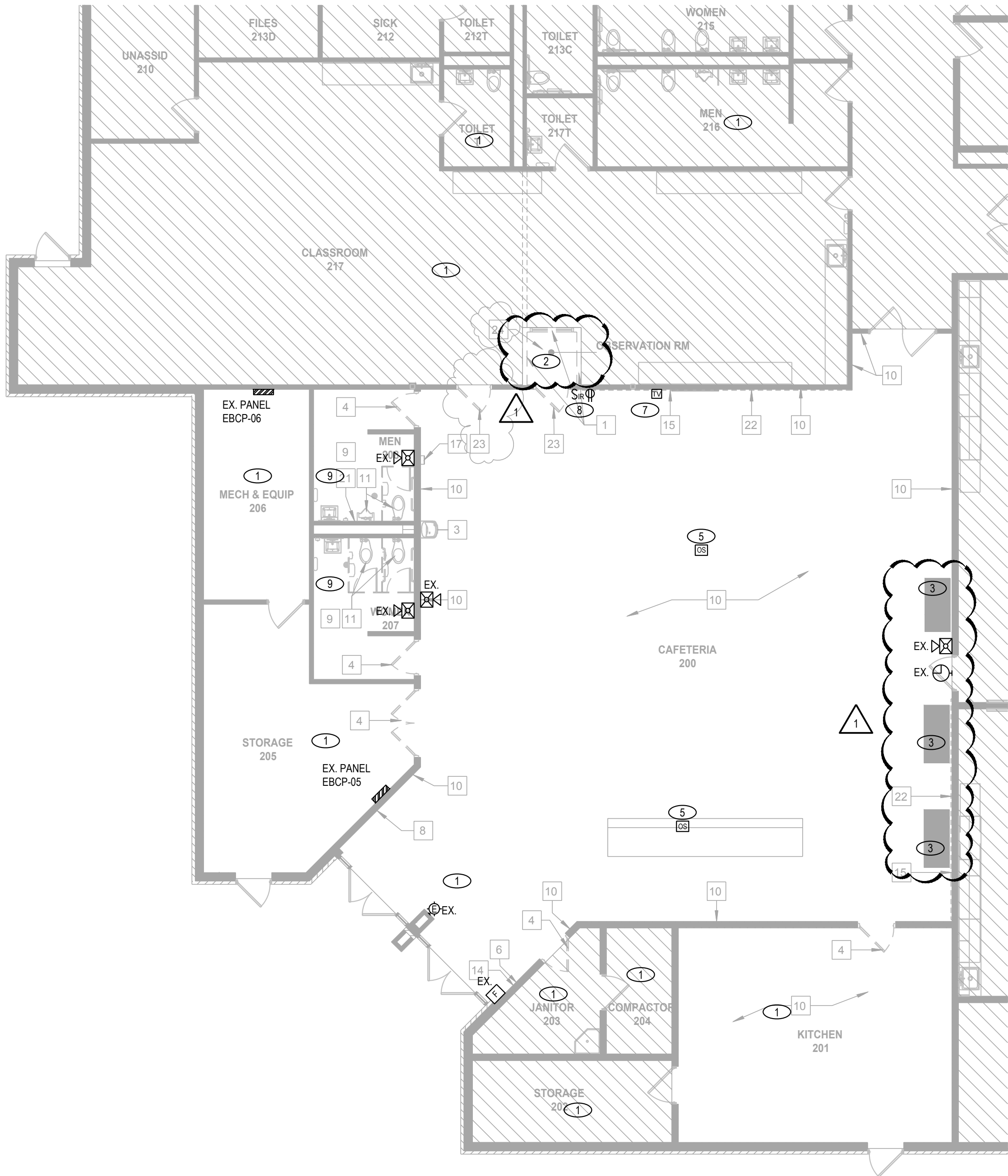
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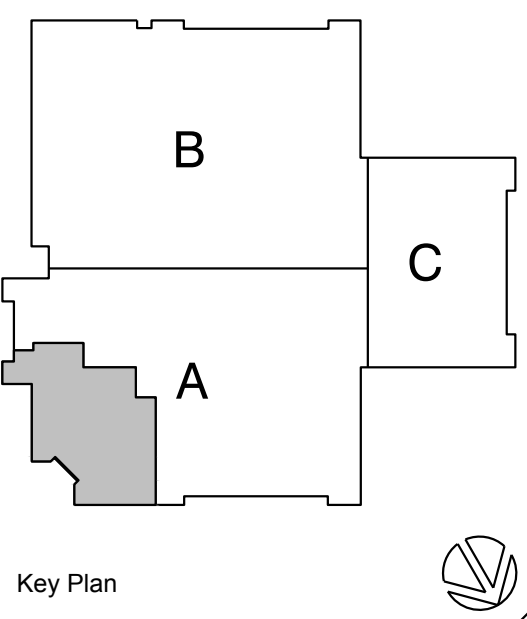
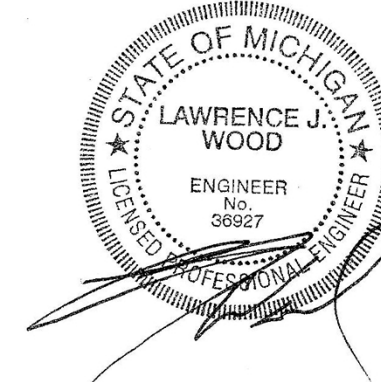
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FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"



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DEMOLITION

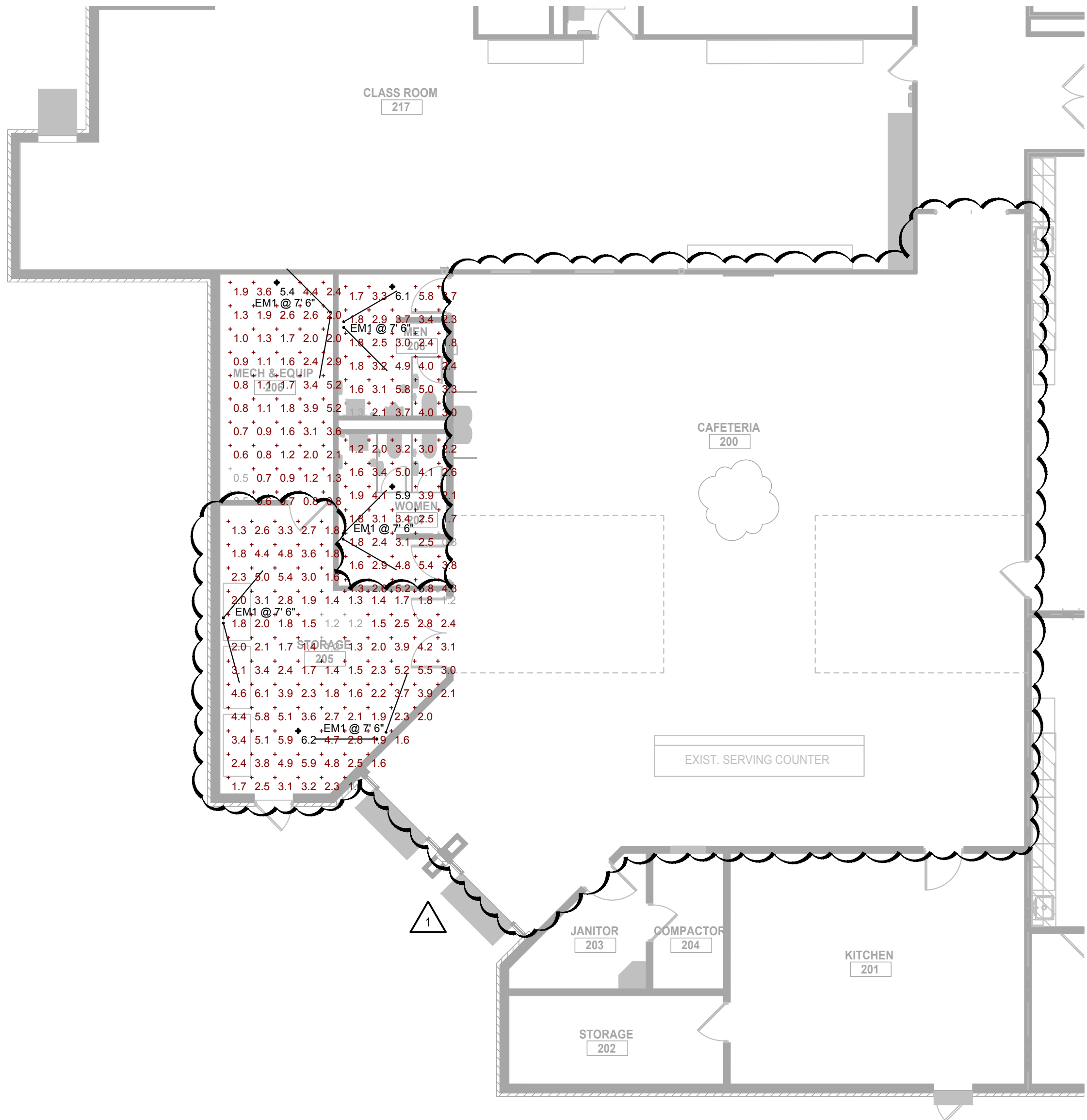
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LIGHT FIXTURE LEGEND								
FIXTURE TYPE	DESCRIPTION	MANU.	CATALOG PART#	FINISH	VOLTAGE	LAMPS	Wattage	REMARKS
A	2x2 LAY-IN W/ DIRECT CEILING MOUNT KIT	LITHONIA METALUX COLUMBIA	CPANL 2x2 ALD1 SWW7 M2 DCMK	WHITE	MVOLT	LED 3500K	30.4	NOTE 1,2
EM	EMERGENCY BUG EYE	LITHONIA ISOLITE WILLIAMS DUAL LITE	ELM2L-SDRT	WHITE	NA	LED	1	MOUNT AT 7'-6" AFF NOTE 1,2
GENERAL LIGHT FIXTURE SCHEDULE NOTES:								
1. VERIFY LIGHT FIXTURE FINAL SELECTION AND SPECIFICATIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING.								
2. EQUAL FIXTURES BY LITHONIA, METALUX, DAYBRITE OR OTHER PREAPPROVED MANUFACTURERS ARE ACCEPTABLE.								

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
○	EM1		5	Lithonia Lighting	ELM4L	ELM4L SP640L	1	345	1	2.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CLASS ROOM	+	3.2 fc	8.7 fc	1.3 fc	4.7:1	2.5:1
STORAGE 205	+	2.8 fc	8.2 fc	1.2 fc	5.2:1	2.3:1
WOMEN 207W	+	3.1 fc	5.9 fc	0.8 fc	7.4:1	3.9:1
MECH 206	+	3.0 fc	5.4 fc	0.5 fc	10.8:1	3.8:1

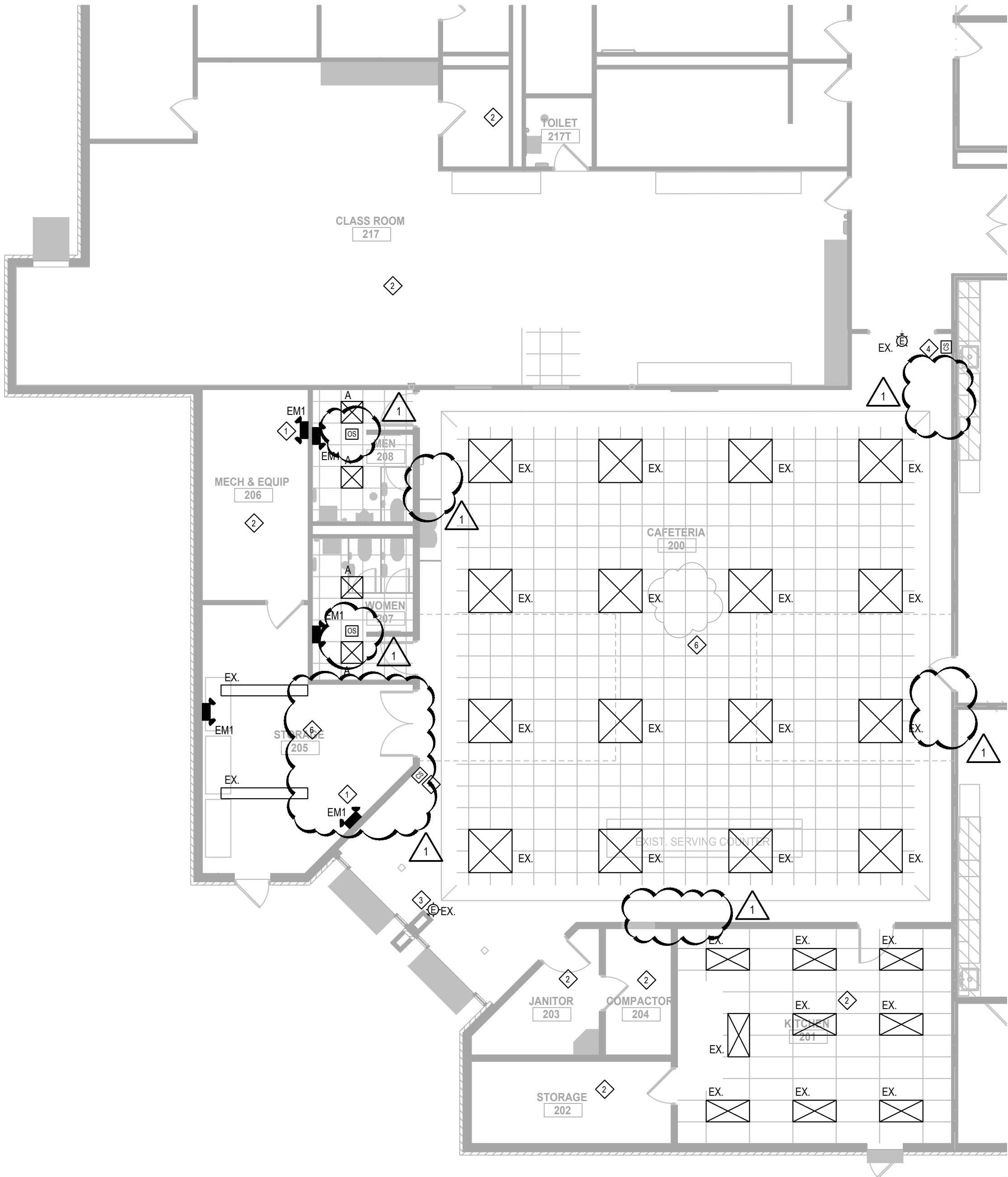


FLOOR PLAN - PHOTOMETRICS

SCALE: 1/8" = 1'-0"

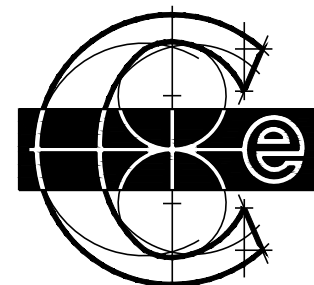
- GENERAL LIGHTING NOTES:
- CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
 - EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
 - LIGHTING CONTROL SHALL COMPLY WITH 2017 MICHIGAN ENERGY CODE WHERE APPLICABLE.
 - EMERGENCY LIGHTING IN CAFETERIA 200 IS EXISTING AND LIGHTING IS CONNECTED TO THE EMERGENCY GENERATOR.

- LIGHTING KEY NOTES:
- PROVIDE NEW BATTERY EMERGENCY LIGHTS WHERE PANELS ARE LOCATED THAT ARE TO BE UTILIZED FOR THIS PROJECT.
 - NO WORK IN THIS AREA.
 - EXISTING EXIT SIGNS TO REMAIN.
 - EXISTING LIGHTING CONTROL TO REMAIN IN CAFETERIA.
 - NOT USED.
 - EXISTING LIGHTING TO REMAIN UNLESS OTHERWISE NOTED.



FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



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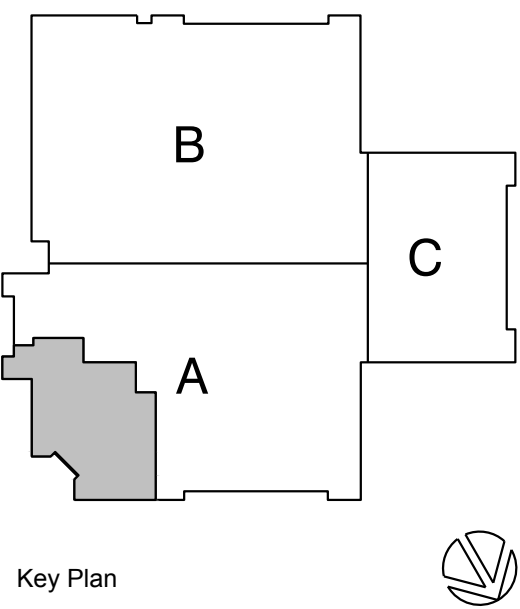
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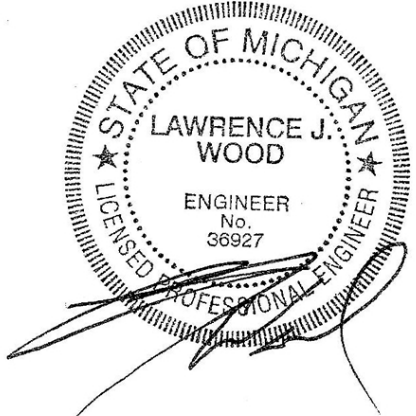
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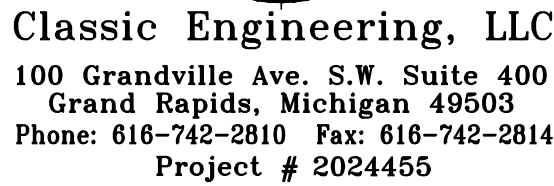
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LIGHTING

SHEET NUMBER:
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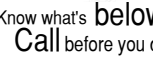
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SHEET TITLE: FLOOR PLAN -
POWER

SHEET NUMBER: FP101

1 NO WORK IN THIS AREA.

2 EXISTING CLOCK TO REMAIN

3 EXISTING FIRE ALARM DEVICE TO REMAIN.

4 E.C. TO COORDINATE FINAL LOCATION OF REFRIGERATORS WITH OWNER PRIOR TO ROUGH-IN.

5 PROVIDE GFCI CIRCUIT BREAKER FOR NEW RECEPTACLE.

6 PROVIDE GFCI CIRCUIT BREAKER FOR EXISTING RECEPTACLE.

7 EXISTING SERVING LINE DEVICES TO REMAIN.

8 120V AUTO FAUCET CIRCUIT. PROVIDE GFCI CIRCUIT BREAKER.

9 EXTEND EXISTING CIRCUIT TO NEW RECEPTACLES

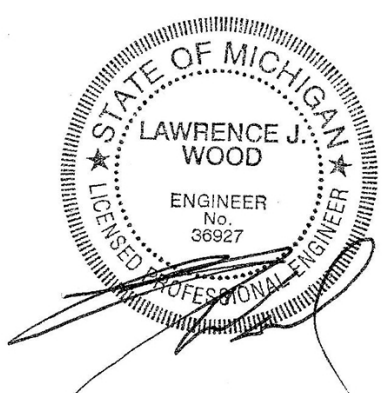
10 EXISTING TV TO REMAIN.

1. ALL 15A & 20A 120V NON-LOCKING RECEPTACLES WITH PUBLIC SPACES WHERE CHILDREN CAN BE FOUND SHALL BE LISTED TAMPER RESISTANT PER NEC 406.12. THIS INCLUDES SCHOOLS, ALL COMMON USE AREAS (CORRIDORS, GYM, MUSIC ETC.).

2. VERIFY ALL EQUIPMENT REQUIREMENTS, CONNECTION TYPES, AND LOCATIONS WITH EQUIPMENT SUPPLIER AND NAMEPLATES PRIOR TO ROUGH-IN..

3. FIRE ALARM (FA) DEVICES, IF SHOWN, ARE EXISTING. FIRE ALARM DEVICES AND SYSTEM SHALL BE RECERTIFIED.

4. REPLACE ALL EXISTING RECEPTACLES AND COVER PLATES IN AREA OF WORK WITH NEW TAMPER PROOF GRAY DEVICES AND STAINLESS STEEL COVER PLATES.



SCALE: 1/8" = 1'-0"