



**BID PACK 2**

**GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852**

333 DAHLIA DRIVE  
LANSING, MI 48911

3/13/26

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**CODE REVIEW**

**PROJECT SCOPE**  
RENOVATION OF KITCHEN, SERVING, AND CAFETERIA SPACES TO UPDATE FINISHES, EQUIPMENT, AND LIGHTING.

**APPLICABLE BUILDING CODES**

BUILDING CODE: 2021 MICHIGAN BUILDING CODE  
2021 MICHIGAN REHABILITATION CODE

MI FIRE SAFETY STATE RULES: NFPA 101-2012  
2016 SCHOOL FIRE SAFETY RULES  
2021 MICHIGAN MECHANICAL CODE

MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE

PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE

ELECTRICAL CODE: 2023 MICHIGAN ELECTRICAL CODE, PART 8 RULES (BY REFERENCE 2023 NEC)

ACCESSIBILITY: BARRIER FREE - ICC A117.1-2017

ENERGY CODE: 2021 MICHIGAN ENERGY CODE

**BUILDING DATA**

CONSTRUCTION TYPE= IIB  
WHOLE BUILDING AREA: 322,384 SF  
CAFETERIA AREA: 9,802 SF  
KITCHEN AREA: 3,695 SF

**USE AND OCCUPANCY**

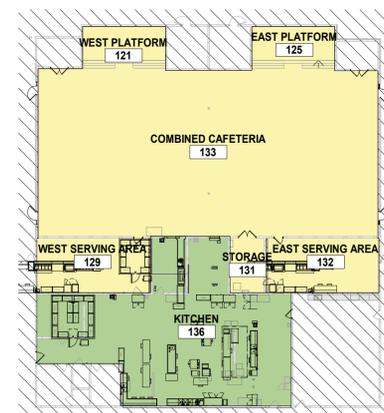
BUILDING IS CLASSIFIED AS "E" EDUCATION

**INTERIOR FINISH**

SECTION 803 INTERIOR FINISH AND TRIM: SPRINKLERED TABLE 803.11  
INTERIOR FINISHES AND TRIM SHALL MEET FLAME SPREAD, SMOKE DEVELOPED AND CLASS RATINGS AS REQUIRED FOR SPECIFIC USE AND AREA: E

REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

**PROJECT LOCATION MAP**



**PHASING LEGEND**

- PHASE 1 - TO BE COMPLETED SUMMER 2026
- PHASE 2 - TO BE COMPLETED SUMMER 2027

**1 PHASING DIAGRAM**  
SCALE: 1" = 30'-0"



MI ARCHITECTURE  
FIRM LICENSE # NLP000605

DRAWING NUMBER:

**G000**

APPLICABLE CODES: COMPLIANCE WITH THE 2021 MICHIGAN BUILDING, REHABILITATION, AND ENERGY CONSERVATION CODES (BASED ON 2021 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2021 IPC) INCLUDING MICHIGAN ADDENDA AND ERRATA; 2023 MICHIGAN ELECTRICAL CODE, PART 8 RULES (BY REFERENCE, 2023 NEC); BOILER CODE (2019 ASME BOILER AND PRESSURE VESSEL CODES WITH ADDENDA); ELEVATOR CODE (2016 ASME 17.1, 2011 ASME A18.1 AND ELEVATOR SAFETY BOARD GENERAL RULES, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-17), AND OTHER LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.

BUILDING CODE SUMMARY

PROJECT INFORMATION: PROJECT NAME: DWIGHT RICH CAFETERIA RENOVATIONS, PROJECT NUMBER: 25015929A/25015928A, PREPARED BY: E POST, CHECKED BY: C NORRIS, DATE: 2/19/20

REHABILITATION OF EXISTING STRUCTURES: PER THE 2021 MICHIGAN RAHABILITATION CODE FOR EXISTING BUILDINGS (2021 EIBC), ALTERATIONS - LEVEL 1, ALTERATIONS - LEVEL 2, ALTERATIONS - LEVEL 3, CHANGE OF OCCUPANCY, FORMER OCCUPANCY CLASSIFICATION(S), NEW OCCUPANCY CLASSIFICATION(S), PARTIAL CHANGE OF OCCUPANCY, ADDITIONS, SEPARATED ADDITION, HISTORIC BUILDING, RELOCATED BUILDING, ACCESSIBILITY UPGRADES.

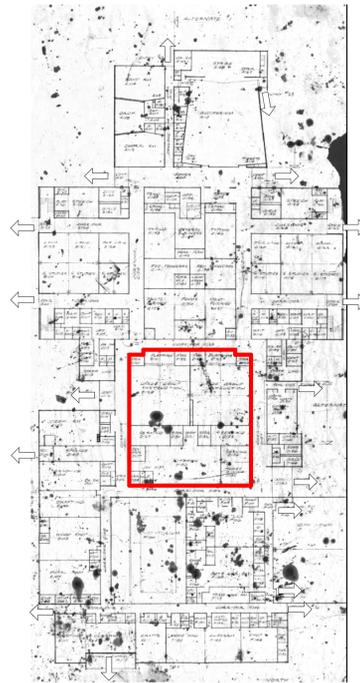
OCCUPANCY CLASSIFICATION AND MIXED OCCUPANCIES: SINGLE, MIXED OCCUPANCY, ACCESSORY - GROUP, SEPARATED, NON-SEPARATED, COMBINATION, IF SEPARATED, FIRE RESISTANCE RATING OF FIRE BARRIER, OCCUPANCY CLASSIFICATION(S), USES: AREA OF WORK IS KITCHEN/SERVING (B/M) AND CAFETERIA (A-2)

AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT BUILDING: PARTIAL/LIMITED-AREA SPRINKLER SYSTEM: NFPA STANDARD: 13, 13R, ALT. FIRE PROTECTION SYSTEM.

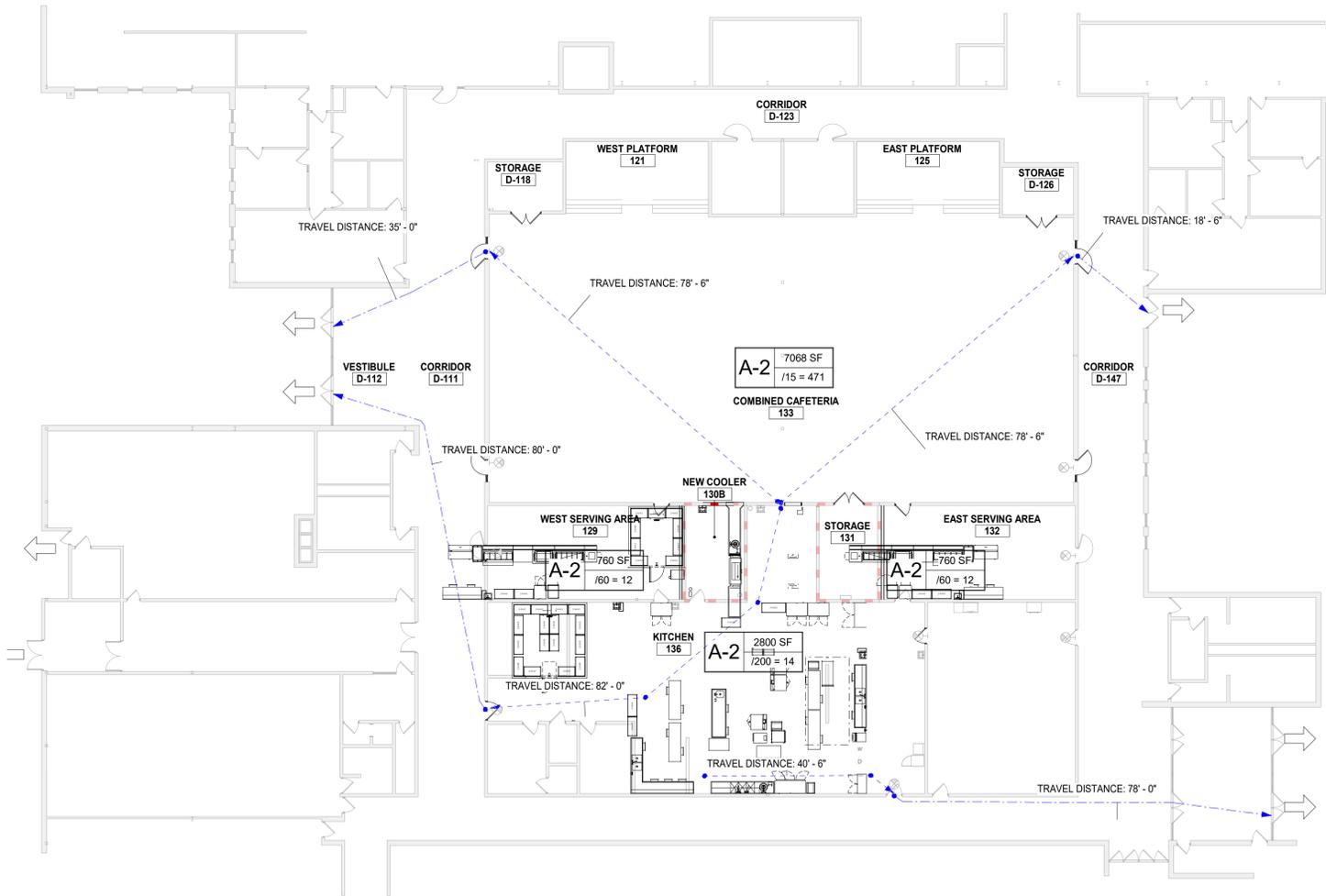
CONSTRUCTION TYPE: II (000) SECTION 601, FIRE RESISTANCE OF BUILDING ELEMENTS: TABLE WITH BUILDING ELEMENTS, REQUIRED, PROVIDED, SECTION

INTERIOR FINISH: WALL AND CEILING, OCCUPANCY: FINISH CLASS, LOCATION, CHECKBOXES FOR EXITS, CORRIDORS/EXIT ACCESS, ROOMS/SPACES

FLOORING: FINISH CLASS, OCCUPANCIES, CHECKBOXES FOR ALL, GROUPS, DOC FF-1

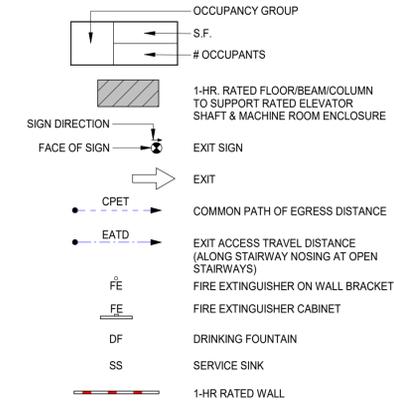


2 LIFE SAFETY PLAN - OVERALL EXISTING SCALE: 6" = 1'-0"



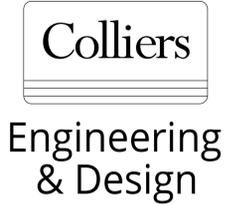
1 LIFE SAFETY PLAN - AREA OF WORK ALL TRAVEL DISTANCE AND EGRESS IS EXISTING SCALE: 1/16" = 1'-0"

PHASING LEGEND



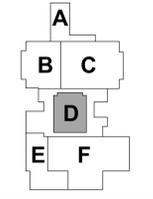
GENERAL NOTES

- 1. APPLICABLE CODES: A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION. 2. COMPLIANCE: A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. B. OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK. 3. CERTIFICATIONS: A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE.



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Revision table with columns: REV, DATE, DESCRIPTION. Row 3: 03/13/26, BID PACK 2 - BIDS & PERMITS



LANSING SCHOOL DISTRICT BID PACK 2 GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852 333 DAHLIA DRIVE LANSING, MI 48911 MI ARCHITECTURE FIRM LICENSE # NLP000605

Colliers Engineering & Design GRAND RAPIDS 560 5th St. NW Suite 305 Grand Rapids, MI 49504 Phone: 616.827.4270

PROJECT MANAGER: C NORRIS, DISCIPLINE LEAD: B HUYLER, DESIGNER: E POST, REVIEWER: DATE ISSUED: 3/13/26, PROJECT NUMBER: 26000752A

CODE COMPLIANCE & LIFE SAFETY PLANS

DRAWING NUMBER: G001

GENERAL ARCHITECTURAL SYMBOLS

**VIEW TITLE**  
 DETAIL NO. DRAWING NO.

**DETAIL CALLOUT**  
 DETAIL NO. DRAWING NO.

**SECTION MARKER**  
 SECTION NO. DRAWING NO.

**ELEVATION MARKER**  
 ELEVATION NO. DRAWING NO.

**DETAIL SECTION**  
 DETAIL NO. DRAWING NO.

**ACCESSORY MARKER**

**DOOR MARKER**

**WINDOW TYPE MARKER**

**ROOM TAG**  
 Room name

**SCHEDULED DOOR**

**EXISTING DOOR**

**BREAK MARKER**

**NORTH ARROW**

**NEW COLUMN ID**

**EXISTING COLUMN ID**

**KEYNOTE**

**KEYNOTE (REMOVALS)**

**EQUIPMENT TAG**

**ELEVATION NOTATION**

**CEILING HEIGHT**

MATERIAL INDICATORS

	UNDISTURBED EARTH		STEEL
	GRAVEL OR CRUSHED STONE		RIGID INSULATION
	CAST STONE		BRICK
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT		SAND OR GYPSUM BOARD
	EXISTING		FINISH WOOD
	WOOD FRAMING (CONTINUOUS)		BATT INSULATION
	WOOD BLOCKING (DISCONTIN.)		

WALL STYLES

	EXISTING BRICK WALL		BRICK WALL
	EXISTING CMU WALL		CMU WALL
	EXISTING STUD WALL		STUD WALL
	EXISTING WALL REMOVAL		

PARTITION NOTES

- WALLS**
- A. DIMENSIONS:**
- STUD WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED IN A.c. OR A.d. BELOW.
  - MASONRY WALLS ARE TO FACE OF MASONRY.
  - EXISTING CONSTRUCTION ARE TO FINISHED FACE OF CONSTRUCTION.
  - WHERE NOTED AS "CLR" DIMENSIONS ARE TO FINISHED SURFACE AND ARE CRITICAL FOR ACCESSIBILITY REQUIREMENTS OR BUILT-IN FURNISHINGS.
- B. RATINGS:**
- SMOKE WALLS AND SMOKE BARRIERS:** SMOKE WALLS AND SMOKE BARRIERS MUST FORM A COMPLETE BARRIER TO LIMIT THE TRANSFER OF SMOKE, INCLUDING PERIMETER DETAILS, PENETRATIONS, AND AS REQUIRED BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES. THE MEMBRANE IS TO BE CONTINUOUS THROUGH ALL CONCEALED SPACES.
    - RECESSED CABINETS, OUTLET BOXES, AND OTHER PENETRATIONS MUST BE SEALED
    - OPENINGS AROUND PENETRATIONS ARE TO BE SEALED.
    - ALL EXPOSED JOINTS, ANGLES, AND ABUTMENTS IN THE SYSTEM, INCLUDING FLOOR AND ABOVE CEILING MUST BE TAPED AND FINISHED.
    - SEAL THE INTERFACE BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES.
  - FIRE WALLS AND FIRE BARRIERS:** FIRE WALLS AND FIRE BARRIERS MUST BE SIMILARLY CONSTRUCTED AS A COMPLETE BARRIER TO RESIST THE SPREAD OF SMOKE AND FIRE. PENETRATIONS MUST BE SEALED AND LABELED WITH AN APPROVED FIRE RESISTANT JOINT SYSTEM. INSTALL A FIRE RESISTANT JOINT SYSTEM AT THE HEAD AND FLOOR CONDITION OF FIRE RATED WALLS AND BARRIERS.
  - FIRE AND SMOKE WALL / BARRIER / WALLS LABELING:** PROVIDE LABELS ABOVE ACOUSTIC CEILINGS IN LETTERS AT LEAST 2-INCHES IN HEIGHT AND NO MORE THAN 10-LINEAL FEET ALONG THE WALL. LABELS SHALL BE PLACED IN SUCH A MANNER AS TO BE OBVIOUS TO WORKERS IN THE CONCEALED SPACE ON BOTH SIDES OF THE WALL AND WILL READ AS FOLLOWS: "X" HR. FIRE [SMOKE] WALL [BARRIER] (WALL). PENETRATIONS MUST BE FIRE [SMOKE] STOPPED. PROVIDE LABELING AT 12" O.C. SPACING. ELECTRICAL, MECHANICAL OR PLUMBING PENETRATIONS THROUGH FIRE-RATED WALL OR FLOOR ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM APPROPRIATE FOR THE RATING OF THE WALL BEING PENETRATED. SUBMIT PROPOSED U.L. NUMBERS AND DETAILS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - ACOUSTICAL WALLS:** WALLS INDICATED WITH ACOUSTICAL BATT, AND/OR A GIVEN AN STC RATING, SHALL BE CONSTRUCTED TO MINIMIZE SOUND TRANSMISSION AS FOLLOWS:
    - PROVIDE ACOUSTICAL SEALANT AT ALL FLOOR AND HEAD LEVELS, EACH SIDE OF THE WALLS.
    - SET TRACK IN 3 CONTINUOUS BEADS OF ACOUSTICAL SEALANT.
    - EXTEND SOUND BATTS THOROUGH ANY INTERSECTING WALLS.
    - STAGGER OUTLETS A MINIMUM OF 24 INCHES HORIZONTAL. DO NOT INSTALL MORE THAN ONE OUTLET IN A COMMON STUD CAVITY. SEAL JOINTS AROUND OUTLETS WITH ACOUSTICAL SEALANT.
- C. GYPSUM BOARD WALL COMPONENTS AND ACCESSORIES:**
- WALL TYPES DO NOT INDICATE FINAL FINISHES. REFER TO FINISH PLANS AND FINISH SCHEDULE.
  - GYPSUM BOARD SHALL BE TYPE "X" FIRE RATED WITH:
    - LEVEL 1 FINISH AT JOINTS WHICH WILL REMAIN CONCEALED. PROVIDE GALVANIZED STEEL CORNER BEADS AT CORNERS.
    - LEVEL 3 FINISH WHERE WALLS EXPOSED TO VIEW SCHEDULED FOR PAINT IN SERVICE SPACES (eg. TELE / DATA CLOSETS, MECHANICAL ROOMS, JANITOR CLOSETS, STORAGE ROOMS).
    - LEVEL 4 FINISH WHERE EXPOSED TO VIEW UPON PROJECT COMPLETION U.N.O.
    - LEVEL 5 FINISH AT GRAPHIC CORRIDOR, AS WELL AS DRY ERASE AND CHALK BOARD PAINTED AREAS. REFER TO FINISH LOCATION ON PLANS, AND COORDINATE WITH DESIGNER IN THE FIELD.
  - PROVIDE MOISTURE/ MOLD / ABUSE RESISTANT GYPSUM BOARD AT WALLS IN TOILET ROOMS, JANITORS CLOSETS AND ANY ROOM WHERE MOISTURE CONDITIONS WILL OCCUR AND NOT RECEIVING TILE FINISH.
  - PROVIDE GLASS MATT GYPSUM BOARD AT WALLS DIRECTLY ADJACENT TO LIVING WALL ELEMENT AND AT ALL WET AREAS (SHOWER ROOMS, COMMUNAL KITCHEN/DISHWASHER, ETC) GLASS MAT GYPSUM BOARD SHALL RECEIVE FIBERGLASS TAPE AND FINISH AS RECOMMENDED BY MANUFACTURER.
  - LOCATIONS WHERE GYPSUM BOARD WALLS TERMINATE AT DISSIMILAR MATERIALS. PROVIDE A FINISHABLE METAL END TRIM AND A 1/4" GAP BETWEEN TRIM AND ADJACENT MATERIAL. FILL GAP WITH BACKER ROD AND SEALANT.

GENERAL NOTES WITHOUT PROJECT MANUAL

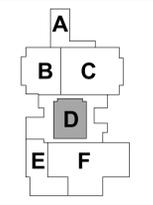
- ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS IN THIS SET GENERAL**
- DEFINITIONS: "PROVIDE" MEANS FURNISH AND INSTALL. SUPPLY LABOR AND MATERIALS TO RESULT IN A FINISHED AND/OR OPERABLE SYSTEM.
    - CONTRACTOR RESPONSIBILITIES:
      - MATERIALS, CONSTRUCTION METHODS INCLUDING BUT NOT LIMITED TO LAYOUT, COORDINATION, SCHEDULE AND CONSTRUCTION SITE ACCESS AND WORK.
      - DAILY CLEANING: KEEP SITE FREE FROM WASTE, RUBBISH, AND DEBRIS. REMOVE DAILY. WHEN WORK IS COMPLETE, LEAVE THE PREMISES BROOM CLEAN AND CLEAN FINISHED SURFACES, FIXTURES, GLASS, STOREFRONT, ETC.
      - FINAL CLEANING: PRIOR TO PUNCHLIST INSPECTION BROOM CLEAN ALL HARD SURFACE FLOORS, VACUUM ALL CARPETING AND WIPE DOWN ALL HORIZONTAL AND GLASS SURFACES PROVIDING A DUST FREE SURFACE.
      - TEMPORARY PROTECTION IS REQUIRED TO MAINTAIN ONGOING BUILDING OPERATIONS, EXITING PATHS, DUST CONTROL AND OCCUPANT SAFETY. IDENTIFY THE REQUIREMENTS FOR TEMPORARY PROTECTION AND PROJECT PHASING. COORDINATE WITH OWNER FOR OTHER REQUIREMENTS.
      - COORDINATE STARTUP AND ADJUSTING OF EQUIPMENT AND OPERATING COMPONENTS. START EQUIPMENT AND OPERATING COMPONENTS AND TEST TO CONFIRM PROPER OPERATION AND CONTROL. REMOVE MALFUNCTIONING UNITS, REPLACE WITH NEW UNITS, AND RETEST.
      - CLOSEOUT DOCUMENTS. CERTIFICATE OF RELEASE FROM THE AUTHORITY OF JURISDICTION AND INSURANCE FOR CONTINUING COVERAGE, WARRANTIES, TEST & INSPECTION RESULTS AND OPERATION, EMERGENCY & MAINTENANCE MANUALS.
    - EXISTING CONDITIONS: REVIEW EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
    - CONTRACT DOCUMENTS:
      - PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES ARE COMPLEMENTARY. PLAN DRAWINGS WILL TAKE PRECEDENCE OVER ELEVATION, SECTION AND DETAILS DRAWINGS IN ANY CONFLICTS OF HORIZONTAL DIMENSIONS. DETAIL PLAN DRAWINGS WILL TAKE PRECEDENCE OVER LARGER SCALE PLANS IN ANY CONFLICTS WITH HORIZONTAL DIMENSIONS. WALL AND BUILDING SECTIONS WILL TAKE PRECEDENCE OVER PLAN DRAWING AND DETAILS IN ANY CONFLICTS WITH VERTICAL DIMENSIONS. DETAILS AND WALL SECTIONS WILL TAKE PRECEDENCE OVER ELEVATION AND PLAN DRAWINGS IN ANY CONFLICTS WITH MATERIAL DESCRIPTION. SCHEDULES WILL TAKE PRECEDENCE OVER OTHER ARCHITECTURAL DRAWINGS IN AND CONFLICTS WITH WALL, FLOOR AND CEILING FINISHES AND DOOR, DOOR HARDWARE AND FENESTRATION INFORMATION.
      - DRAWINGS PREPARED BY THE ARCHITECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND, UNLESS OTHERWISE PROVIDED, COLLIERS ENGINEERING & DESIGN SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
      - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
  - FIELD CONDITIONS
    - REPAIR: EXISTING SURFACES TO REMAIN IMPACTED BY DEMOLITION TO MATCH EXISTING ADJACENT SURFACES.
    - DISCREPANCIES: NOTIFY ARCHITECT OF EXISTING DAMAGED OR DETERIORATED BUILDING ELEMENTS REVEALED DURING DEMOLITION OR CONSTRUCTION PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN THE AREA.
    - HAZARDOUS MATERIALS: A PRE-DEMOLITION ASBESTOS SURVEY IS REQUIRED PRIOR TO DEMOLITION OF SUSPECT BUILDING MATERIALS IN ACCORDANCE WITH OSHA 29 DFR 1926.1101, AND USEPA 40 CFR 61.145. A PRE-DEMOLITION ASBESTOS SURVEY IS NOT REQUIRED FOR BUILDINGS OR STRUCTURES FOR WHICH THE ORIGINAL CONSTRUCTION COMMENCED ON OR AFTER JANUARY 1, 1974. THERMAL SYSTEM INSULATIONS AND SURFACING MATERIALS FOUND IN BUILDINGS CONSTRUCTED NO LATER THAN 1980 SHALL BE CONSIDERED PRESUMED ASBESTOS CONTAINING MATERIALS (PACM) UNLESS PROVEN OTHERWISE BY APPROPRIATE BULK SAMPLING AND LABORATORY ANALYSIS CONDUCTED BY APPROVED LICENSED PERSONNEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL REGULATIONS. THE LANDLORD SHALL PROVIDE COPIES OF ANY ASBESTOS SURVEYS THEY HAVE ON FILE AT THE REQUEST OF THE CONTRACTOR.
    - SAFETY: FOLLOW THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) 29 CFR 1926.62. LEAD EXPOSURE IN CONSTRUCTION REGULATION. MATERIALS HAVING A CONCENTRATION EQUAL OR GREATER THAN 0.5% BY WEIGHT IN LEAD ARE CONSIDERED TO BE LEAD BASED. HOWEVER, OSHA CONSIDERS ANY AMOUNT OF LEAD ENCOUNTERED DURING CONSTRUCTION TO BE OF CONCERN. THE REGULATION STATES THAT THE EMPLOYER SHALL ASSURE THAT NO EMPLOYEE IS EXPOSED TO LEAD AT CONCENTRATIONS GREATER THAN FIFTY MICROGRAMS PER CUBIC METER OF AIR (50 MG/M<sup>3</sup>) AVERAGED OVER AN 8-HOUR PERIOD. CONTRACTORS SHALL DETERMINE AND TAKE APPROPRIATE MEASURES IF THEY SUSPECT THE PRESENCE OF LEAD.
  - FINISHES
    - GENERAL: FINISHED FLOORS EXTEND INTO TOE SPACES, UNDER CASEWORK ON LAB PROJECTS, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
    - PRODUCTS:
      - INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.N.O.
      - PAINT DESIGNATIONS INDICATE COLOR ONLY, REFER TO SPECIFICATION FOR FINISH TYPE.
      - PROVIDE SELF-LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
      - PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.
    - EXECUTION:
      - ADHERE TO MATERIAL OR SYSTEM MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND TOLERANCES. ANY VARIATIONS FROM WRITTEN INSTALLATION AND INSTRUCTIONS MUST RECEIVE WRITTEN APPROVAL FROM THE MANUFACTURER AND MAINTAIN MANUFACTURER'S WARRANTIES.
      - PRIOR TO STARTING THE INSTALLATION OF A MATERIAL OR SYSTEM, VERIFY THE SUBSTRATE IS WITHIN THE MANUFACTURER'S REQUIRED TOLERANCES AND REQUIRED CLEARANCES ARE PROVIDED. NOTIFY THE CONSTRUCTION MANAGER OR GENERAL CONTRACTOR AND DESIGN PROFESSIONAL IN WRITING WHEN THE SUBSTRATE IS NOT WITHIN MANUFACTURER'S TOLERANCE OR REQUIRED CLEARANCES ARE NOT PROVIDED. PROCEEDING WITH INSTALLATION SIGNIFIES ACCEPTANCE OF THE SUBSTRATE AND CLEARANCES.
      - PROVIDE MANUFACTURER'S REQUIRED ENVIRONMENTAL TESTS FOR MOISTURE, VAPOR DRIVE, RELATIVE HUMIDITY AND TEMPERATURE TO VERIFY THESE ARE WITHIN THE MATERIAL MANUFACTURER'S TOLERANCE PRIOR TO INSTALLING MATERIALS.
      - MATERIAL AND INSTALLATION SHALL CONFORM WITH LOCAL, STATE AND NATIONAL BUILDING CODES AND CONSTRUCTION STANDARDS ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
      - REQUIRED DOCUMENTATION (FOR CONSTRUCTION ADMINISTRATION):
        - SAFETY DATA SHEETS.
        - PROVIDE SAMPLES WHEN SPECIFICALLY REQUESTED IN THESE DOCUMENTS.
        - PROVIDE SHOP DRAWINGS OF MATERIALS AND SYSTEMS, WHICH WILL BE BUILT INTO AND MUST BE COORDINATED WITH OTHER CONSTRUCTION. SHOP DRAWINGS SHALL CONSIST OF PLAN, ELEVATION, SECTION VIEWS AND DETAILS AS REQUIRED TO COMMUNICATE FINAL APPEARANCE AND CONNECTION TO ADJOINING CONSTRUCTION.
    - PROTECT ADJACENT SURFACES DURING WORK.
    - REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
    - FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
    - DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS TO BE BROOM CLEAN BEFORE PAINTING IS STARTED.
    - EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
    - WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
    - WHEN INSTALLING CARPET FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
    - WHEN INSTALLING TILE FOLLOW THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
    - CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
    - FLOOR MATERIAL TRANSITIONS SHALL OCCUR BELOW THE DOOR.



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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

LANSING SCHOOL DISTRICT

**BID PACK 2**  
**GARDNER ELEMENTARY**  
**FOOD SERVICE - EQUIPMENT**  
**REPLACEMENT &**  
**RENOVATION SO-1852**  
 333 DAHLIA DRIVE  
 LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NLP000605

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C NORRIS	
DESIGNER:	REVIEWER:
DATE ISSUED:	PROJECT NUMBER:
3/13/26	26000752A
SHEET NAME:	

GENERAL NOTES AND LEGENDS

DRAWING NUMBER:  
**A001**

GENERAL REQUIREMENTS:

ALTERNATES:

- A. ALTERNATES ARE AN AMOUNT PROPOSED BY BIDDERS AND STATED ON THE BID PROM FOR CERTAIN WORK DEFINED IN THE BIDDING REQUIREMENTS THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF THE OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE EITHER IN THE AMOUNT OF CONSTRUCTION TO BE COMPLETED OR IN THE PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.
- B. INCLUDE AS PART OF EACH ALTERNATE, MISCELLANEOUS DEVICES, ACCESSORY OBJECTS, AND SIMILAR ITEMS INCIDENTAL TO OR REQUIRED FOR A COMPLETE INSTALLATION WHETHER INDICATED AS PART OF THE ALTERNATE. EXECUTE ACCEPTABLE ALTERNATES UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.

SUBSTITUTION PROCEDURES:

- A. SUBSTITUTIONS FOR CAUSE: CHANGES PROPOSED BY CONTRACTOR THAT ARE REQUIRED DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS.
- B. SUBSTITUTIONS FOR CONVENIENCE: CHANGES PROPOSED BY CONTRACTOR OR OWNER THAT ARE NOT REQUIRED IN ORDER TO MEET OTHER PROJECT REQUIREMENTS BUT MAY OFFER ADVANTAGE TO CONTRACTOR OR OWNER. SUBSTITUTIONS FOR CONVENIENCE ARE ALLOWED ONLY BY APPROVAL OF THE OWNER OR OWNER'S AGENT.
- C. SUBMIT REQUEST FOR CONSIDERATION. IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE PRODUCT, MATERIAL OR SYSTEM NAME AND AFFECTED DRAWING NUMBERS AND TITLES.
- D. EXECUTE ACCEPTED SUBSTITUTIONS UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.
- E. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE:
  - 1. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.
  - 2. CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS, EXCEPT AS INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS AND IS APPROPRIATE FOR APPLICATIONS INDICATED.
  - 3. STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION, OR INSTALLATION METHOD CANNOT BE PROVIDED, IF APPLICABLE.
  - 4. COORDINATION OF INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY OWNER AND SEPARATE CONTRACTORS THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.
  - 5. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES. INCLUDE DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTIONS WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES, SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED.
  - 6. CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.
- F. ARCHITECT'S ACTION: IF NECESSARY, ARCHITECT WILL REQUEST ADDITIONAL INFORMATION OR DOCUMENTATION FOR EVALUATION WITHIN 7 DAYS OF RECEIPT OF A REQUEST FOR SUBSTITUTION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION WITHIN 14 DAYS OF RECEIPT OF REQUEST, OR 7 DAYS OF RECEIPT OF ADDITIONAL INFORMATION OR DOCUMENTATION.
- G. ARCHITECT WILL CONSIDER CONTRACTOR'S REQUEST FOR SUBSTITUTION WHEN THE LISTED REQUIREMENTS ARE SATISFIED. IF THE LISTED REQUIREMENTS ARE NOT SATISFIED, ARCHITECT WILL RETURN REQUESTS WITHOUT ACTION, EXPECTED TO RECORD NONCOMPLIANCE WITH LISTED REQUIREMENTS.
- H. FORMS OF ACCEPTANCE: CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS FOR MINOR CHANGES IN THE WORK.

SUBMITTAL REQUIREMENTS:

- A. PREPARE SUBMITTAL SCHEDULE: SUBMIT, AS AN ACTION SUBMITTAL, A LIST OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME REQUIRED FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS NOTED BY ARCHITECT AND CONTRACTOR AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.
- B. PREPARE AND SUBMIT SUBMITTALS AS INCLUDED IN THE SUBMITTAL SCHEDULED.
- C. EMAIL: PREPARE SUBMITTALS AS PDF PACKAGE AND TRANSMIT TO ARCHITECT BY SENDING VIA EMAIL. INCLUDE PDF TRANSMITTAL FORM. INCLUDE INFORMATION IN EMAIL SUBJECT LINE AS REQUESTED BY ARCHITECT.
- D. WEB-BASED PROJECT MANAGEMENT SOFTWARE: PREPARE SUBMITTALS IN PDF FORM, AND UPLOAD TO WEB-BASED PROJECT MANAGEMENT SOFTWARE WEBSITE. ENTER REQUIRED DATA IN WEB-BASED SOFTWARE SITE TO FULLY IDENTIFY SUBMITTAL.
- E. ACTION SUBMITTALS AND INFORMATIONAL SUBMITTALS: REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT.
- F. USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S AND CONTRACTOR'S ACTION STAMP.
- G. SUBMITTAL INFORMATION: INCLUDE THE FOLLOWING INFORMATION IN EACH SUBMITTAL:
  - 1. PROJECT NAME, DATE AND INDICATION OF FULL OR PARTIAL SUBMITTAL.
  - 2. ARCHITECT'S AND CONTRACTOR'S AND/OR CONSTRUCTION MANAGER'S, FIRM OR ENTITY THAT PREPARED SUBMITTAL AND SUBCONTRACTOR, MANUFACTURER, AND SUPPLIER NAMES.
  - 3. NUMBER AND TITLE OF SPECIFICATION SECTION, WITH PARAGRAPH NUMBER AND GENERIC NAME FOR EACH OF MULTIPLE ITEMS
  - 4. MATERIAL OR SYSTEM NAME AND DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE.
  - 5. IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.
  - 6. LOCATION(S) WHERE PRODUCT IS TO BE INSTALLED, AS APPROPRIATE AND OTHER NECESSARY INFORMATION.
  - 7. ON EACH SUBMITTAL, CLEARLY INDICATE DEVIATIONS FROM REQUIREMENTS IN THE CONTRACT DOCUMENTS, INCLUDING MINOR VARIATIONS AND LIMITATIONS. INCLUDE RELEVANT ADDITIONAL INFORMATION AND REVISIONS, OTHER THAN THOSE REQUESTED BY ARCHITECT AND CONTRACTOR ON PREVIOUS SUBMITTALS. INDICATE BY HIGHLIGHTING ON EACH SUBMITTAL OR NOTING ON ATTACHED SEPARATE SHEET.
- H. INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.
- I. ARCHITECT'S ACTION: ARCHITECT WILL REVIEW INFORMATION OR DOCUMENTATION NOTIFY CONTRACTOR OF ACCEPTANCE REQUEST FOR MORE INFORMATION OR REJECTION WITHIN 14 DAYS OF RECEIPT. ARCHITECT WILL REVIEW RESUBMITTAL WITHIN 14 DAYS OF RECEIPT.
- J. SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS WILL BE RETURNED BY ARCHITECT WITHOUT ACTION.

QUALITY REQUIREMENTS:

- A. CONFLICTING STANDARDS AND OTHER REQUIREMENTS: IF COMPLIANCE WITH TWO OR MORE STANDARDS OR REQUIREMENTS IS SPECIFIED AND THE STANDARDS OR REQUIREMENTS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, INFORM THE ARCHITECT REGARDING THE CONFLICT AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. REFER CONFLICTING REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- B. PREPARE AND SUBMIT CERTIFIED WRITTEN REPORTS REQUIRED. INCLUDE THE FOLLOWING:
  - 1. PROJECT TITLE AND NUMBER AND DATE OF ISSUE. RECORD OF TEMPERATURE AND WEATHER CONDITIONS AT TIME OF SAMPLE TAKING AND TESTING AND INSPECTION. NAME AND SIGNATURE OF LABORATORY INSPECTOR.
  - 2. NAME, ADDRESS, TELEPHONE NUMBER, AND EMAIL ADDRESS OF TESTING AGENCY
  - 3. DATES AND LOCATIONS OF SAMPLES AND TESTS OR INSPECTIONS.
  - 4. TEST AND INSPECTION RESULTS AND AN INTERPRETATION OF TEST RESULTS. COMMENTS OR PROFESSIONAL OPINION ON WHETHER TESTED OR INSPECTED WORK COMPLIES WITH THE CONTRACT DOCUMENT REQUIREMENTS. RECOMMENDATIONS ON RETESTING AND REINSPECTING.
- C. MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING PRODUCTS OR SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS, AS APPLICABLE. PROCURE PRODUCTS FROM MANUFACTURERS ABLE TO MEET QUALIFICATION REQUIREMENTS, WARRANTY REQUIREMENTS, AND TECHNICAL OR FACTORY-AUTHORIZED SERVICE REPRESENTATIVE REQUIREMENTS.
- D. FABRICATOR QUALIFICATIONS: A FIRM EXPERIENCED IN PRODUCING PRODUCTS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS.

- E. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLYING, OR ASSEMBLING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- F. TESTING AND INSPECTING AGENCY QUALIFICATIONS: AN NRTL, AN NVLAP, OR AN INDEPENDENT AGENCY WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT TESTING AND INSPECTION INDICATED, AS DOCUMENTED ACCORDING TO **[ASTM E329] -INSERT STANDARD**; AND WITH ADDITIONAL QUALIFICATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS; AND, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION, THAT IS ACCEPTABLE TO AUTHORITIES.
- G. PRECONSTRUCTION TESTING: WHERE TESTING AGENCY IS INDICATED TO PERFORM PRECONSTRUCTION TESTING FOR COMPLIANCE WITH SPECIFIED REQUIREMENTS FOR PERFORMANCE AND TEST METHODS, COMPLY WITH THE FOLLOWING:
  - 1. CONTRACTOR RESPONSIBILITIES INCLUDE THE FOLLOWING: PROVIDE TEST SPECIMENS REPRESENTATIVE OF PROPOSED PRODUCTS AND CONSTRUCTION. SUBMIT SPECIMENS IN A TIMELY MANNER WITH SUFFICIENT TIME FOR TESTING AND ANALYZING RESULTS TO PREVENT DELAYING THE WORK. WHEN TESTING IS COMPLETE, REMOVE TEST SPECIMENS AND TEST ASSEMBLIES, AND MOCKUPS UNLESS NOTED OTHERWISE. DO NOT REUSE PRODUCTS ON PROJECT.
  - 2. TESTING AGENCY RESPONSIBILITIES: SUBMIT A CERTIFIED WRITTEN REPORT OF EACH TEST. INSPECTION, AND SIMILAR QUALITY-ASSURANCE SERVICE TO ARCHITECT, CONTRACTOR OR **CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY**. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM THE CONTRACT DOCUMENTS.
- H. MOCKUPS: BEFORE INSTALLING PORTIONS OF THE WORK REQUIRING MOCKUPS, BUILD MOCKUPS FOR EACH FORM OF CONSTRUCTION AND FINISH REQUIRED TO COMPLY WITH THE FOLLOWING REQUIREMENTS, USING MATERIALS INDICATED FOR THE COMPLETED WORK, TO SIZE AND LOCATION INDICATED. DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. NOTIFY ARCHITECT, CONTRACTOR AND **CONSTRUCTION MANAGER** 7 DAYS IN ADVANCE OF DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED AND ALLOW 7 DAYS FOR REVIEW AND APPROVAL. OBTAIN THE APPROVAL FROM ARCHITECT, CONTRACTOR AND **CONSTRUCTION MANAGER** BEFORE STARTING CORRESPONDING WORK, FABRICATION, OR CONSTRUCTION. MAINTAIN MOCKUPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. DEMOLISH AND REMOVE MOCKUPS WHEN DIRECTED UNLESS OTHERWISE INDICATED.
- I. QUALITY CONTROL:
  - 1. CONTRACTOR RESPONSIBILITIES: TESTS AND INSPECTIONS ARE CONTRACTOR'S RESPONSIBILITY. PERFORM ADDITIONAL QUALITY-CONTROL ACTIVITIES, WHETHER SPECIFIED OR NOT, TO VERIFY AND DOCUMENT THAT THE WORK COMPLIES WITH REQUIREMENTS. ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM QUALITY-CONTROL SERVICES. NOTIFY TESTING AGENCIES AT LEAST (72) HOURS IN ADVANCE OF TIME WHEN WORK THAT REQUIRES TESTING OR INSPECTION WILL BE PERFORMED. COOPERATE WITH AGENCIES AND REPRESENTATIVES PERFORMING REQUIRED TESTS, INSPECTIONS, AND SIMILAR QUALITY-CONTROL SERVICES, AND PROVIDE REASONABLE AUXILIARY SERVICES AS REQUESTED.
  - 2. TESTING AGENCY RESPONSIBILITIES: COOPERATE WITH ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** IN PERFORMANCE OF DUTIES. PROVIDE QUALIFIED PERSONNEL TO PERFORM REQUIRED TESTS AND INSPECTIONS. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM REQUIREMENTS. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
  - 3. CONTRACTOR AND TESTING AGENCY SHALL COORDINATE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED QUALITY-ASSURANCE AND QUALITY-CONTROL SERVICES WITH A MINIMUM OF DELAY AND TO AVOID NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE TESTING AND INSPECTION.
- J. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED **TESTING AGENCY** OR **SPECIAL INSPECTOR** TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS FOLLOWS:
  - 1. VERIFYING THAT MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY-CONTROL PROCEDURES AND REVIEWING THE COMPLETENESS AND ADEQUACY OF THOSE PROCEDURES TO PERFORM THE WORK.
  - 2. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
  - 3. SUBMITTING A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-CONTROL SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** WITH COPY TO CONTRACTOR AND TO AUTHORITIES HAVING JURISDICTION. SUBMIT A FINAL REPORT OF SPECIAL TESTS AND INSPECTIONS AT SUBSTANTIAL COMPLETION, WHICH INCLUDES A LIST OF UNRESOLVED DEFICIENCIES.
  - 4. RETESTING AND REINSPECTING CORRECTED WORK.
- K. ALL RETESTING/REINSPECTING: REGARDLESS OF WHETHER ORIGINAL TESTS OR INSPECTIONS WERE CONTRACTOR'S RESPONSIBILITY OR THE OWNER'S SPECIAL INSPECTIONS, PROVIDE QUALITY-CONTROL SERVICES, INCLUDING RETESTING AND REINSPECTING, FOR CONSTRUCTION THAT REPLACED WORK THAT FAILED TO COMPLY WITH THE CONTRACT DOCUMENTS.

CONSTRUCTION WASTE MANAGEMENT:

- A. DEVELOP A WASTE MANAGEMENT PLAN AND SUBMIT PLAN FOR APPROVAL WITHIN 14 DAYS OF DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK.
- B. DISTRIBUTE AND IMPLEMENT APPROVED WASTE MANAGEMENT PLAN. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
- C. TRAIN WORKERS, SUBCONTRACTORS, AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK.
- D. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR SEPARATING MATERIALS THAT ARE TO BE SALVAGED AND RECYCLED.

CLOSEOUT PROCEDURES:

- A. CONTRACTOR'S LIST OF INCOMPLETE ITEMS: PREPARE AND SUBMIT A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (CONTRACTOR'S "PUNCH LIST"), INDICATING THE VALUE OF EACH ITEM ON THE LIST AND REASONS WHY THE WORK IS INCOMPLETE.
- B. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: COMPLETE THE FOLLOWING A MINIMUM OF 10 DAYS PRIOR TO REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION.
  - 1. **SUBMIT A FINAL APPLICATION FOR PAYMENT.**
  - 2. CERTIFICATE OF INSURANCE: SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE.
  - 3. CERTIFIED LIST OF INCOMPLETE ITEMS: SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.
  - 4. CERTIFICATES OF RELEASE: OBTAIN AND SUBMIT RELEASES FROM AUTHORITIES HAVING JURISDICTION, PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
  - 5. SUBMIT CLOSEOUT SUBMITTALS AS REQUIRED, INCLUDING SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
  - 6. SUBMIT MAINTENANCE MATERIAL SUBMITTALS SPECIFIED IN INDIVIDUAL SECTIONS, INCLUDING TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS, AND DELIVER TO LOCATION DESIGNATED BY OWNER OR OWNER'S AGENT. LABEL WITH MANUFACTURER'S NAME AND MODEL NUMBER.
  - 7. SUBMIT TESTING, ADJUSTING, AND BALANCING RECORDS.
  - 8. SUBMIT CHANGEOVER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.
  - 9. ALL CLOSE OUT DOCUMENTS TO BE SUBMITTED TO OWNER BY SINGLE THUMB DRIVE.
- C. FINAL CLEANING
  - 1. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. CLEAN EACH SURFACE OR UNIT TO CONDITION EXPECTED IN AN AVERAGE COMMERCIAL BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 2. USE CLEANING PRODUCTS THAT COMPLY WITH GREEN SEAL'S GS-37, OR IF GS-37 IS NOT APPLICABLE, USE PRODUCTS THAT COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS MAXIMUM ALLOWABLE VOC LEVELS.
  - 3. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
  - 4. VACUUM CARPET AND SIMILAR SOFT SURFACES. REMOVING DEBRIS AND EXCESS NAP. CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IF VISIBLE SOIL OR STAINS REMAIN.
  - 5. CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER NOTICEABLE, VISION-OBSCURING MATERIALS. POLISH MIRRORS AND GLASS, TAKING CARE NOT TO SCRATCH SURFACES.
  - 6. CLEAN PLUMBING FIXTURES TO A SANITARY CONDITION, FREE OF STAINS, INCLUDING STAINS RESULTING FROM WATER EXPOSURE.

OPERATIONS AND MAINTENANCE DATA:

- A. SUBMIT EACH MANUAL IN FINAL FORM PRIOR TO REQUESTING INSPECTION FOR SUBSTANTIAL COMPLETION AND AT LEAST 10 DAYS BEFORE COMMENCING DEMONSTRATION AND TRAINING.
- B. CORRECT OR REVISE EACH MANUAL TO COMPLY WITH ARCHITECT'S AND **COMMISSIONING AUTHORITY'S** COMMENTS. SUBMIT COPIES OF EACH CORRECTED MANUAL WITHIN 10 DAYS OF RECEIPT OF ARCHITECT'S AND **COMMISSIONING AUTHORITY'S** COMMENTS AND PRIOR TO COMMENCING DEMONSTRATION AND TRAINING.
- C. SUBMIT ON **DIGITAL MEDIA ACCEPTABLE TO ARCHITECT BY UPLOADING TO WEB-BASED PROJECT SOFTWARE SITE OR BY EMAIL TO ARCHITECT, IF WEB-BASED SOFTWARE IS NOT UTILIZED.** ENABLE REVIEWER COMMENTS ON DRAFT SUBMITTALS.
  - 1. ELECTRONIC FILES: USE ELECTRONIC FILES PREPARED BY MANUFACTURER WHERE AVAILABLE. WHERE SCANNING OF PAPER DOCUMENTS IS REQUIRED, CONFIGURE SCANNED FILE FOR MINIMUM READABLE FILE SIZE.
  - 2. BOOKMARK INDIVIDUAL DOCUMENTS BASED ON FILE NAMES. NAME DOCUMENT FILES TO CORRESPOND TO SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES USED IN MANUAL DIRECTORY AND TABLE OF CONTENTS. GROUP DOCUMENTS FOR EACH SYSTEM AND SUBSYSTEM INTO INDIVIDUAL COMPOSITE BOOKMARKED FILES, THEN CREATE COMPOSITE MANUAL, SO THAT RESULTING BOOKMARKS REFLECT THE SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN A READILY NAVEGATED FILE TREE. CONFIGURE ELECTRONIC MANUAL TO DISPLAY BOOKMARK PANEL ON OPENING FILE.
- D. ORGANIZATION OF MANUALS: UNLESS OTHERWISE INDICATED, ORGANIZE EACH MANUAL INTO A SEPARATE SECTION FOR EACH SYSTEM AND SUBSYSTEM, AND A SEPARATE SECTION FOR EACH PIECE OF EQUIPMENT NOT PART OF A SYSTEM. PROVIDE A TITLE PAGE AND TABLE OF CONTENTS.
  - 1. TITLE PAGE SHALL INCLUDE:
    - a. SUBJECT MATTER INCLUDED IN MANUAL.
    - b. DATE OF SUBMITTAL.
    - c. NAME AND CONTACT INFORMATION FOR CONTRACTOR AND CONSTRUCTION MANAGER WHEN APPLICABLE.
    - d. NAME AND CONTACT INFORMATION FOR COMMISSIONING AUTHORITY.
  - 2. EMERGENCY MANUAL: ASSEMBLE A COMPLETE SET OF EMERGENCY INFORMATION INDICATING PROCEDURES FOR USE BY EMERGENCY PERSONNEL AND BY OWNER'S OPERATING PERSONNEL FOR TYPES OF EMERGENCIES INDICATED.
  - 3. SYSTEMS AND EQUIPMENT OPERATION MANUAL: ASSEMBLE A COMPLETE SET OF DATA INDICATING OPERATION OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE INFORMATION REQUIRED FOR DAILY OPERATION AND MANAGEMENT, OPERATING STANDARDS, AND ROUTINE AND SPECIAL OPERATING PROCEDURES.
  - 4. SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS: ASSEMBLE A COMPLETE SET OF DATA INDICATING MAINTENANCE OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE MANUFACTURERS' MAINTENANCE DOCUMENTATION, PREVENTIVE MAINTENANCE PROCEDURES AND FREQUENCY, REPAIR PROCEDURES, WIRING AND SYSTEMS DIAGRAMS, LISTS OF SPARE PARTS, AND WARRANTY INFORMATION.
  - 5. PRODUCT MAINTENANCE MANUAL: ASSEMBLE A COMPLETE SET OF MAINTENANCE DATA INDICATING CARE AND MAINTENANCE OF EACH PRODUCT, MATERIAL, AND FINISH INCORPORATED INTO THE WORK.

PROJECT RECORD DOCUMENTS:

- A. RECORD PRINTS: MAINTAIN ONE SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED.
- B. MAINTAIN ONE COPY OF EACH SUBMITTAL DURING THE CONSTRUCTION PERIOD FOR PROJECT RECORD DOCUMENT PURPOSES. POST CHANGES AND REVISIONS TO PROJECT RECORD DOCUMENTS AS THEY OCCUR. DO NOT WAIT UNTIL END OF PROJECT.
- C. RECORD DIGITAL DATA FILES: IMMEDIATELY BEFORE INSPECTION FOR CERTIFICATE OF SUBSTANTIAL COMPLETION, REVIEW MARKED-UP RECORD DOCUMENTS WITH ARCHITECT, CONTRACTOR, WHEN AUTHORIZED, PREPARE A FULL SET OF CORRECTED DIGITAL DATA FILES OF THE CONTRACT DOCUMENTS. SEE OPERATIONS AND MAINTENANCE DATA SECTION ABOVE FOR SUBMISSION FORMAT REQUIREMENTS.

DEMONSTRATION AND TRAINING:

- A. FACILITATOR: CONTRACTOR OR CONSTRUCTION MANAGER SHALL PREPARE INSTRUCTION PROGRAM AND TRAINING MODULES, TO COORDINATE INSTRUCTORS, AND TO COORDINATE BETWEEN CONTRACTOR AND OWNER FOR NUMBER OF PARTICIPANTS, INSTRUCTION TIMES, AND LOCATION.
- B. ENGAGE QUALIFIED INSTRUCTORS TO INSTRUCT OWNER'S PERSONNEL TO ADJUST, OPERATE, AND MAINTAIN SYSTEMS, SUBSYSTEMS, AND EQUIPMENT NOT PART OF A SYSTEM.
- C. PROVIDE INSTRUCTION AT MUTUALLY AGREED-ON TIMES. FOR EQUIPMENT THAT REQUIRES SEASONAL OPERATION, PROVIDE SIMILAR INSTRUCTION AT START OF EACH SEASON.
- D. TRAINING LOCATION AND REFERENCE MATERIAL: CONDUCT TRAINING ON-SITE IN THE COMPLETED AND FULLY OPERATIONAL FACILITY USING THE ACTUAL EQUIPMENT IN-PLACE. CONDUCT TRAINING USING FINAL OPERATION AND MAINTENANCE DATA SUBMITTALS.
- E. EVALUATION: AT CONCLUSION OF EACH TRAINING MODULE, ASSESS AND DOCUMENT EACH PARTICIPANT'S MASTERY OF MODULE BY USE A **DEMONSTRATION PERFORMANCE-BASED TEST**.
- F. COLLECT USED AND LEFTOVER EDUCATIONAL MATERIALS AND **GIVE TO OWNER**. REMOVE INSTRUCTIONAL EQUIPMENT. RESTORE SYSTEMS AND EQUIPMENT TO CONDITION EXISTING BEFORE INITIAL TRAINING USE.

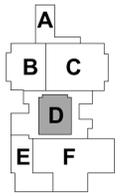


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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

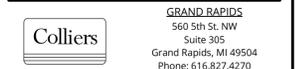
LANSING SCHOOL DISTRICT

BID PACK 2

GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852

333 DAHLIA DRIVE  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605



PROJECT MANAGER: DISCIPLINE LEAD:  
**C NORRIS**

DESIGNER: REVIEWER:

DATE ISSUED: PROJECT NUMBER:  
3/13/26 26000752A

SHEET NAME:

GENERAL REQUIREMENTS

DRAWING NUMBER:

A002

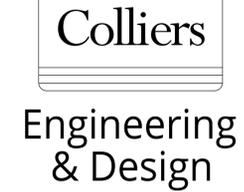
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

DEMO PLAN KEYNOTES #

- 1A REMOVE EXISTING 2x4 CEILING SYSTEM IN ITS ENTIRETY (UNLESS NOTED OTHERWISE) INCLUDING ALL TIES, TEES, FASTENERS, FRAMING, AND HANGERS FOR THAT CEILING SYSTEM. REPAIR ANY REMAINING CONSTRUCTION DAMAGED TO MATCH EXISTING. PREPARE AREA FOR NEW CONSTRUCTION.
- 1B REMOVE EXISTING LIGHT FIXTURES, SMOKE DETECTORS, ALARMS, ETC. FROM EXISTING CEILING SYSTEM. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION. SAVE EXISTING LIGHT FIXTURES FOR OWNER. REMOVE AND REPLACE EXISTING SPRINKLER HEADS, STROBES, AND EXIT SIGNS.
- 1C COMPLETELY REMOVE EXISTING HVAC SYSTEM UNIT AND ASSOCIATED DUCTING. PATCH AND REPAIR ADJ SURFACES AS REQUIRED TO MATCH EXISTING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION. VERIFY CONDITION OF EXIST DECK BEHIND REMOVAL OF SYSTEM. REPAIR AS REQ'D.
- 1D REMOVE DOOR AND FRAME. PREP OPENING FOR INFILL.
- 1E REMOVE EXIST CASEWORK
- 1F REMOVE CONCRETE CURB. EXISTING CMU WALL AND HOOD ABOVE TO REMAIN
- 1G REMOVE EXIST SINK AND CAP PLUMBING. REFER TO PLUMBING DRAWINGS.
- 1H REMOVE EXIST FOOD SERVICE EQUIPMENT. REFER TO FSE AND MEP DRAWINGS AS REQUIRED FOR MORE INFORMATION ON DISCONNECTING AND REMOVAL.
- 1I SAWCUT EXISTING QUARRY TILE AND SLAB TO PROVIDE ACCESS FOR MEP. PATCH AND REPAIR AS REQ'D PER FINISH PLAN A141.
- 1J CUT THRU EXIST CMU WALL FOR ROUTING OF NEW FREEZER CONDENSATE. COORDINATE REQUIREMENTS WITH MEP AND FSE.
- 2A REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY (UNLESS NOTED OTHERWISE) INCLUDING ALL TIES, TEES, FASTENERS, FRAMING, AND HANGERS FOR THAT CEILING SYSTEM. REPAIR ANY REMAINING CONSTRUCTION DAMAGED TO MATCH EXISTING. PREPARE AREA FOR NEW CONSTRUCTION.
- 2B REMOVE EXISTING LIGHT FIXTURES, SMOKE DETECTORS, ALARMS, ETC. FROM EXISTING CEILING SYSTEM. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION. SAVE EXISTING LIGHT FIXTURES FOR OWNER. REMOVE AND REPLACE EXISTING SPRINKLER HEADS, STROBES, AND EXIT SIGNS. REMOVE AND SAVE FOR REINSTALLATION CAMERAS AND SPEAKERS.
- 2C COMPLETELY REMOVE EXISTING HVAC SYSTEM UNIT AND ASSOCIATED DUCTING. PATCH AND REPAIR ADJ SURFACES AS REQUIRED TO MATCH EXISTING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION. VERIFY CONDITION OF EXIST DECK BEHIND REMOVAL OF SYSTEM. REPAIR AS REQ'D.
- 2D REMOVE FLOOR FINISH AND WALL BASE FOR EA ROOM, PLATFORM, AND STAIRS
- 2E REMOVE PARTITION WALLS AND TRACK ABOVE, TYP 8 LOCATIONS IN CAFETERIA
- 2F REMOVE EXISTING CMU WALL AND DISHWASHING CONVEYER/EQUIPMENT
- 2G REMOVE EXIST CASEWORK
- 2H REMOVE CMU HALF WALLS, SERVING TRAY RAILS, AND FOOD SERVICE EQUIPMENT. REFER TO FSE AND MEP DRAWINGS FOR MORE INFORMATION IN DISCONNECTION AND REMOVAL.
- 2I REMOVE ACCESS DOOR. PREP EXISTING OPENING FOR INFILL AT THE SILL AND BULL NOSED CORNERS. CONFIRM AND REUSE EXISTING LINTEL.
- 2J REMOVE COILING ACCESS DOOR IN ITS ENTIRETY.
- 2K SAWCUT EXISTING QUARRY TILE AND SLAB TO PROVIDE ACCESS FOR MEP. PATCH AND REPAIR AS REQ'D PER FINISH PLAN A141.
- 2L REMOVE ALL EXISTING QUARRY TILE IN SERVINGS AREAS
- 2M REMOVE EXISTING OSB/FRAMING INFILL IN CMU WALL. PREPARE OPENING TO RECEIVE NEW CMU INFILL, TOOTHED IN TO MATCH EXISTING (FULL HEIGHT).

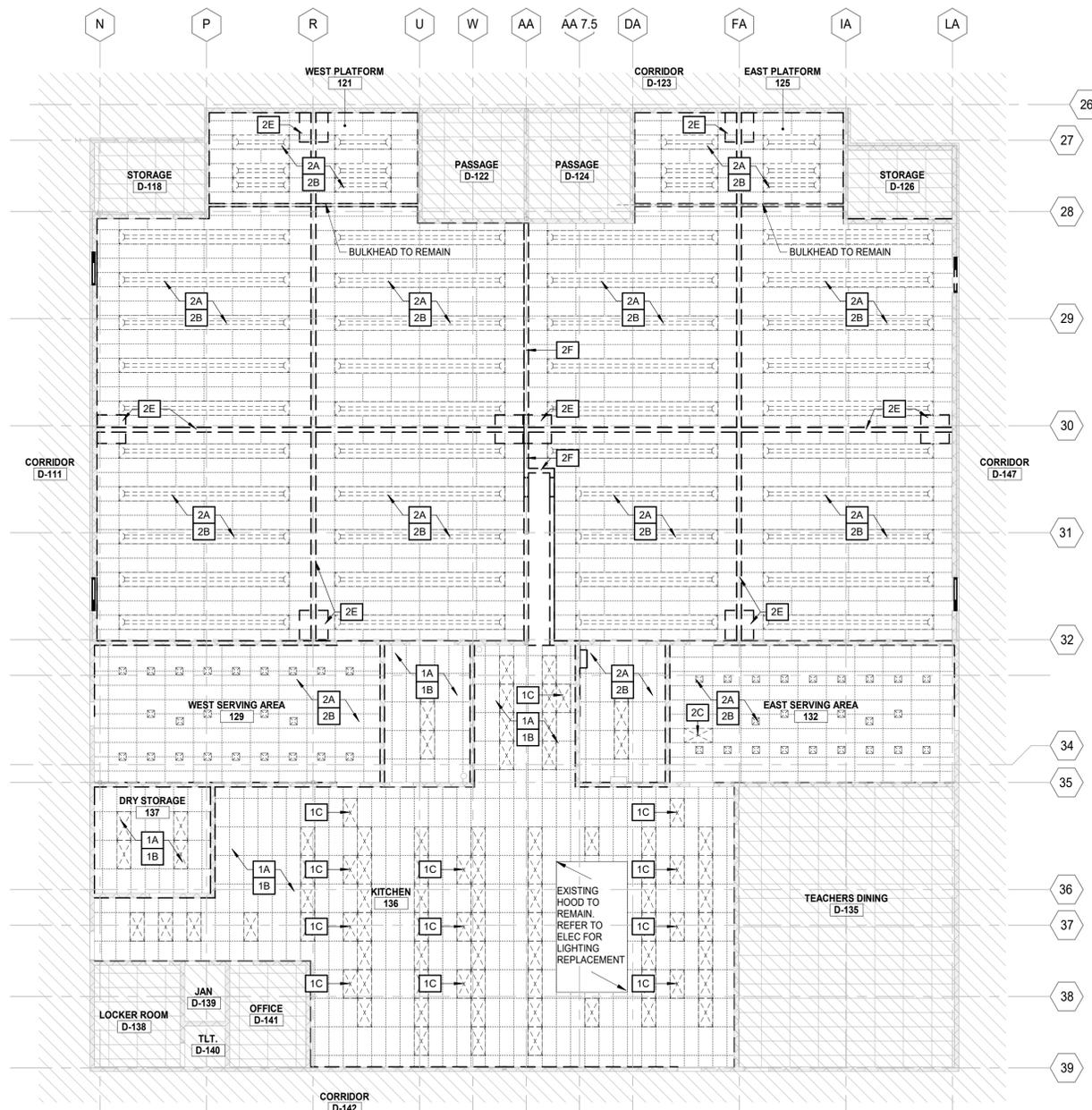
GENERAL DEMOLITION NOTES

- A. CONTRACTOR SHALL COORDINATE REMOVAL OF FLOORS, WALLS AND CEILINGS WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES. ALL POWER, MECHANICAL AND PLUMBING LINES SHALL BE REMOVED BACK TO NEAREST MAIN BRANCH LINE OR PANEL.
- B. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND EQUIPMENT NOTED TO REMAIN FROM DAMAGE RESULTING FROM DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM DEMOLITION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- C. CONTRACTOR SHALL PROTECT ADJACENT SURFACES IN PREPARATION OF SAW CUTTING REQUIRED FOR DEMOLITION ACTIVITIES.
- D. ALL ELECTRICAL COVER PLATES AT DEVICE LOCATIONS SHALL BE REMOVED PRIOR TO PAINTING AND REPLACED WITH NEW. COORDINATE WITH ELECTRICAL DRAWINGS.
- E. CONTRACTOR TO VERIFY ACTIVE USE/NEED/FUNCTIONALITY WITH OWNER FOR ALL WALL ATTACHMENTS (BRACKETS, CONTROLS, ETC) IN THE CAFETERIA AND REMOVE ANY NON-FUNCTIONAL/ SUPERFLUOUS ITEMS.

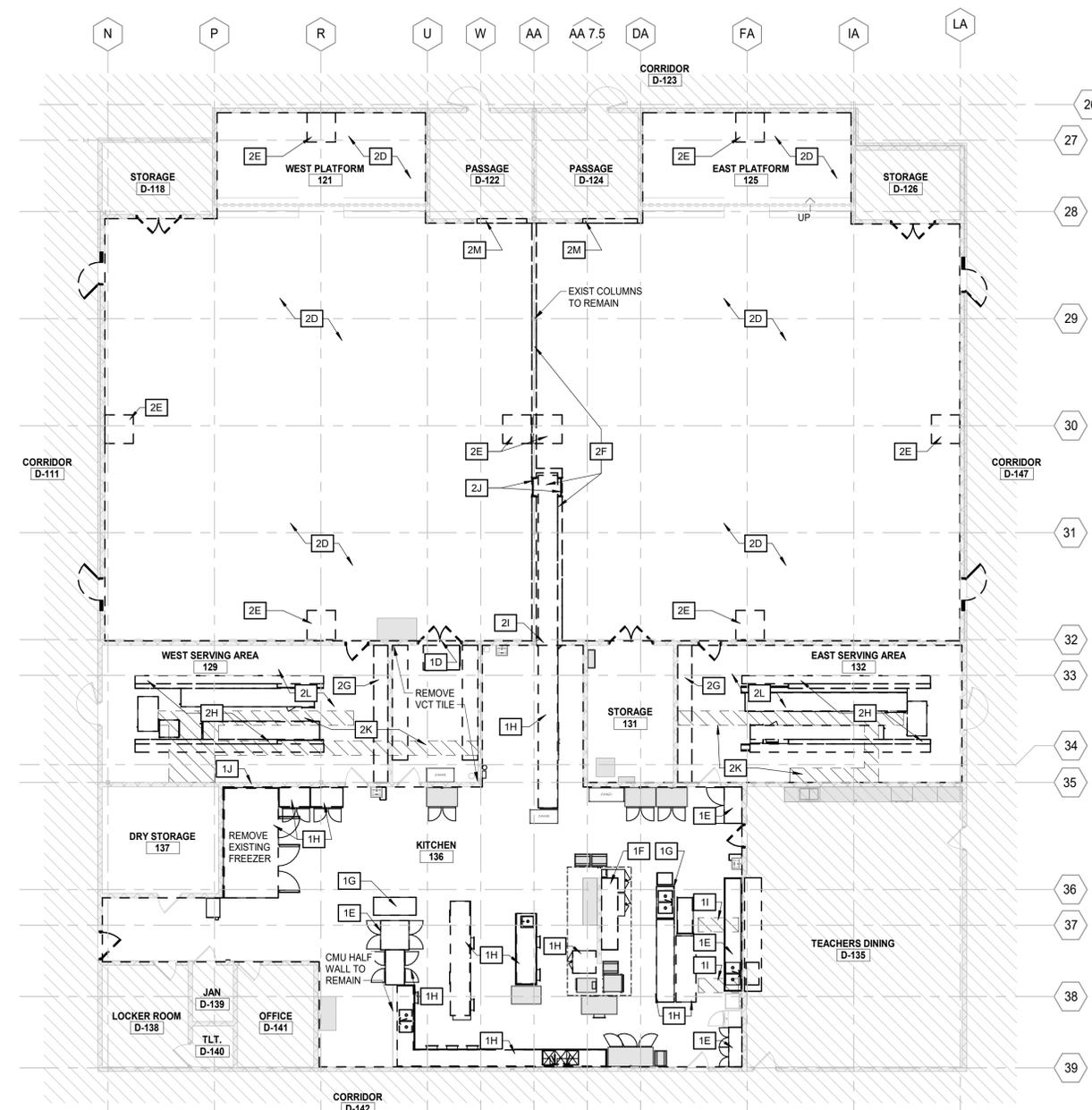


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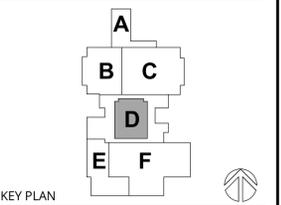
REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



2 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN  
 SCALE: 3/32" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN  
 SCALE: 3/32" = 1'-0"



KEY PLAN

**LANSING SCHOOL DISTRICT**

**BID PACK 2**

**GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852**

333 DAHLIA DRIVE  
 LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NLP000605

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Colliers Engineering & Design, Architecture, Landscape Architecture, Surveying, CT P.C.

PROJECT MANAGER: C NORRIS  
 DISCIPLINE LEAD: B HUYLER

DESIGNER: E POST  
 REVIEWER:

DATE ISSUED: 3/13/26  
 PROJECT NUMBER: 26000752A

SHEET NAME:

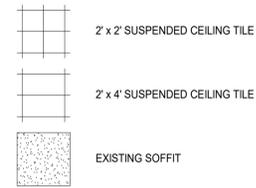
FIRST FLOOR AND CEILING DEMOLITION PLANS

DRAWING NUMBER: AD101

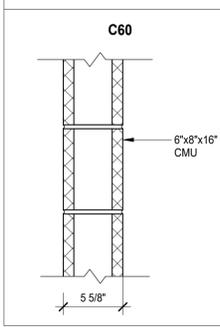
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

CEILING LEGEND

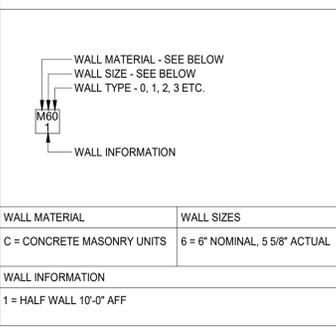
NOTE: SEE OTHER DISCIPLINE DRAWINGS (E.G. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS) FOR ASSOCIATED SYSTEMS AND INFORMATION ABOUT SYMBOLS NOT INDICATED IN THIS LEGEND.



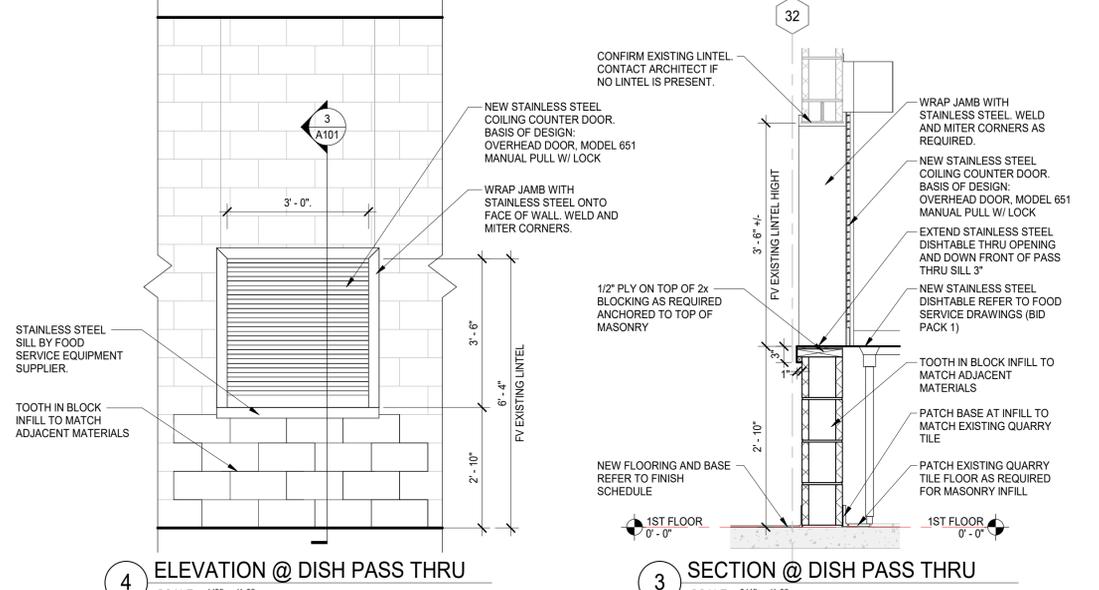
WALL TYPES



WALL LEGEND

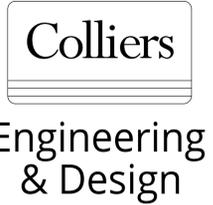


WALL MATERIAL	WALL SIZES
C = CONCRETE MASONRY UNITS	6" = 6" NOMINAL, 5 5/8" ACTUAL
WALL INFORMATION	
1 = HALF WALL 10'-0" AFF	



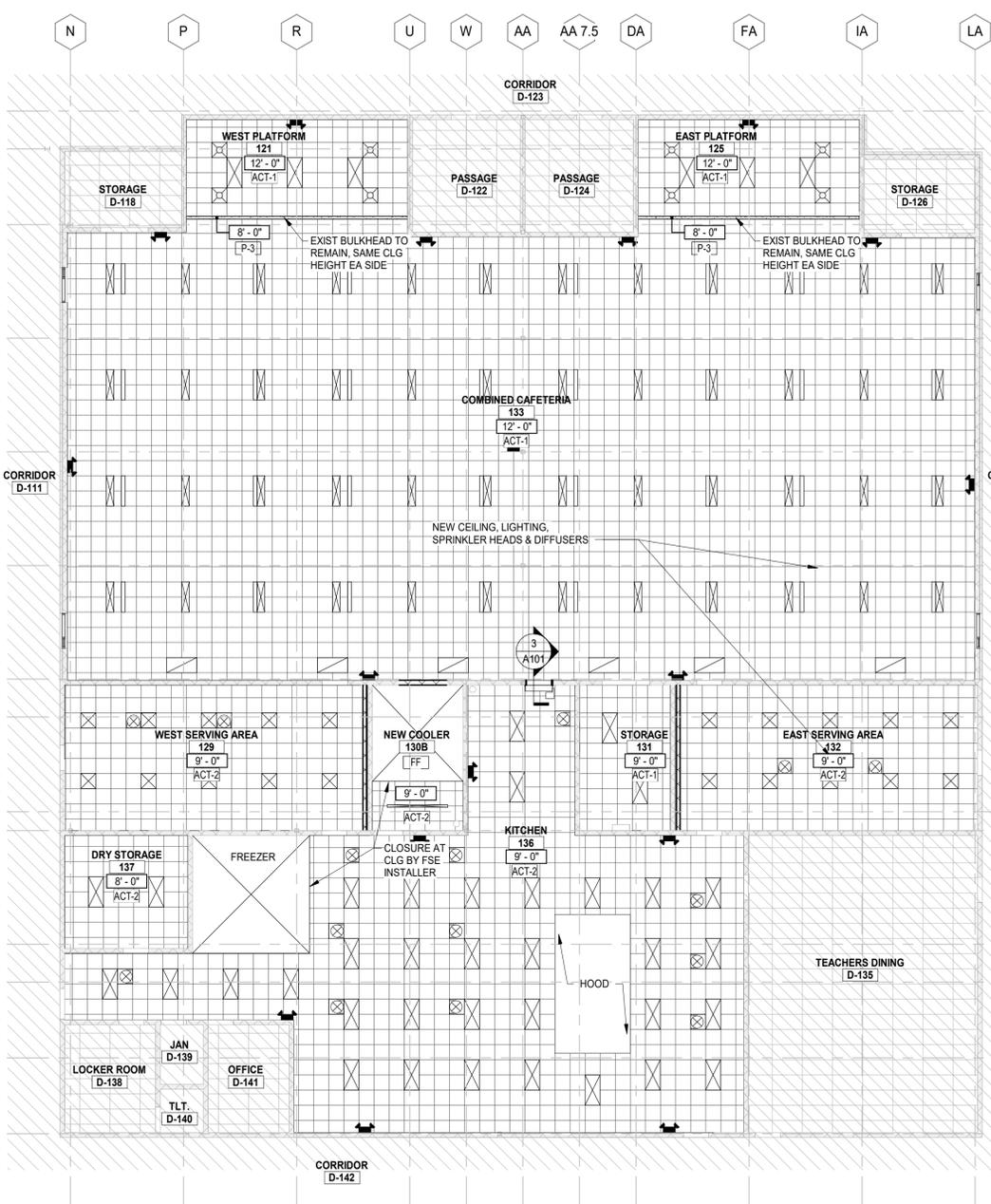
GENERAL NOTES

- A. REFER TO A001 SERIES DRAWINGS FOR SYMBOLS, NOTES, AND ADDITIONAL CODE INFORMATION.
- B. REFER TO AD100 SERIES DRAWINGS FOR DEMOLITION PLANS.
- C. REFER TO A120 SERIES DRAWINGS FOR REFLECTED CEILING PLANS AND DETAILS.
- D. REFER TO A140 SERIES DRAWINGS FOR GYM FLOOR STRIPING PLANS AND GENERAL FINISH NOTES.
- E. ADJUST SITE GRADING AS REQ'D TO MEET EXIST SIDEWALK. CONTRACTOR RESPONSIBLE FOR REPAIRING GRASS AREAS DISTURBED BY CONSTRUCTION TO LIKE CONDITIONS (NEW TOP SOIL, REGRADING, AND SEED).

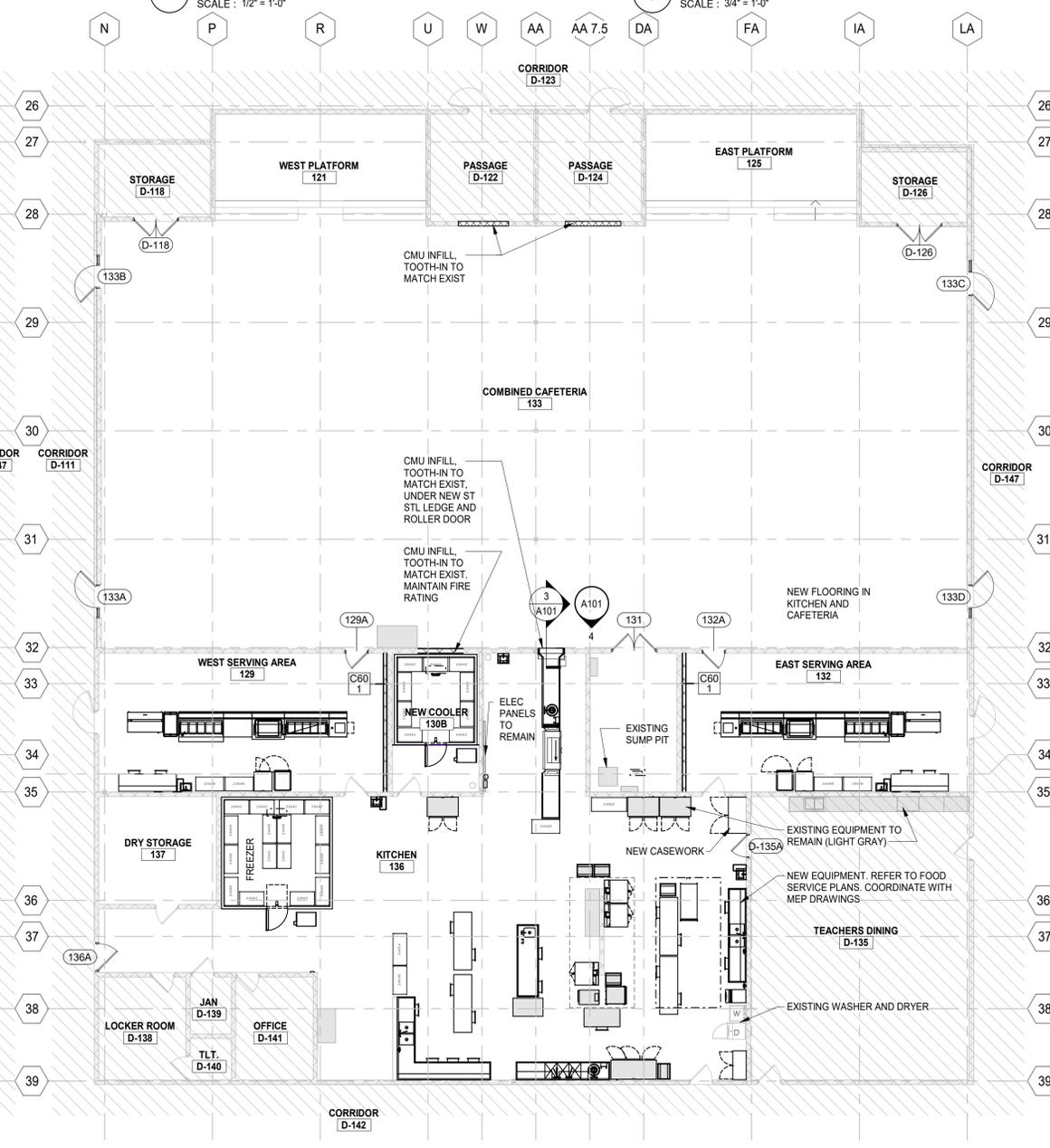


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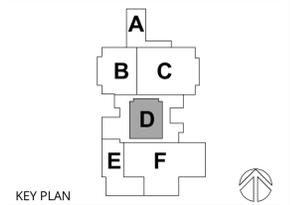
REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



2 FIRST FLOOR REFLECTED CEILING PLAN  
SCALE : 3/32" = 1'-0"



1 FIRST FLOOR PLAN  
SCALE : 3/32" = 1'-0"



**LANSING SCHOOL DISTRICT**

**BID PACK 2**

**GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852**

333 DAHLIA DRIVE  
LANSING, MI 48911

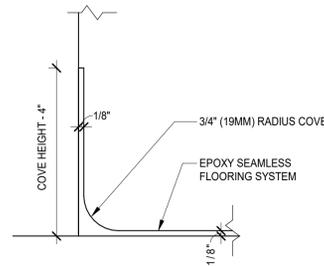
MI ARCHITECTURE  
FIRM LICENSE # NLP000605



PROJECT MANAGER: C NORRIS	DISCIPLINE LEAD: B. HUYLER
DESIGNER: S. KHUMALO	REVIEWER: B. HUYLER
DATE ISSUED: 3/13/26	PROJECT NUMBER: 26000752A
SHEET NAME:	

FIRST FLOOR AND CEILING PLANS

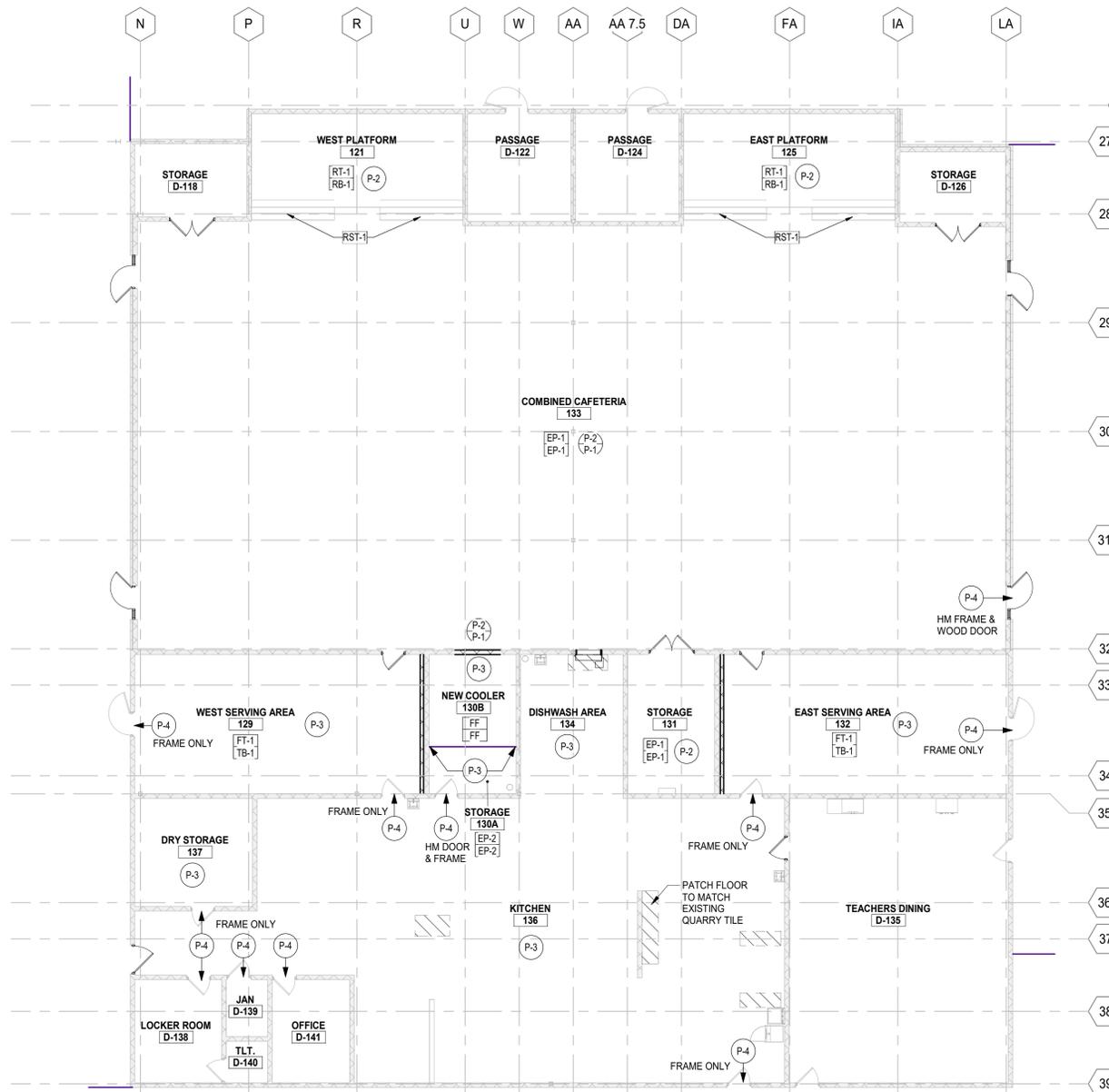
DRAWING NUMBER:  
A101



**2 EPOXY BASE DETAIL**  
SCALE : 6" = 1'-0"

BASIS OF DESIGN	
<b>09 30 13 CERAMIC TILING</b>	
<b>FT-1</b>	MANUFACTURER: AMERICAN OLEAN STYLE: QUARRY TILE COLOR: CANYON RED Q01 SIZE: 4x8 PATTERN: HORIZONTAL STACKED - MATCH EXISTING GROUT: MAPEI - MATCH EXISTING
<b>TB-1 TILE BASE</b>	MANUFACTURER: AMERICAN OLEAN STYLE: QUARRY TILE COLOR: CANYON RED Q01 SIZE: ROUND TOP COVE BASE 5x6 - MATCH EXISTING GROUT: MAPEI - MATCH EXISTING
<b>09 51 13 ACOUSTIC PANEL CEILINGS</b>	
<b>ACT-1</b>	MANUFACTURER: ARMSTRONG TYPE: SCHOOL ZONE FINE FISSURED EDGE: SQUARE LAY-IN SIZE: 24' X 24' GRID: 15/16" PRELUDE - WHITE COLOR: WHITE
<b>ACT-2</b>	MANUFACTURER: ARMSTRONG TYPE: KITCHEN ZONE SIZE: 24' X 48' EDGE: SQUARE LAY-IN GRID: 15/16" PRELUDE - WHITE COLOR: WHITE
<b>09 65 13 RESILIENT BASE AND ACCESSORIES</b>	
<b>RB-1</b>	MANUFACTURER: ROPPE TYPE: STANDARD TOE SIZE: 4" COVE COLOR: LUNAR DUST
<b>09 65 13.23 RESILIENT STAIR TREADS &amp; RISERS</b>	
<b>RST-1</b>	MANUFACTURER: ROPPE TYPE: #95 HAMMERED DESIGN WITH RISER COLOR: MARBLEIZED LUNAR DUST
<b>09 65 19 RESILIENT TILE FLOOR</b>	
<b>RT-1</b>	MANUFACTURER: ROPPE SIZE: 19-11/16" X 19-11/16" TYPE: #995 HAMMERED DESIGN COLOR: MARBLEIZED LUNAR DUST
<b>09 67 23 RESINOUS FLOORING</b>	
<b>EP-1</b>	MANUFACTURER: SHERWIN WILLIAMS STYLE: RESUFLOOR DECO FLAKE BC COLOR: TBD BY CLIENT FROM MANUF STANDARD COLORS
<b>EP-2</b>	MANUFACTURER: SHERWIN WILLIAMS STYLE: POLY-CRETE SLB COLOR: TBD BY CLIENT FROM MANUF STANDARD COLORS
<b>09 91 23 INTERIOR PAINTING</b>	
<b>P-1</b>	MANUFACTURER: SHERWIN WILLIAMS COLOR: SEMI-GLOSS FINISH: FIELD PAINT COLOR LOCATION:
<b>P-2</b>	MANUFACTURER: SHERWIN WILLIAMS COLOR: SEMI-GLOSS FINISH: FIELD PAINT COLOR LOCATION:
<b>P-3</b>	MANUFACTURER: SHERWIN WILLIAMS COLOR: EG-SHELL FINISH: CEILING PAINT COLOR LOCATION:
<b>P-4</b>	MANUFACTURER: SHERWIN WILLIAMS COLOR: SEMI-GLOSS FINISH: DOORS AND FRAMES LOCATION: ALL EXISTING FRAMES TO BE PAINTED WHERE P-4 IS INDICATED. DOORS PAINTED WHERE NOTED.

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL FINISH				CEILING FINISH	REMARKS
				NORTH	EAST	SOUTH	WEST		
FIRST FLOOR									
121	WEST PLATFORM	RT-1	RB-1	P-2	P-2	--	P-2	ACT-1	RST-1 ON STEPS UP TO PLATFORM
125	EAST PLATFORM	RT-1	RB-1	P-2	P-2	--	P-2	ACT-1	RST-1 ON STEPS UP TO PLATFORM
129	WEST SERVING AREA	FT-1	TB-1	P-3	P-3	P-3	P-3	ACT-2	PROVIDE ALTERNATE 1: TO INFILL FLOOR WITH CONCRETE LEVEL WITH CAFETERIA AND PROVIDE EP-1 FLOOR & BASE
130A	STORAGE	EP-2	EP-2	P-2	P-2	P-2	P-2	ACT-2	
130B	NEW COOLER	FF	FF	FF	FF	FF	FF	FF	FF- FACTORY FINISH
131	STORAGE	EP-1	EP-1	P-2	P-2	P-2	P-2	ACT-1	
132	EAST SERVING AREA	FT-1	TB-1	P-3	P-3	P-3	P-3	ACT-2	PROVIDE ALTERNATE 1: TO INFILL FLOOR WITH CONCRETE LEVEL WITH CAFETERIA AND PROVIDE EP-1 FLOOR & BASE
133	COMBINED CAFETERIA	EP-1	EP-1	P-1/P-2	P-1/P-2	P-1/P-2	P-1/P-2	ACT-1	
134	DISHWASH AREA	EXISTING	EXISTING	P-3	P-3	P-3	P-3	ACT-2	PATCH AND REPAIR EXISTING QUARRY TILE AS REQUIRED FOR NEW EQUIPMENT
136	KITCHEN	EXISTING	EXISTING	P-3	P-3	P-3	P-3	ACT-2	PATCH AND REPAIR EXISTING QUARRY TILE AS REQUIRED FOR NEW EQUIPMENT
137	DRY STORAGE	EXISTING	EXISTING	P-3	P-3	P-3	P-3	ACT-2	

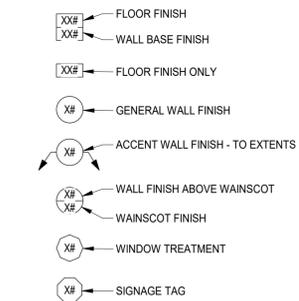


**1 FIRST FLOOR FINISH PLAN**  
SCALE : 3/32" = 1'-0"

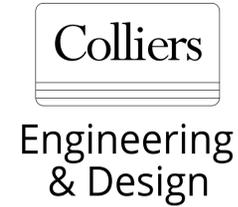
**GENERAL FINISH NOTES**

- A. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
- B. PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
- C. REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- D. INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
- E. FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
- F. DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- G. PAINT DESIGNATIONS INDICATE LOCATION ONLY. OWNER TO MAKE FINAL DECISIONS ON COLOR AND SHEEN.
- H. EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- I. EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
- J. WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- K. PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - A. PREPARE PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
  - B. FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
- L. PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.
- M. CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- N. FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- O. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
- P. ALL EXPOSED CONDUIT AND MISC STEEL TO BE PAINTED TO MATCH ADJACENT SURFACE.
- Q. CONTRACTOR REQUIRED TO PROVIDE DETAILED SHOP SUBMITTALS WITH REQUIRED STRIPING DIMENSIONS TO MEET REGIONAL, STATE, AND NATIONAL COMPETITION GUIDELINES FOR HIGH SCHOOL BASKETBALL, VOLLEYBALL, AND PICKLEBALL.

**FINISH SYMBOL LEGEND**

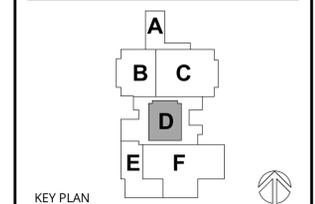


**FINISH HATCH LEGEND**



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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



**LANSING SCHOOL DISTRICT**

**BID PACK 2**  
**GARDNER ELEMENTARY**  
**FOOD SERVICE - EQUIPMENT**  
**REPLACEMENT &**  
**RENOVATION SO-1852**  
333 DAHLIA DRIVE  
LANSING, MI 48911

MI ARCHITECTURE  
FIRM LICENSE # NLP000605



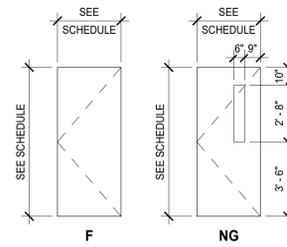
PROJECT MANAGER: <b>C. NORRIS</b>	DISCIPLINE LEAD: <b>B. HUYLER</b>
DESIGNER: <b>C. NORRIS</b>	REVIEWER: <b>B. HUYLER</b>
DATE ISSUED: 3/13/26	PROJECT NUMBER: 26000752A

SHEET NAME:

**FIRST FLOOR FINISH PLAN**

DRAWING NUMBER:

**A141**



DOOR - TYPES

DOOR #	DOOR						FRAME			GENERAL		DOOR #
	WIDTH LEAF 1	WIDTH LEAF 2	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	HDWR	RATING	REMARKS	
FIRST FLOOR												
129A	3'-0"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	129A
131	3'-0"	3'-0"	7'-0"	0'-1 3/4"	F	WD - ST	EXIST	EXIST - NEW PAINT	TBD		(2) NEW DOORS + HDWR, EXIST FRAME (PH. 2)	131
132A	3'-0"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	132A
133A	3'-0"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	133A
133B	3'-0"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	133B
133C	3'-1"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	133C
133D	3'-0"		7'-0"	0'-1 3/4"	NG	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 2)	133D
136A	3'-0"		7'-0"	0'-1 3/4"	F	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 1) VERIFY SIZE OF OPENING AND ANY RATING REQUIREMENTS IN FIELD	136A
D-118	3'-0"	3'-0"	7'-0"	0'-1 3/4"	F	WD - ST	EXIST	EXIST - NEW PAINT	TBD		(2) NEW DOORS + HDWR, EXIST FRAME (PH. 2)	D-118
D-126	3'-0"	3'-0"	7'-0"	0'-1 3/4"	F	WD - ST	EXIST	EXIST - NEW PAINT	TBD		(2) NEW DOORS + HDWR, EXIST FRAME (PH. 2)	D-126
D-135A	3'-0"		7'-0"	0'-1 3/4"	F	WD - ST	EXIST	EXIST - NEW PAINT	TBD		NEW DOOR + HDWR, EXIST FRAME (PH. 1)	D-135A

**SPECIFICATIONS**

**081416 - FLUSH WOOD DOORS**

- A. ACCEPTABLE MANUFACTURERS: EGGERS INDUSTRIES, OSHKOSH DOOR COMPANY, AND VT INDUSTRIES.
- B. INTERIOR DOORS: SOLID-CORE FIVE-PLY FLUSH WOOD VENEER-FACED DOORS FOR TRANSPARENT FINISH.
  - a. PERFORMANCE GRADE: ANS/WDMA 1.5, 1A EXTRA HEAVY DUTY.
  - b. FACES: PLAIN SLICED RED OAK, CENTER-BALANCE MATCH.
  - c. EXPOSED VERTICAL AND TOP EDGES: SAME SPECIES AS FACES, ARCHITECTURAL WOODWORK STANDARDS EDGE TYPE A.
  - d. FIRE RATED DOORS: PROVIDE EDGE CONSTRUCTION WITH INTUMESCENT SEALS CONCEALED BY OUTER STILE.
  - e. CORE FOR FIRE-RATED DOORS: AS REQUIRED TO ACHIEVE FIRE-PROTECTION RATING INDICATED ON SCHEDULE.
- C. FINISH: FACTORY FINISH, TRANSPARENT, SATIN, STAIN COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

**087100 - DOOR HARDWARE:**

- A. MANUFACTURERS/PRODUCTS
  - a. HINGES: IVES 5BB SERIES. ALSO ACCEPTABLE: HAGER BB1191/1279 SERIES OR MCKINNEY TB SERIES.
  - b. CONTINUOUS HINGES: IVES. ALSO ACCEPTABLE: SELECT OR PEMKO.
  - c. MORTISE LOCKS: SCHLAGE L9000 SERIES. ALSO ACCEPTABLE: SARGENT 8200 SERIES.
    - WARRANTY: 10 YEARS.
  - d. CYLINDERS: BEST. NO SUBSTITUTION. PROVIDE INTERCHANGEABLE CYLINDERS/CORES TO MATCH OWNER'S EXISTING KEY SYSTEM. COMPLIANT WITH ANSIBHMA A156.5, LATEST REVISION.
  - e. DOOR CLOSERS: LCN 4040XP SERIES. ALSO ACCEPTABLE: SARGENT 281 SERIES.
    - WARRANTY: 30 YEARS.
  - f. PROTECTION PLATES: IVES. ALSO ACCEPTABLE: TRIMCO OR ROCKWOOD.
  - g. OVERHEAD STOPS AND OVERHEAD STOP/HOLDERS: GLYNN-JOHNSON. ALSO ACCEPTABLE: SARGENT OR ABH.
  - h. DOOR STOPS AND HOLDERS: IVES. ALSO ACCEPTABLE: TRIMCO OR ROCKWOOD.
  - i. THRESHOLDS, SEALS, DOOR SWEEPS, AUTOMATIC DOOR BOTTOMS, AND GASKETING: ZERO INTERNATIONAL. ALSO ACCEPTABLE: NATIONAL GUARD, REESE, OR PEMKO.
  - j. FINISHES: GENERALLY, SATIN CHROMIUM, BHMA 626/652 (US26D). PROVIDE FINISH FOR EACH ITEM AS INDICATED IN THE SETS.
- B. KEYING
  - a. SCHEDULED SYSTEM:
    - EXISTING FACTORY REGISTERED SYSTEM:
      - 1. PROVIDE CYLINDERS/CORES 0-BITTED FOR OWNER'S EXISTING FACTORY REGISTERED KEYING SYSTEM. COMPLY WITH GUIDELINES IN ANSIBHMA A156.28.
  - b. REQUIREMENTS:
    - PERMANENT KEYING: PROVIDED BY OWNER.
- C. HARDWARE SETS TBD IN FUTURE ADDENDUM.
- D. ALL HARDWARE TO MEET ACCESSIBILITY REQUIREMENTS SET BY 2017 ICC 117.1 AND ADA.

**088000 - GLAZING:**

- A. MONOLITHIC GLASS:
  - a. HEAT STRENGTHENED FULLY TEMPERED FLOAT GLASS.
  - b. MINIMUM 6 MM THICK.
  - c. LOCATION: INTERIOR, NON-FIRE RATED LOCATIONS UNLESS OTHERWISE NOTED.

**099123 - INTERIOR PAINTING:**

- A. BASIS OF DESIGN MANUFACTURER: SHERWIN WILLIAMS. ALSO ACCEPTABLE: BENJAMIN MOORE AND PPG PAINTS.
- B. PREPARATION OF SURFACES TO RECEIVE PAINT: CLEAN, DRY, DULL, AND SOUND.
- C. PAINT SYSTEMS:
  - a. CMU (EXISTING PREVIOUSLY PAINTED):
    - PRIMER: EXTREME BOND PRIMER, B51 SERIES
      - 1. 3.1 MILS WET, 9 MILS DRY.
    - ADHESION TEST: USE PRINCIPLES OF ASTM D3359 AFTER MINIMUM 7 DAY CURE TIME OF PRIMER TO ENSURE 90% OF COATING CONTINUES TO ADHERE. CONTACT COATINGS MANUFACTURER FOR ASSISTANCE AS NEEDED.
    - INTERMEDIATE COAT: MATCH TOPCOAT.
    - TOPCOAT: PRO INDUSTRIAL PRE-CAT EPOXY, K45-2150 SERIES.
      - 1. 4.0 MILS WET, 1.6 MILS DRY PER COAT.
  - b. CMU (NEW/BARE):
    - PRIMER: PRO INDUSTRIAL HEAVY DUTY BLOCK FILLER, B42 SERIES
    - INTERMEDIATE COAT: MATCH TOP COAT
    - TOPCOAT: PRO INDUSTRIAL PRE-CAT EPOXY, K45-2150 SERIES.
      - 1. 4.0 MILS WET, 1.6 MILS DRY PER COAT.
  - c. HOLLOW METAL FRAMES AND DOORS:
    - PRIMER: PRO INDUSTRIAL PRO CRVL UNIVERSAL PRIMER, B66-310 SERIES.
      - 1. 5.0 TO 10 MILS WET, 2.0 TO 4.0 MILS DRY.
    - INTERMEDIATE COAT: MATCH TOPCOAT.
    - TOPCOAT: PRO INDUSTRIAL ACRYLIC SEMI-GLOSS COAT, B66-650 SERIES.
      - 1. 2.5 TO 4.0 MILS DRY PER COAT.
  - d. GYPSUM BOARD AND PLASTER:
    - PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B28W2800
      - 1. 4.0 MILS WET, 1.0 MILS DRY.
    - INTERMEDIATE COAT: MATCH TOPCOAT.
    - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20-2600 SERIES.
      - 1. 4.0 MILS WET, 1.6 MILS DRY.
- D. COLORS: REFER TO BASIS OF DESIGN.

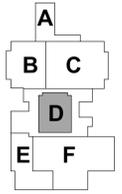
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

LANSING SCHOOL DISTRICT

BID PACK 2

GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852

333 DAHLIA DRIVE LANSING, MI 48911

MI ARCHITECTURE FIRM LICENSE # NLP000605

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PROJECT MANAGER: C NORRIS	DISCIPLINE LEAD: B HUYLER
DESIGNER: E POST	REVIEWER:
DATE ISSUED: 3/13/26	PROJECT NUMBER: 26000752A
SHEET NAME:	

DOOR SCHEDULE AND SPECIFICATIONS

DRAWING NUMBER:

A601

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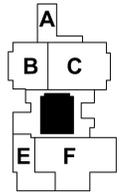
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

**DEMO KEY NOTES**

- 1 REMOVE AND DISPOSE OF EXISTING DUCTWORK, DIFFUSERS, AND ALL ASSOCIATED ACCESSORIES BACK TO INDICATED POINT OF DISCONNECTION
- 2 REMOVE AND DISPOSE OF EXISTING SUPPLY DIFFUSER.
- 3 SPACES WITHIN HATCHED REGION NOT TO BE AFFECTED. MAINTAIN EXISTING DUCTWORK AND DIFFUSERS WITHIN THIS HATCHED REGION.
- 4 EXISTING FIN TUBE RADIATORS TO REMAIN.



KEY PLAN

**LANSING SCHOOL DISTRICT**

**BID PACK 2**  
**GARDNER ELEMENTARY**  
**FOOD SERVICE - EQUIPMENT**  
**REPLACEMENT &**  
**RENOVATION SO-1852**  
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 LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NLP000605

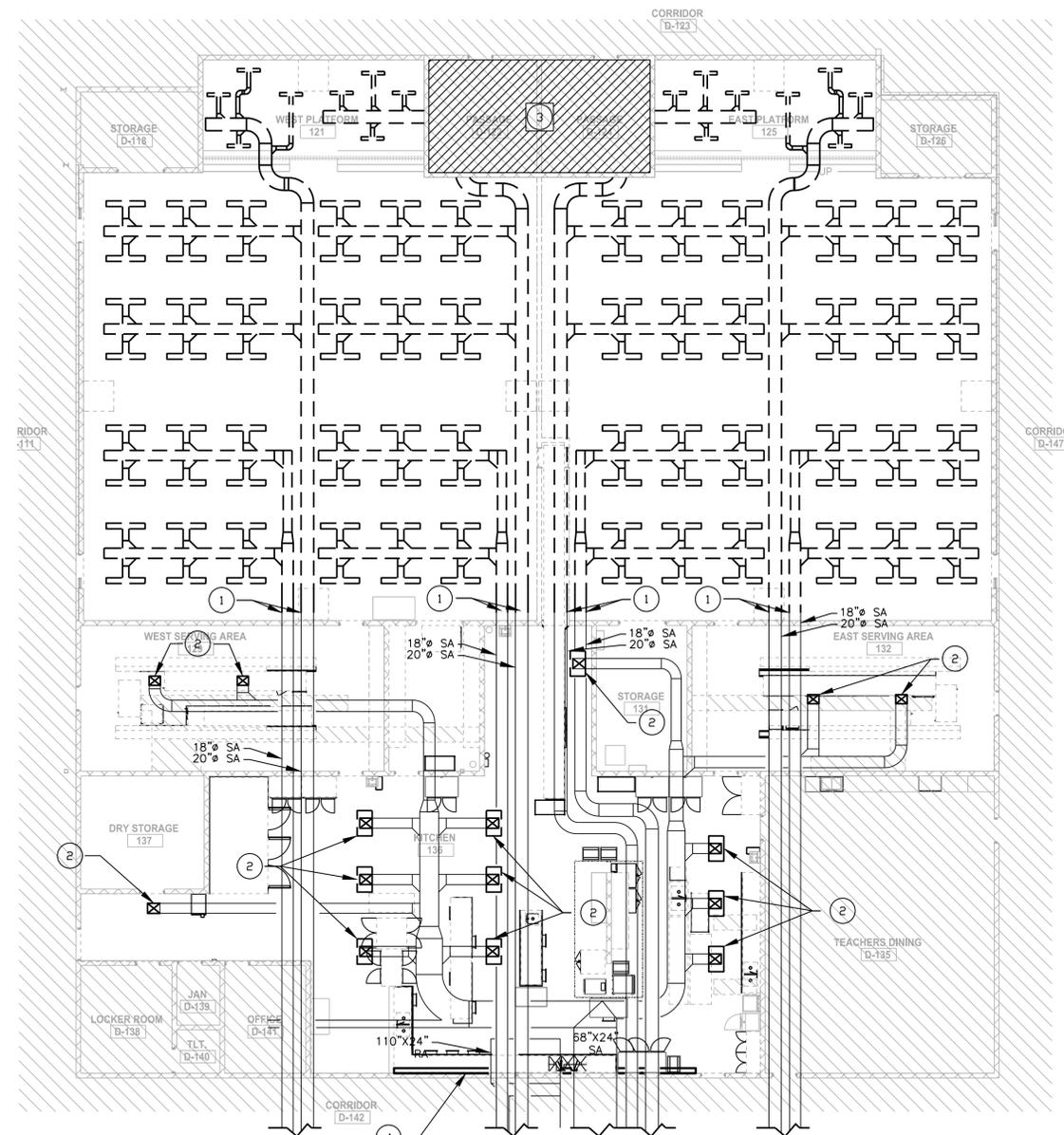


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DESIGNER: <b>J FEISTRITZER</b>	REVIEWER: <b>L WOOD</b>
DATE ISSUED: <b>03/16/2026</b>	PROJECT NUMBER: <b>26000063A</b>
SHEET NAME:	

**FIRST FLOOR PLAN - DEMOLITION**

DRAWING NUMBER:  
**MD101**



**FLOOR PLAN - MECHANICAL DEMOLITION**  
 SCALE: 1/8" = 1'-0"

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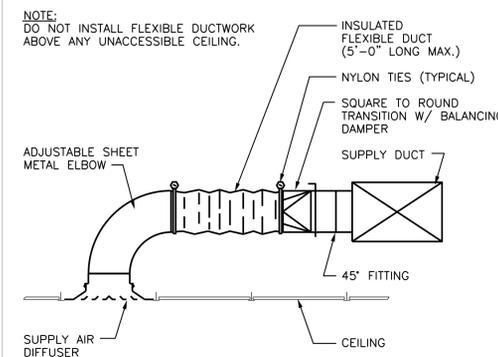
REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

MARK	SERVICE	MODEL	FACE SIZE (IN)	CONN. SIZE (IN)	AIRFLOW (CFM)	FINISH	REMARKS
D-1	SUPPLY AIR	SPD	24"X24"	8"ø	200 - 250	WHITE	①
D-2	MAKEUP AIR	PDSP	24"X24"	16"ø	720 - 915	WHITE	①
SLD-1	SUPPLY AIR	SDS	48"X6"	8"ø	375	WHITE	② ①
G-1	RETURN AIR	630	50"X26"	48"X24"	2260	WHITE	①

- ① BASED ON PRICE INDUSTRIES
- ② TYPE 14 MOUNTING, 2-SLOT, 48" LENGTH, 1-1/2" SLOT WIDTH, PROVIDE WITH DP PLENUM

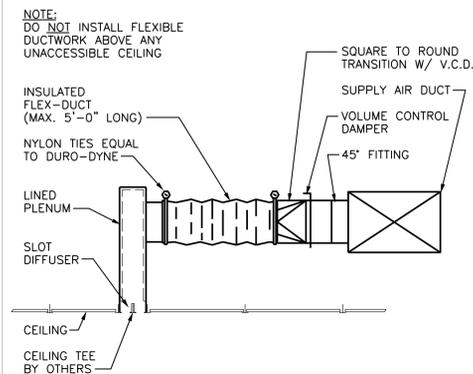
### PLAN KEY NOTES

- ① CONNECT NEW DUCT TO EXISTING DUCTWORK AND DIFFUSERS IN NON-RENOVATED SPACE.

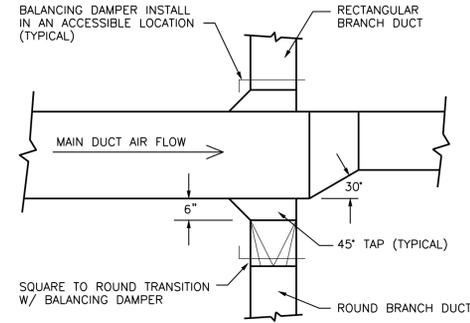


CEILING DIFFUSER INSTALLATION DETAIL  
 NOT TO SCALE

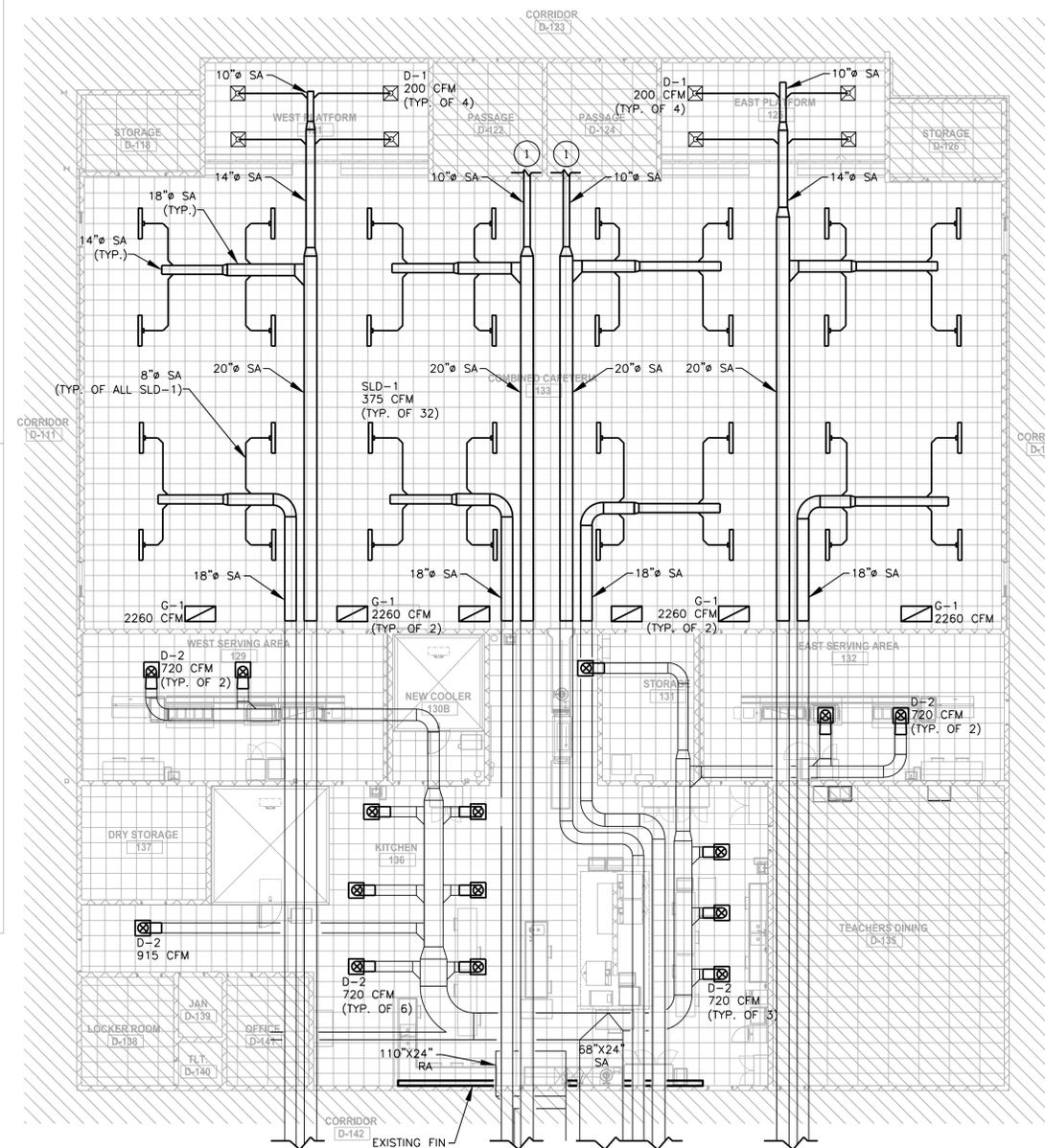
- GENERAL MECHANICAL REQUIREMENTS**
- ENTIRE INSTALLATION SHALL BE IN COMPLIANCE WITH 2015 MICHIGAN MECHANICAL CODE.
  - DUCTWORK SHALL BE SHEET METAL CONFORMING TO CURRENT ASHRAE AND SMACNA STANDARDS FOR CONSTRUCTION AND INSTALLATION.
  - PROVIDE DUCTWORK WITH A MINIMUM INSTALLED INSULATION VALUE OF R-4.2 OR 1-1/2" THICK. PROVIDE EXTERNAL THERMAL INSULATION WITH AN INTEGRAL VAPOR BARRIER FACING OF SUFFICIENT THICKNESS TO MEET ENERGY CODE REQUIREMENTS. NOTE: EXTERNAL INSULATION IS NOT REQUIRED WHERE DUCT IS INTERNALLY LINED. EXPOSED DUCTWORK SHALL BE PROVIDED WITH "PAINT GRIP" ONLY.
  - ALL SUPPLY DIFFUSERS SHALL BE BALANCED TO WITHIN 10% OF VALUES LISTED.
  - DO NOT INSTALL ANY DUCTWORK AROUND ELECTRICAL EQUIPMENT TO INSURE ALL CODE REQUIRED CLEARANCES. SEE ELECTRICAL PLANS FOR THESE LOCATIONS.
  - MECHANICAL CONTRACTOR SHALL GUARANTEE WORKMANSHIP FOR ONE YEAR AFTER OCCUPANCY BY OWNER.
  - THERMOSTATS MUST BE 7-DAY PROGRAMMABLE, AUTO CHANGEOVER TYPE.
  - COORDINATE INSTALLATION OF FRESH AIR INTAKES AND EXHAUST PENETRATIONS AS REQUIRED TO MAINTAIN CODE CLEARANCES.



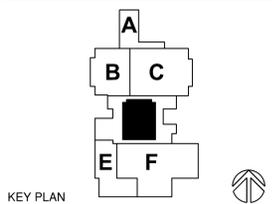
SLOT DIFFUSER INSTALLATION DETAIL  
 NOT TO SCALE



TYPICAL BRANCH TAKE-OFF DETAIL  
 NOT TO SCALE



**FLOOR PLAN - MECHANICAL**  
 SCALE: 1/8" = 1'-0"



**LANSING SCHOOL DISTRICT**

**BID PACK 2  
 GARDNER ELEMENTARY  
 FOOD SERVICE - EQUIPMENT  
 REPLACEMENT &  
 RENOVATION SO-1852**

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MI ARCHITECTURE  
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DATE ISSUED: 03/16/2026	PROJECT NUMBER: 26000063A
SHEET NAME:	

**FIRST FLOOR PLAN -  
 MECHANICAL**

DRAWING NUMBER:  
**M101**



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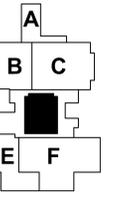
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

### DEMO KEY NOTES

- 1 REMOVE AND DISPOSE OF EXISTING PLUMBING PIPING BACK TO INDICATED POINT OF DISCONNECTION.
- 2 PLUMBING FIXTURE TO BE REPLACED ONE-FOR-ONE. DISCONNECT FROM EXISTING FIXTURE AND PREPARE CONNECTIONS TO NEW FIXTURE.
- 3 FLOOR DRAIN TO BE REMOVED AND DISPOSED OF. CUT AND CAP EXISTING SANITARY PIPING AT FINISHED FLOOR AND ABANDON IN PLACE.
- 4 EXISTING SINK TO BE REMOVED AND DISPOSED OF. CUT AND CAP SANITARY BACK TO FINISHED FLOOR AND ABANDON IN PLACE. CUT AND CAP WATER PIPING BACK TO NEAREST MAIN.



KEY PLAN

## LANSING SCHOOL DISTRICT

### BID PACK 2 GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852

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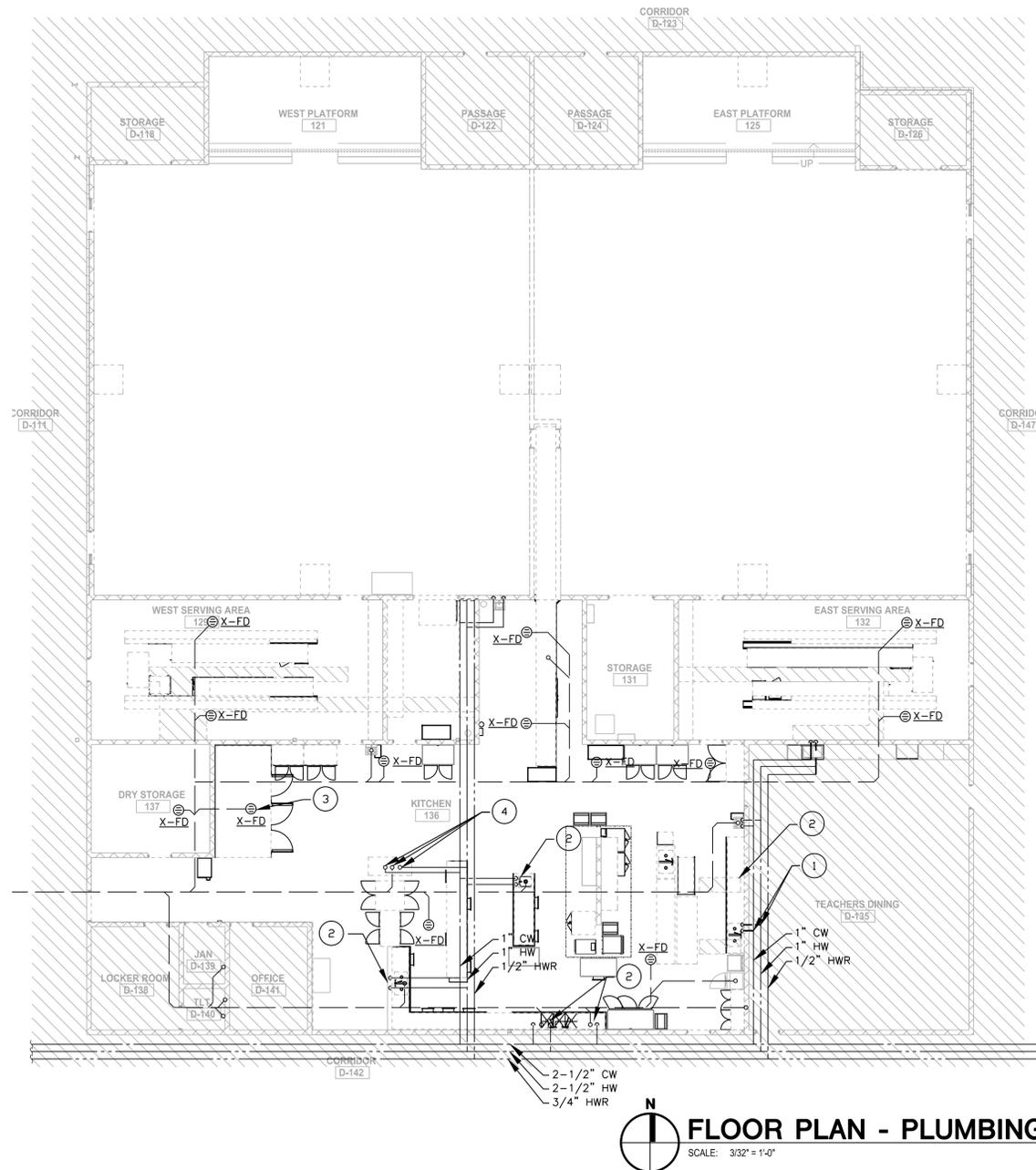
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DATE ISSUED: <b>03/16/2026</b>	PROJECT NUMBER: <b>26000063A</b>
SHEET NAME:	

## FIRST FLOOR PLAN - DEMOLITION

DRAWING NUMBER:  
**PD101**

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**FLOOR PLAN - PLUMBING DEMOLITION**  
 SCALE: 3/32" = 1'-0"



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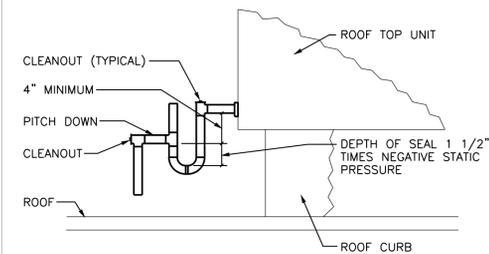
REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

ABV	ABOVE	IE	INVERT ELEVATION
AFG	ABOVE FINISH FLOOR	L	LAVATORY
ARCH	ARCHITECT	MECH	MECHANICAL
BFP	BACKFLOW PREVENTER	MAX	MAXIMUM
BLDG	BUILDING	MIN	MINIMUM
BTM	BOTTOM	MTD	MOUNTED
CLG	CEILING	NIC	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CONT	CONTINUOUS	OC	ON CENTER
CW	COLD WATER	PRV	PRESSURE REDUCING VALVE
DF	DRINKING FOUNTAIN	PVC	POLYVINYL CHLORIDE
DN	DOWN	RD	ROOF DRAIN
DS	DOWN SPOUT	S	SINK
DWG	DRAWING	SAN	SANITARY
EA	EACH	SH	SHOWER
ELEC	ELECTRIC(AL)	SP	SUMP PUMP
ELEV	ELEVATION	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
EW	EYE WASH	STM	STORM
EWC	ELECTRIC WATER COOLER	STRUC	STRUCTURE, STRUCTURAL
EWL	ELECTRIC WATER HEATER	T&P	TEMPERATURE & PRESSURE
FCO	FLOOR CLEAN OUT	TUB	BATHTUB
FD	FLOOR DRAIN	TYP	TYPICAL
FS	FLOOR SINK	UR	URINAL
FT	FOOT, FEET	V	VENT
GAL	GALLON(S)	VTR	VENT THRU ROOF
GI	GREASE INTERCEPTOR	W/	WITH
GWH	GAS WATER HEATER	W/O	WITHOUT
HB	HOSE BIBB	WB	WASHER BOX
HD	HEAD	WC	WATER CLEAN OUT
HW	HOT WATER	WCO	WALL CLEAN OUT
HWR	HOT WATER RETURN	WH	WALL HYDRANT
		WP	WATERPROOF(ING)

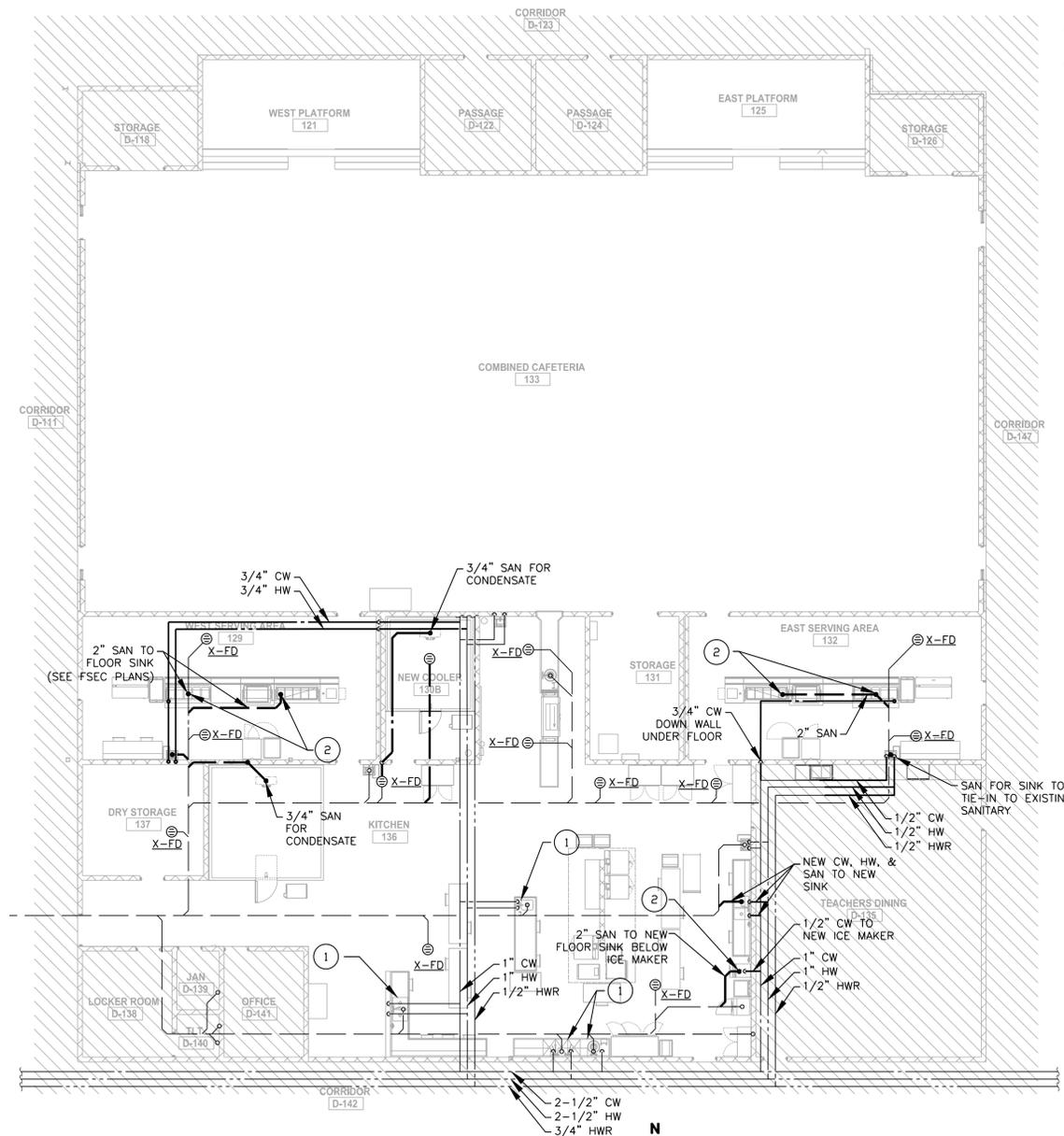
## PLUMBING ABBREVIATIONS

- IN CONCEALED LOCATIONS WHERE PIPING IS INSTALLED THROUGH STUDS, JOISTS, OR RAFTERS, PROVIDE A 1/16" (16 GAUGE) THICK STEEL PROTECTIVE SHIELD TO PROTECT THE PIPE FROM PUNCTURES.
- PROVIDE WATER HAMMER ARRESTERS WHERE QUICK CLOSING VALVES ARE USED, OR AS REQUIRED. ARRESTERS SHALL CONFORM TO ASSE 1010 AND ACCESS SHALL BE PROVIDED TO EACH ARRESTER.
- ALL PLUMBING VENTS THROUGH THE ROOF TO BE INSTALLED A MINIMUM OF 10'-0" AWAY FROM ALL FRESH AIR INTAKE OPENINGS.
- DO NOT INSTALL ANY PIPING AROUND ELECTRICAL EQUIPMENT TO INSURE ALL CODE REQUIRED CLEARANCES. SEE ELECTRICAL PLANS FOR THESE LOCATIONS.
- REFER TO MINIMUM SIZE CONNECTION SCHEDULE FOR ALL PLUMBING FIXTURES BRANCH PIPING SIZES.
- PROVIDE IDENTIFICATION ON ALL SHUT-OFF VALVES SERVING WALL HYDRANTS AND HOSE BIBBS. IDENTIFY ALL OTHER VALVES THAT ARE NOT ADJACENT TO THE FIXTURE THEY SERVE.
- PROVIDE A TEMPERING VALVE AT ALL ACCESSIBLE HANDWASHING FIXTURES THAT CONFORMS TO ASSE 1070.
- ALL DOMESTIC PIPING TO BE TYPE 'L' COPPER, INSULATED WITH FOAM PER ENERGY CODE.
- ALL SANITARY PIPING TO BE SCHEDULE 40 PVC.
- VENTING SHALL BE INSTALLED IN ACCORDANCE WITH CODE.
- ALL CONDENSATE PIPING TO BE 3/4" UNLESS OTHERWISE NOTED.

## PLUMBING NOTES



CONDENSATE DRAIN DETAIL  
 NOT TO SCALE



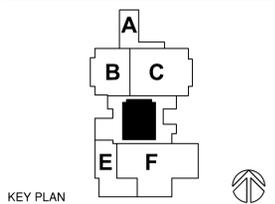
**FLOOR PLAN - PLUMBING**  
 SCALE: 3/32" = 1'-0"

## PLAN KEY NOTES

- WATER AND SANITARY CONNECTIONS TO NEW FIXTURE
- PROVIDE AIR GAP BETWEEN FLOOR SINK AND SANITARY DISCHARGE OF PLUMBING FIXTURE.

## GENERAL NOTES

- FOOD SERVICE EQUIPMENT AND FIXTURES BY FOOD SERVICE CONSULTANT. REFER TO FOOD SERVICE DRAWINGS FOR EQUIPMENT SCHEDULE AND SPECIFICATIONS. PLUMBING CONTRACTOR TO COORDINATE FINAL CONNECTION LOCATIONS AND REQUIREMENTS.

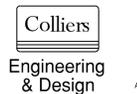


## LANSING SCHOOL DISTRICT

### BID PACK 2 GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852

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PROJECT MANAGER: <b>L WOOD</b>	DISCIPLINE LEAD: <b>L WOOD</b>
DESIGNER: <b>J FEISTRITZER</b>	REVIEWER: <b>L WOOD</b>
DATE ISSUED: <b>03/16/2026</b>	PROJECT NUMBER: <b>26000063A</b>
SHEET NAME:	

## FIRST FLOOR PLAN - PLUMBING

DRAWING NUMBER:

**P101**

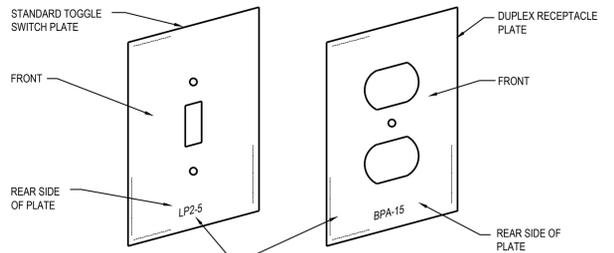
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

ELECTRICAL SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO CL.
S S3	SINGLE POLE OR 3-WAY SWITCH-SPECIFICATION GRADE	46"
S4	FOUR WAY SWITCH-SPEC. GRADE	46"
SK	KEY OPERATED SWITCH-SPEC. GRADE	46"
SD	DIMMER SWITCH	46"
S IR	IR SWITCH	46"
S IRD	IR SWITCH DIMMABLE	46"
SP	SWITCH WITH PILOT LIGHT	46"
SM	MANUAL MOTOR STARTER SWITCH	46"
OS	OCCUPANCY SENSOR	---
PC	PHOTO CELL	---
CS	CONTROL STATION	46"
DS	DAYLIGHT SENSOR	---
PP	POWER PACK	---
C	SPLIT WIRED RECEPTACLE C - DENOTES CONTROLLED VIA RELAY OR OCC SENSOR	18"
WR	WATER RESISTANT GROUND FAULT CIRCUIT INTERRUPTER WR-DENOTES WEATHERPROOF WHILE IN USE COVER	18"
Ⓢ	DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
Ⓢ	(2) DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
Ⓢ	SPECIAL SINGLE RECEPTACLE	18"
Ⓢ	SPECIAL OUTLET-CHARACTERISTICS AS NOTED ON PLANS	AS NOTED
EV	E.V. CHARGER F= FUTURE	---
▽	DATA OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
▽	TV OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
▽	TELEPHONE OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE	18"
▽	TELEPHONE/DATA OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE	18"
◁ WN	WIRELESS ROUTER CIRCLE AROUND SYMBOL= CEILING MOUNTED	---
Ⓢ	FLOOR BOX 2 RECEPT. 2 DATA THOMAS & BETTS-# 665-SC 1-1/4" C. TO FLOORBOX FOR DATA	---
Ⓢ	FLOOR BOX 1 RECEPT. 1 DATA - THOMAS & BETTS-# 664-SC 1-1/4" C. TO FLOORBOX FOR DATA	---
J	JUNCTION BOX - HUBBELL NSAVE2M WITH RECEPTACLE KIT HUBBELL NSOKP PROVIDE CONNECTOR PLATE FOR AV	AS NOTED
J	JUNCTION BOX 4" SQ. BOX W/ 2 GANG RAISED COVER 1 1/4" C. UP WALL TO CLG. SPACE UNLESS OTHERWISE NOTED POWER POLE - SEE DRAWINGS FOR POWER - POWER/DATA SPECIFICATIONS	AS NOTED
M	ELECTRIC UTILITY METER	---
FDS	FUSED DISCONNECT SWITCH- FDS-HEAVY DUTY	46"
NFDS	NON-FUSED DISCONNECT SWITCH- NFDS-HEAVY DUTY	46"
SW	SW. AND PLUG/FUSE HOLDER- BUSSMANN "SSU" & FUSE/STAT FUSE	AT EQUIP.
MS	MAGNETIC MOTOR STARTER-MS	46"
MS	COMBINATION MAG. STARTER/ FUSED DISC. SWITCH - CS/FDS	46"
MS	COMBINATION MAG. STARTER/NON-FUSED DISC. SWITCH - CS/NFDS	46"
VFD	VARIABLE FREQUENCY DRIVE	---
M	SINGLE PHASE ELECTRIC MOTOR	---
M	THREE PHASE ELECTRIC MOTOR	---
P	SURFACE OR FLUSH MTD. BRANCH CIRCUIT PANELBOARD	72" TO TOP
T	TRANSFORMER	---
P	PUSH BUTTON	46"
T	THERMOSTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	46"
T	HUMIDISTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	46"
⊗	RECESSED DOWNLIGHT LUMINAIRE	---
⊗	RECESSED WALLWASH LUMINAIRE	---
○	SURFACE LUMINAIRE	---
○	PENDANT LUMINAIRE	---
○	WALL MOUNTED LUMINAIRE	---
○	SITE LIGHTING LUMINAIRE	---
○	NIGHT LIGHT	---
—	STRIP LUMINAIRE	---
—	LED ACCENT/UNDER CABINET LUMINAIRE	---
⊗	RECESSED LUMINAIRE 2x4' OR 2x2'	---
⊗	SURFACE LUMINAIRE 2x4' OR 2x2'	---
—	TRACK LIGHTING LUMINAIRE	---
—	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY	---
—	EXIT SIGN - WALL MOUNTED OR CEILING MOUNTED ARROWS INDICATE PATH OF EGRESS	---
—	REMOTE EMERGENCY HEAD	---
—	BATTERY EMERGENCY LUMINAIRE	---

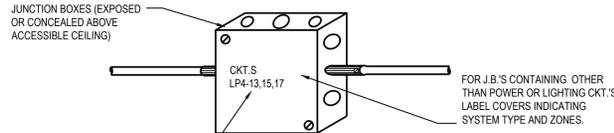
SYMBOL NOTES:  
 1. "AC" DENOTES ABOVE COUNTER. COORDINATE HEIGHT WITH ARCHITECT.  
 2. "H" DENOTES HORIZONTAL MOUNTING OF DEVICE.  
 3. "B" DENOTES MOUNTED IN BASE.  
 4. "F" DENOTES MOUNTED IN FACE OF CABINETS.

SYSTEMS SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO CL.
F	FIRE ALARM PULL STATION	46"
WP	FIRE ALARM HORN/STROBE LIGHT (WP-DENOTES WEATHER PROOF)	80"
Ⓢ	AREA SMOKE DETECTOR-PHOTOELECTRIC	---
Ⓢ	VISUAL ONLY ALARM	80"
Ⓢ	AUDIO ONLY ALARM	---
Ⓢ	CEILING SPEAKER	---
Ⓢ	SPEAKER/STROBE LIGHT	---
CO	SMOKE/HORN BASE CO-DENOTES COMBO CARBON MONOXIDE/SMOKE	---
DH	MAGNETIC DOOR HOLD OPEN	---
CO	CARBON MONOXIDE SENSOR. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	---
D	DUCT SMOKE DETECTOR	---
H	HEAT DETECTOR	---
TS	O.S.&Y TAMPER SWITCH	---
FS	WATER FLOW SWITCH	---
RT	REMOTE ALARM KEY TEST SWITCH	46"
CR	FIRE ALARM CONTROL RELAY	---
BD	BEAM DETECTOR	---
FSD	FIRE/SMOKE DAMPER	---
FACP	FIRE ALARM CONTROL PANEL	---
FAA	FIRE ALARM ANNUNCIATOR PANEL	---
Ⓢ	CEILING SPEAKER	---
Ⓢ	CARD READER	46"
Ⓢ	SECURITY DOOR CONTACT	AT DOOR HEAD
Ⓢ	SECURITY INTERCOM	46"
Ⓢ	SECURITY CAMERA - "W" DENOTES WALL MOUNTED CHEVRON INDICATES AIM LINE	TYPICALLY CLG MOUNTED
Ⓢ	SECURITY DOOR REQUEST TO EXIT	AT DOOR HEAD

F.A. NOTES:  
 1. MATCH EXISTING FIRE ALARM SYSTEM.



LABEL CKT. NO. OF EACH DEVICE ON REAR SIDE OF COVER PLATE. USE PERMANENT MARKER PEN, BRADY MARKING SYSTEM OR OTHER METHOD APPROVED BY THE ENGINEER

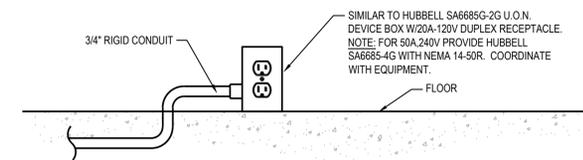


LABEL COVERS WITH CKT.'S CONTAINED WITHIN. USE PERMANENT MARKER PEN OR OTHER APPROVED METHOD.

FOR J.B.'S CONTAINING OTHER THAN POWER OR LIGHTING CKT.'S LABEL COVERS INDICATING SYSTEM TYPE AND ZONES.  
 LABEL EXAMPLES:  
 \*FIRE ALARM-ZONES 2&3\*  
 \*P.A. ZONES 4,5,6&\* DATA CIRCUITS & B\*  
 \*EXIT SIGNS-EM&Z\*  
 \*EMERG. CKT.S. BPEM-3,4\*

**ELECTRICAL IDENTIFICATION**

A-1 E100 N.T.S.



**SURFACE MOUNT KITCHEN FLOOR BOX DETAIL**

A-2 E100 N.T.S.

LIGHT FIXTURE LEGEND							
FIXTURE TYPE	DESCRIPTION	MANU	CATALOG PART#	VOLTAGE	LAMPS	Wattage	REMARKS
A1	2x4 RECESSED LED	ACUTY	CPANL 2X4 AL06 3S 3WW7 M2	MVOLT	LED 3000K	38W 1,2	
A2	2x2 RECESSED LED	ACUTY	CPANL 2X2 AL01 3S 3WW7 M4	MVOLT	LED 3000K	31W 1,2	
B	4 LINEAR LIGHT	AXIS	BBRLLED -480-80-35-FL-6-W-UNV-DP-1-XX-C(WAVELINK PRO	MVOLT	LED 3500K	40W LF	
C	HOOD REPLACEMENT LIGHT JELLY JAR/VAPOR TIGHT	KILLARK	VTR-1	120	LED 3000K		
J8	8" LED INDUSTRIAL STRIP	ACUTY	CSS L96 AL04 3WW3 80CRI	MVOLT	LED 3000K	43/58/74 1,2	
E1	EXIT LIGHT BATTERY BACK UP	LITHONIA	LHQM LED	120	LED	1.5W 1,2	
EM1	EMERGENCY LIGHT BATTERY BACK UP	LITHONIA	ELM4L	120	LED	2.5W 1,2	

GENERAL LIGHT FIXTURE SCHEDULE NOTES: OR OWNER APPROVED EQUALS  
 1. APPROVED MANUFACTURERS COOPER AND COLUMBA  
 2. DAMP LOCATION RATED.

**ELECTRICAL SPECIFICATIONS**

**26-0500 GENERAL PROVISIONS**

- FURNISH AND INSTALL FIRST-CLASS WORKING SYSTEMS, TESTED AND READY FOR OPERATION. COMPLETE WITH LABOR AND MATERIALS (U.L. APPROVED COMMERCIAL GRADE). CONFORM TO DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS. USE PROPER NEMA RATED EQUIPMENT (i.e. "3R" WEATHERPROOF, "1" GENERAL DUTY, ETC.)
- COORDINATE WITH THE DRAWINGS AND SPECIFICATIONS OF THE OTHER TRADES AND WITH THE OWNER.
- FIELD VERIFICATION OF ALL DIMENSIONS ARE REQUIRED, EXACT LOCATIONS, DISTANCES, AND LEVELS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS.
- COMPLY WITH THE 2023 NATIONAL ELECTRICAL CODE, PLUS LOCAL OR STATE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS APPLICABLE TO THE PARTICULAR CLASS OF WORK; ANY FEES IN CONNECTION THEREWITH ARE TO BE PAID BY ELECTRICAL CONTRACTOR.
- COMPLETE REQUIRED DEMOLITION, MAINTAINING OPERATION OF EXISTING TO REMAIN (COORDINATE WITH GC REGARDING ANY PHASING OF THE PROJECT) REWIRE EXISTING CIRCUITS IF REQUIRED.
- PROVIDE SUBMITTALS FOR THE FOLLOWING EQUIPMENT: SWITCHGEAR, LIGHTING, LIGHTING CONTROLS, FIRE ALARM AND OTHER REQUIRED MATERIALS AS REQUIRED PER PROJECT.
- WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.

**TESTING**

- WORK REQUIRED UNDER THIS HEADING SHALL BE BY THE ELECTRICAL CONTRACTOR (OR AS NOTED) AND INCLUDES ALL SUPERVISION, LABOR, MATERIALS, INSTRUMENTATION AND EQUIPMENT NECESSARY TO EFFECTIVELY TEST, MEASURE AND VERIFY THE PERFORMANCE OF THE ELECTRICAL EQUIPMENT SYSTEMS.

**26-0 529, 26-0533, 260534 RACEWAY, BOXES, AND FITTINGS**

- ALL WIRING SHALL BE RUN IN CONCEALED EMT (THINWALL) CONDUIT IN THE FINISHED AREAS OF THE BUILDING. CONDUIT MAY BE EXPOSED IN EQUIPMENT ROOMS OR OVERHEAD IN ROOMS WITHOUT CEILINGS. CONDUITS EXPOSED TO WEATHER TO BE RIGID GALVANIZED CONDUIT, MC CABLE ALLOWED IN AREAS ALLOWED PER NATIONAL ELECTRICAL CODE AND NOT SUBJECT TO DAMAGE.
- HORIZONTAL AND VERTICAL CONDUIT RUNS MAY BE SUPPORTED BY ONE-HOLE MALLEABLE STRAPS, CLAMP-BACKS OR OTHER APPROVED DEVICES.
- CONDUITS SHALL NOT BE RUN IN NOR SUPPORTED FROM DUCTWORK.

**26-0219 CONDUCTORS**

- ALL CONDUCTORS SHALL BE NEW. ALL CONDUCTORS FOR POWER AND LIGHTING SYSTEMS WIRING SHALL BE 98% CONDUCTIVITY COPPER TYPE THHN OR THW. ALUMINUM IS TO BE PERMITTED FOR SERVICE ENTRANCE AND PANEL FEEDS. BRANCH CIRCUIT WIRING SHALL BE COPPER.

**26-2736 WIRING DEVICES**

- CONVENIENCE OUTLETS SHALL BE SPECIFICATION GRADE, RATED AT 20 AMPERE, GROUNDING TYPE, 125 VOLT, AND BEAR U.L. LABEL OF APPROVAL, STAINLESS STEEL COVER PLATES. MANUFACTURERS: PASS AND SEYMOUR CATALOG 5251-1, OR EQUAL BY HUBBELL, AND LEVITON.
- ALL SWITCHES FOR LIGHTING SHALL BE SPECIFICATION GRADE RATED AT 20 AMPERE, 120/277 VOLTS. PASS AND SEYMOUR CATALOG 20AC-1 OR EQUAL BY HUBBELL, AND LEVITON.

**16350 GROUNDING**

- INSTALL COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
- INSTALL BONDING WIRE IN NONMETALLIC AND FLEXIBLE CONDUIT CONNECTED AT SOURCE END TO PANELBOARD EQUIPMENT GROUND BAR AND AT LOAD END TO ENCLOSURE.
- EXTEND COMPLETE BUILDING GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. INCLUDE INSULATED GROUND FOR ALL EXTERIOR AS WELL AS TOILET CIRCUITS.

**26-5113 LIGHTING**

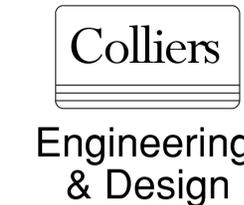
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND/OR INSTALL ALL FIXTURES WITH LAMPS, AS SHOWN ON THE DRAWINGS AND AS LISTED IN THE FIXTURE LEGEND. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADEQUATE SUPPORTING FACILITIES FOR THE LIGHTING SYSTEM.
- WHERE RECESSED FIXTURES ARE INSTALLED IN CEILINGS FINISHED IN ACOUSTICAL TILE PATTERNS OR LAYOUTS, THE ELECTRICAL CONTRACTOR SHALL WORK IN COOPERATION WITH THE CEILING SUPPLIERS IN LOCATING AND FRAMING FIXTURES.
- EXIT LIGHT FIXTURES SHALL BE SUITABLE FOR WALL, CEILING FOR PENDANT MOUNTING AS INDICATED, WITH STENCIL FACES AND ONE-EIGHTH INCH THICK RED (OR GREEN PER ARCHITECT OR OWNER) ACRYLIC PANELS, WITH LED LAMPS AND BATTERY PACKS SHOWN IN THE LIGHTING FIXTURE LEGEND.
- EMERGENCY LIGHTING REQUIREMENTS SHALL BE INSTALLED TO SATISFY THE RESPECTIVE CODES, INCLUDING INTERNATIONAL BUILDING CODE (i.e. 1FC AVERAGE, 6 FC MINIMUM AND 40:1 RATIO OF MAX TO MIN), PHOTOMETRICS, NOT PROVIDED ON THE BID DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE INCLUDED IN THE FINAL BID PROPOSAL - BY EC, SUPPLIER OR ENGINEER.

**26-2816 CONTROLS**

- COMPLETE CONTROLS FOR LIGHTING AND MECHANICAL EQUIPMENT, AS NOTED ON THE DRAWINGS. ALL LIGHTING CONTROLS SHALL COMPLY WITH 2021 MICHIGAN ENERGY CODE.
- APPROVED MANUFACTURERS: ACUTY, COOPER, HUBBELL AND LEVITON.

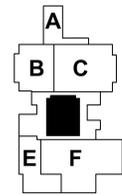


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 Project # 2026022



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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

**LANSING SCHOOL DISTRICT**

**BID PACK 2**

**GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852**

333 DAHLIA DRIVE  
 LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NL000605



- INSTALL COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
- INSTALL BONDING WIRE IN NONMETALLIC AND FLEXIBLE CONDUIT CONNECTED AT SOURCE END TO PANELBOARD EQUIPMENT GROUND BAR AND AT LOAD END TO ENCLOSURE.
- EXTEND COMPLETE BUILDING GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. INCLUDE INSULATED GROUND FOR ALL EXTERIOR AS WELL AS TOILET CIRCUITS.

PROJECT MANAGER: **L. WOOD** DISCIPLINE LEAD: **C. LADEWIG**  
 DESIGNER: **C. LADEWIG** REVIEWER: **C. LADEWIG**  
 DATE ISSUED: **03/16/2026** PROJECT NUMBER: **26000063A**

**DETAILS, SYMBOL LEGENDS & SPECIFICATIONS**

DRAWING NUMBER:

**E100**

**TYPICAL AMPERAGE/CONDUCTOR SIZES FOR ONE-LINE**

SERVICE FEEDERS - (COPPER)	
60A	4-#4+10G, 1-1/4" C
100A	4-#1+#6G, 1-1/2" C
125A	4-#2+#6G, 2" C
150A	4-#3+#6G, 2" C
200A	4-#4+0, 2-1/2" C
225A	4-#4+0, 2-1/2" C
400A	(2)4-#250kcmil, 2-1/2" C
600A	(2)4-#500kcmil, 3" C
800A	(3)4-#400kcmil, 3-1/2" C
1200A	(4)4-#500kcmil, 3-1/2" C
1400A	(5)4-#500kcmil, 3-1/2" C
1600A	(6)4-#400kcmil, 3" C
2000A	(7)4-#500kcmil, 3-1/2" C
2500A	(9)4-#500kcmil, 3-1/2" C

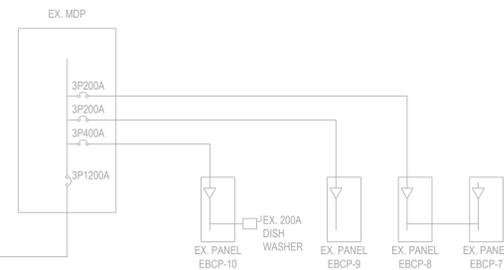
  

BRANCH FEEDERS - 3 WIRE (COPPER)	
30A	3-#10-#10G, 3/4" C
40A	3-#8-#10G, 3/4" C
60A	3-#6-#10G, 3/4" C
80A	3-#4-#6G, 3/4" C
100A	3-#3-#6G, 1" C
125A	3-#1-#6G, 1-1/2" C
200A	3-#4/0-#4G, 2" C
225A	3-#4/0-#4G, 2" C

BRANCH FEEDERS - 4 WIRE (COPPER)	
60A	4-#6-#10G, 1" C
100A	4-#3-#6G, 1-1/4" C
125A	4-#1-#6G, 1-1/2" C
150A	4-#1/0-#6G, 1-1/2" C
175A	4-#2/0-#6G, 2" C
200A	4-#4/0-#4G, 2-1/2" C
250A	4-#250kcmil-#4G, 2-1/2" C
400A	4-#500kcmil-#3G, 3-1/2" C
600A	(2)4-#350kcmil-#10G, 4" C
800A	(2)4-#600kcmil-#10G, 4" C
1200A	(4)4-#350kcmil-#10G, 3" C

- ONE-LINE DIAGRAM GENERAL NOTES**
- REFER TO WIRE SIZING CHART. COPPER OR ALUMINUM MAY BE UTILIZED AT CONTRACTORS DISCRETION UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH TRADES ON SITE.
  - PROVIDE HAZARD LABELS PER CODE MEETING ANSI Z535.4.
  - PANELS ARE EXISTING AND TO BE REUSED. AT THE END OF THE PROJECT ELECTRICAL CONTRACTOR SHALL PROVIDE UPDATED TYPED PANEL SCHEDULES FOR ANY PANEL USED FOR THIS PROJECT.



**EXISTING PARTIAL 120/208V- 3Ø-4W ONE LINE**  
NOT TO SCALE

EBCP-07 EX															
BASED ON SQ. D. NQ OR EQUAL															
CKT NO.	VOLT AMPS					DESCRIPTION	CKT BRKR	L	CKT BRKR	VOLT AMPS					CKT NO.
	LTG.	MTRS.	HVAC	KITCH	REC.					OTHER	LTG.	MTRS.	HVAC	KITCH	
1					1080	EX CIRCUIT	20	A	20					900	2
2					1080	EX CIRCUIT	20	B	20					900	4
3					1080	EX CIRCUIT	20	C	20					1080	6
5					2400	EX CIRCUIT	20	A	20					1200	8
7						EX CIRCUIT	20	B	20					1200	10
9						EX CIRCUIT	20	C	20					2200	12
11					1200	EX CIRCUIT	20	A	20						14
13					1200	EX CIRCUIT	20	B	20						16
15					900	EX CIRCUIT	20	B	20					3500	18
17					3200	EX CIRCUIT	20	C	20						20
19						EX CIRCUIT	20	A	20						22
21						EX CIRCUIT	20	B	20					1000	24
23					3000	EX CIRCUIT	20	C	20					1200	26
25						EX CIRCUIT	20	A	20					500	28
27						EX CIRCUIT	20	B	20					500	30
29						SPACE									32
31					1200	MILK COOLER+	20	A	20					960	34
33					588	REFRIGERATOR+	20	B	20					500	36
35						SPARE	20	C	20					288	38
37					5907	HOT FOOD TABLE+	20	A	20					1140	40
39						EX CIRCUIT	20	B	20						42
41						SPACE									44
43						SPACE									46
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245						SPACE									248
247						SPACE									250
249						SPACE									252
251						SPACE									

DEMOLITION KEYNOTES:

- 1 NO WORK IN THIS AREA.
- 2 DISCONNECT POWER TO EXISTING LIGHTS LOCATED IN CEILING FOR REMODEL. DISPOSE OF ALL LAMPS AT AN APPROVED RECYCLE SITE. RETAIN CIRCUITS.
- 3 REMOVE EXISTING LIGHTS, DISPOSE OF PROPERLY.
- 4 DISCONNECT EQUIPMENT, EXTEND FEEDS OR REMOVE CIRCUIT BACK TO SOURCE PANEL.

GENERAL DEMOLITION NOTES:

- 1. ALL EXISTING FLUORESCENT LAMPS AND BALLASTS TO BE DISPOSED OF AT APPROVED DISPOSAL SITES.



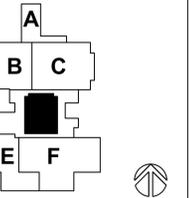
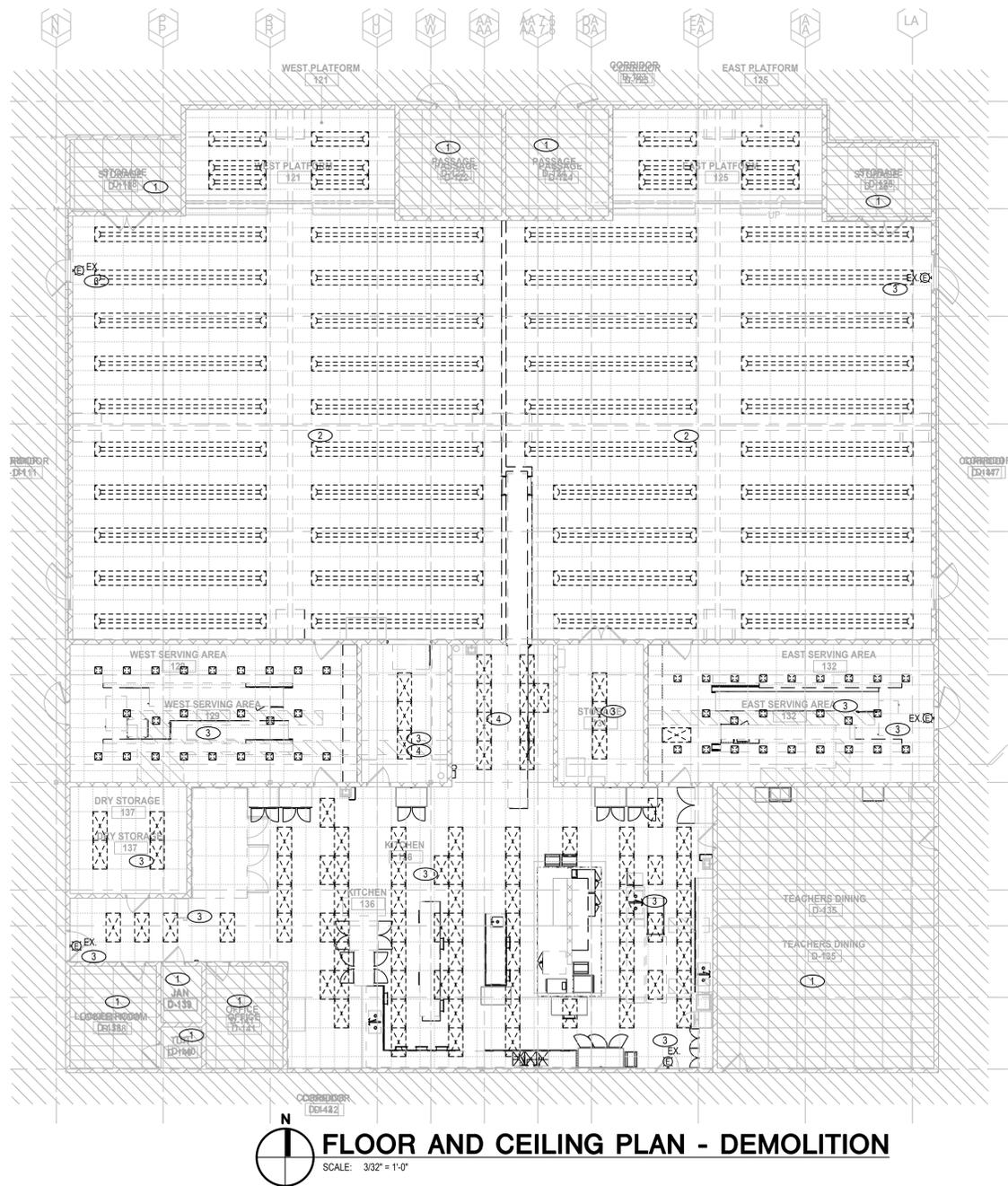
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

LANSING SCHOOL DISTRICT

**BID PACK 2**  
**GARDNER ELEMENTARY**  
**FOOD SERVICE - EQUIPMENT**  
**REPLACEMENT &**  
**RENOVATION SO-1852**  
 333 DAHLIA DRIVE  
 LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NL0000605



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DESIGNER: <b>C. LADEWIG</b>	REVIEWER:
DATE ISSUED: 03/16/2026	PROJECT NUMBER: 2600063A

SHEET NAME:

FIRST FLOOR PLAN - DEMOLITION

DRAWING NUMBER:

ED101

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

LIGHTING KEY NOTES:

- ◇ NO WORK IN THIS AREA.
- ◇ REUSE EXISTING LIGHTING CONTROL AND CIRCUITS, UNLESS OTHERWISE NOTED.
- ◇ REPLACE EXISTING LIGHTS UNDER HOOD ONE FOR ONE. FIELD VERIFY EXACT SIZE AND COUNTS OF FIXTURES.

GENERAL LIGHTING NOTES:

1. CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
2. EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
3. LIGHTING CONTROL SHALL COMPLY WITH 2021 MICHIGAN ENERGY CODE WHERE APPLICABLE.



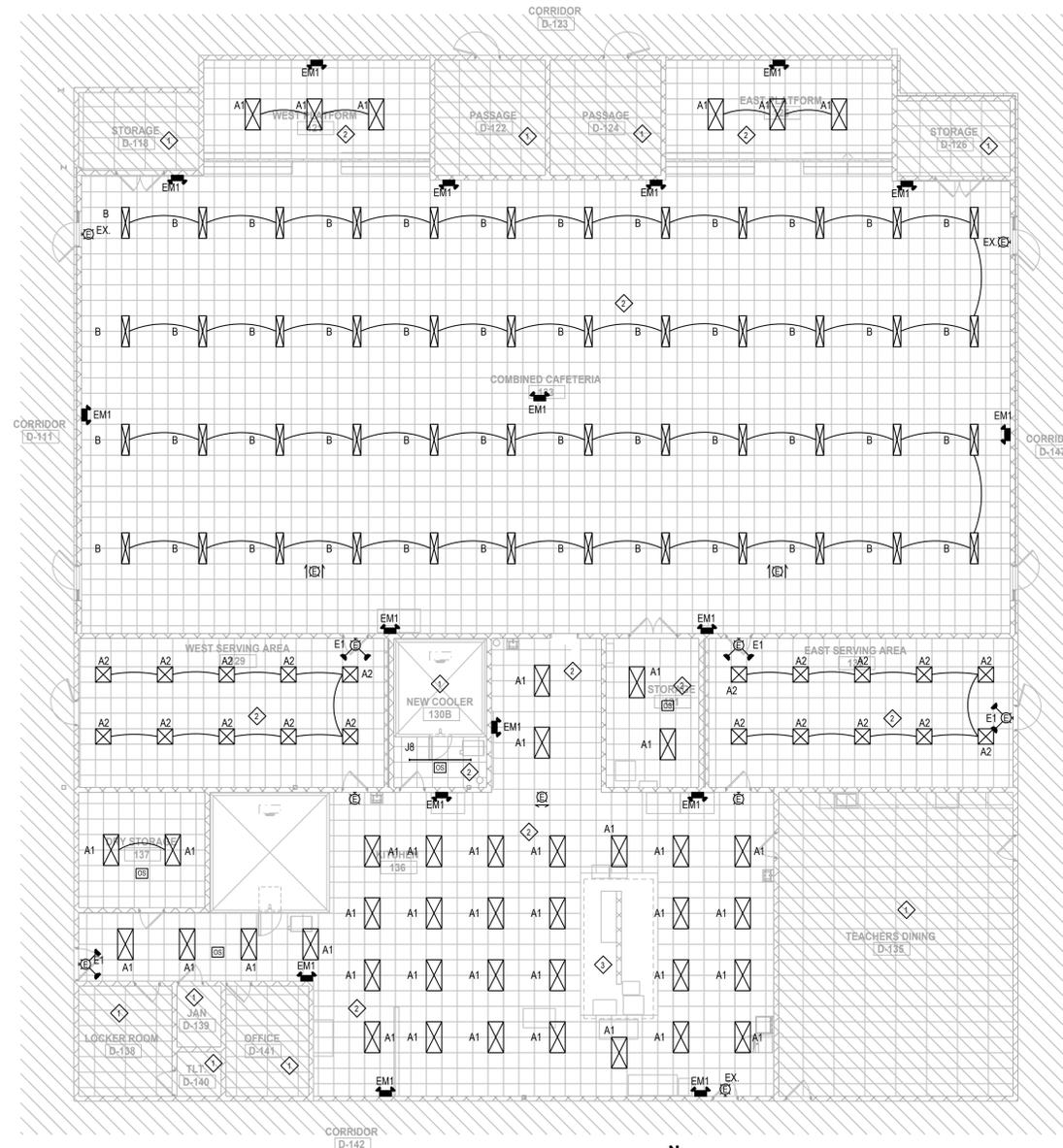
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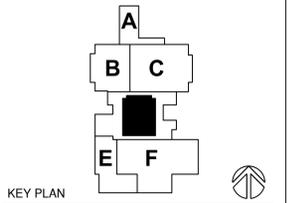
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



**FLOOR PLAN - LIGHTING**  
 SCALE: 3/32" = 1'-0"



LANSING SCHOOL DISTRICT

**BID PACK 2**  
**GARDNER ELEMENTARY**  
**FOOD SERVICE - EQUIPMENT**  
**REPLACEMENT &**  
**RENOVATION SO-1852**  
 333 DAHLIA DRIVE  
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MI ARCHITECTURE  
 FIRM LICENSE # NL0000605



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DESIGNER: <b>C. LADEWIG</b>	REVIEWER:
DATE ISSUED: 03/16/2026	PROJECT NUMBER: 2600063A
SHEET NAME:	

FIRST FLOOR PLAN - LIGHTING

DRAWING NUMBER:  
**EL101**

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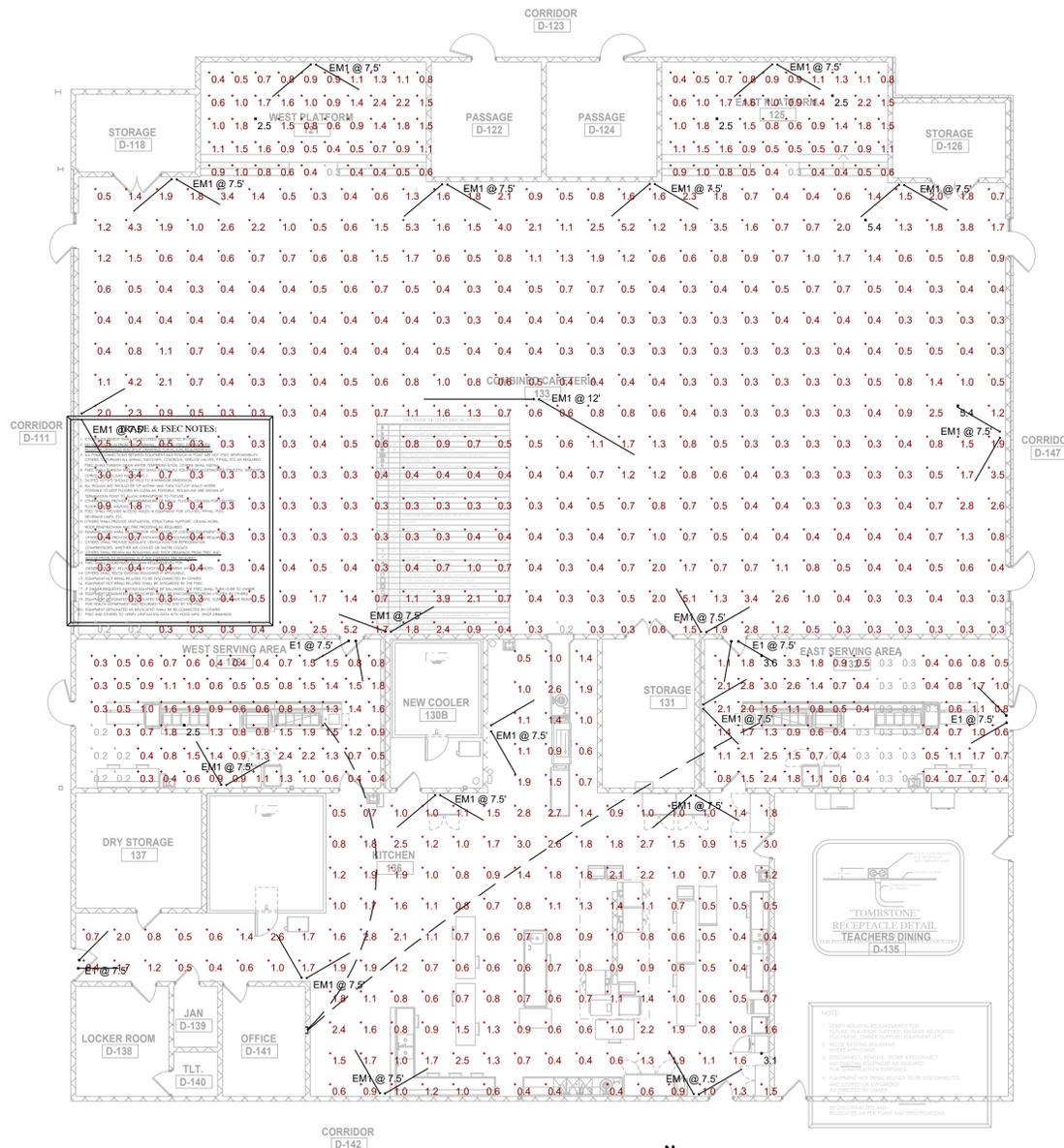
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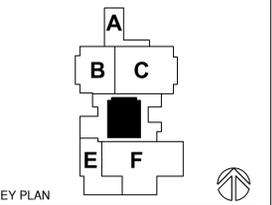
REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	E1		4	Lithonia Lighting	LHOM LED	QUANTUM LED EMERGENCY COMBO (ONE HEAD ONLY)	1	Absolute	1	1.5	
○	EM1		19	Lithonia Lighting	ELM4L	ELM4L SP40L	1	345	1	2.5	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST PLATFORM 125	+	1.0 fc	2.5 fc	0.3 fc	8.3:1	3.3:1
EAST SERVING AREA 132	+	1.0 fc	3.6 fc	0.3 fc	12.0:1	3.3:1
KITCHEN 136	+	1.2 fc	3.1 fc	0.3 fc	10.3:1	4.0:1
WEST PLATFORM 121	+	1.0 fc	2.5 fc	0.3 fc	8.3:1	3.3:1
WEST SERVING AREA 129	+	0.9 fc	2.5 fc	0.2 fc	12.5:1	4.5:1
CAFETERIA 133	+	0.8 fc	5.4 fc	0.2 fc	27.0:1	4.0:1



**EM1 @ 7.5' FSEC NOTES:**  
 1. All foot-candle (fc) values are based on a 100-foot-candle (fc) source.  
 2. All foot-lambert (fL) values are based on a 100-foot-lambert (fL) source.  
 3. All values are based on a 100-foot-candle (fc) source.  
 4. All values are based on a 100-foot-lambert (fL) source.  
 5. All values are based on a 100-foot-candle (fc) source.  
 6. All values are based on a 100-foot-lambert (fL) source.  
 7. All values are based on a 100-foot-candle (fc) source.  
 8. All values are based on a 100-foot-lambert (fL) source.  
 9. All values are based on a 100-foot-candle (fc) source.  
 10. All values are based on a 100-foot-lambert (fL) source.



## LANSING SCHOOL DISTRICT

### BID PACK 2 GARDNER ELEMENTARY FOOD SERVICE - EQUIPMENT REPLACEMENT & RENOVATION SO-1852 333 DAHLIA DRIVE LANSING, MI 48911

MI ARCHITECTURE  
 FIRM LICENSE # NL000605



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 DESIGNER: **C. LADEWIG**  
 REVIEWER:  
 DATE ISSUED: **03/16/2026**  
 PROJECT NUMBER: **26000063A**  
 SHEET NAME:

## FIRST FLOOR PLAN - PHOTOMETRICS

DRAWING NUMBER:  
**EL102**

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

EQUIPMENT SCHEDULE

Item	EQUIPMENT DESCRIPTION	VOLTS	PH	AMPS LOAD	DIRECT BY EC	CORDSET BY FSEC	AIF (in)	REMARKS
101	WALK-IN FREEZER	120	1	8.0	X		DFA	WIRE TO JB FOR LIGHTS, DOOR HEATER
105	ICE MAKER W/BIN	208	1	5.9	X		72	
106	WALK-IN COOLER	120	1	8.0	X		DFA	WIRE TO JB FOR LIGHTS, DOOR HEATER
204	HOT FOOD CABINET - EXISTING	120	1	12.5		X	16	
301	CONVECTION OVEN - DOUBLE DECK	208	3	32.8		X	24	
302	REFRIGERATOR	120	1	4.9		X	90	
401	HOT FOOD TABLE	120/208	1	28.4		X	5	PEDESTAL MOUNTED RECEPTACLE
401A	HOT FOOD TABLE	120/208	1	28.4		X	5	PEDESTAL MOUNTED RECEPTACLE
403	COLD FOOD TABLE	120	1	9.5		X	5	PEDESTAL MOUNTED RECEPTACLE
403A	COLD FOOD TABLE	120	1	9.5		X	5	PEDESTAL MOUNTED RECEPTACLE
404	DROP-IN FROST TOP	120	1	2.4		X	5	PEDESTAL MOUNTED RECEPTACLE
404A	SNEEZE GUARD	120	1	1.0	X		5	PEDESTAL MOUNTED JUNCTION BOX
405	MILK COOLER - EXISTING	120	1	2.0		X	5	PEDESTAL MOUNTED RECEPTACLE
407	CASH REGISTER/POS - BY OWNER	120	1	10.0		X	5	PEDESTAL MOUNTED RECEPTACLE; INTERWIRE TO OFFICE/CPU - VIF
505	DISPOSAL	208	3	6.6	X		5	PEDESTAL MOUNTED JUNCTION BOX
505A	DISPOSAL	208	3	6.6	X		16	

POWER KEYNOTES:

- ◇ NO WORK IN THIS AREA.
- ◇ REUSE EXISTING CIRCUIT, FIELD VERIFY.
- ◇ EXISTING EQUIPMENT TO REMAIN.
- ◇ REPLACE EXISTING WIRING DEVICE WITH NEW TAMPER RESISTANT RECEPTACLES. COLOR TO BE GRAY AND NEW COVER PLATE SHALL BE STAINLESS STEEL.
- ◇ PROVIDE GFCI CIRCUIT BREAKERS FEEDING EQUIPMENT. REFER TO PANEL SCHEDULES.
- ◇ PROVIDE FLOOR MOUNTED KEYSTONE STYLE FLOOR BOX WITH 120V/20A NEMA 14/50 RECEPTACLE. VERIFY WITH EQUIPMENT.
- ◇ PROVIDE FLOOR MOUNTED KEYSTONE STYLE FLOOR BOX WITH 120V/20A NEMA 5-20 RECEPTACLE.

GENERAL POWER NOTES:

1. REPLACE EXISTING RECEPTACLES WITH NEW 15A & 20A 120V NON-LOCKING RECEPTACLES WITH PUBLIC SPACES WHERE CHILDREN CAN BE FOUND SHALL BE LISTED TAMPER RESISTANT PER NEC 406.12. THIS INCLUDES SCHOOLS CORRIDORS, GYM, MUSIC ETC. ALL NEW DEVICES SHALL BE TAMPER RESISTANT.
2. MOUNT PANELS, TRANSFORMERS, DISCONNECT SWITCHES, AND COMBINATION MOTOR STARTERS WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 110.
3. VERIFY ALL KITCHEN EQUIPMENT REQUIREMENTS, CONNECTION TYPES, AND LOCATIONS WITH KITCHEN EQUIPMENT SUPPLIER AND NAMEPLATES PRIOR TO ROUGH-IN.
4. EXISTING EQUIPMENT TO BE REPLACED WITH NEW SHALL BE DISCONNECTED AND RECONNECTED. FIELD VERIFY REQUIREMENTS ARE THE SAME.



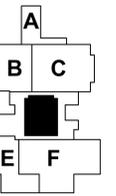
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REV	DATE	DESCRIPTION
3	03/13/26	BID PACK 2 - BIDS & PERMITS



KEY PLAN

LANSING SCHOOL DISTRICT

BID PACK 2

GARDNER ELEMENTARY  
 FOOD SERVICE - EQUIPMENT  
 REPLACEMENT &  
 RENOVATION SO-1852

333 DAHLIA DRIVE  
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MI ARCHITECTURE  
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DESIGNER: C. LADEWIG  
 REVIEWER:

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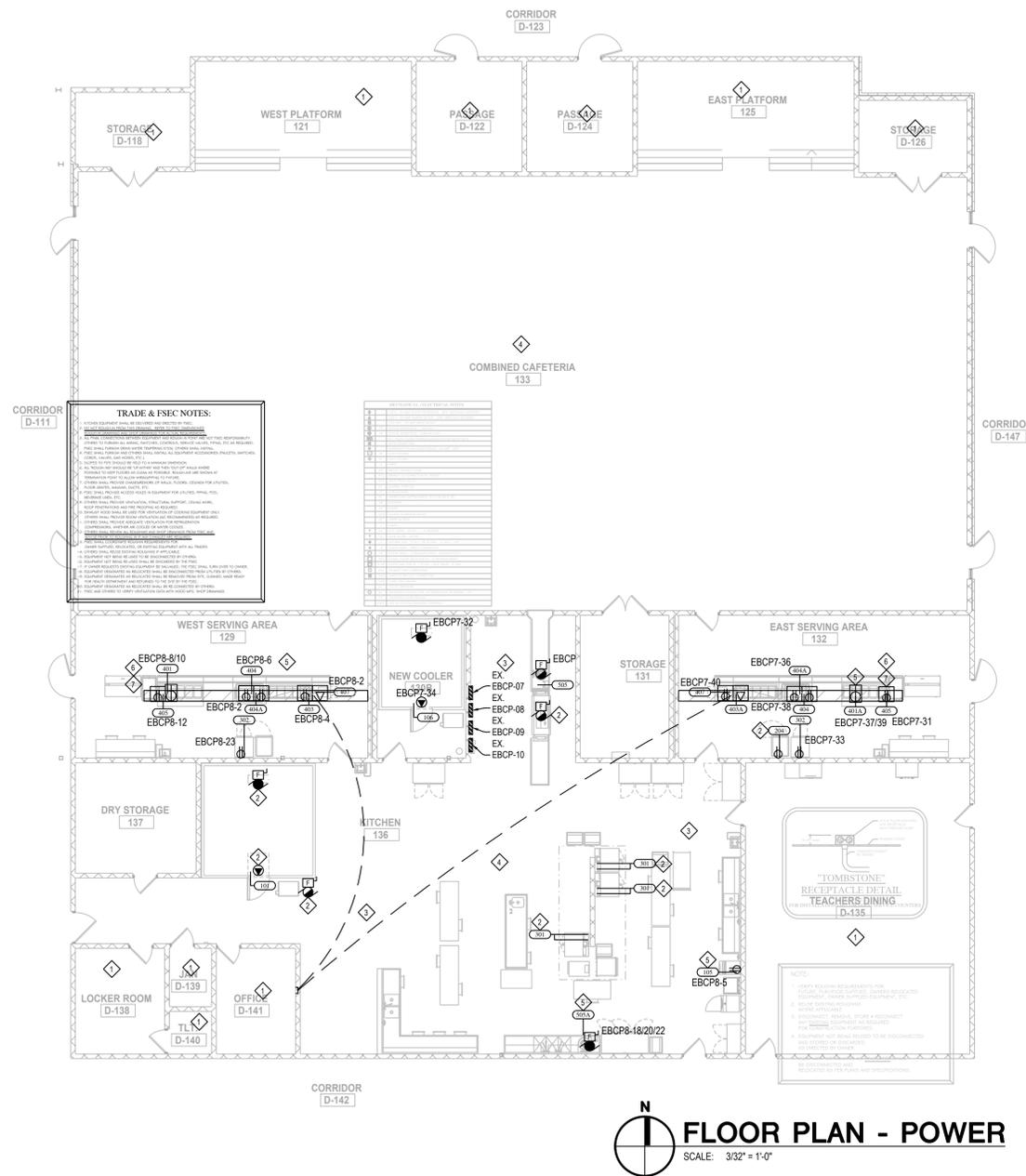
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FIRST FLOOR PLAN - POWER

DRAWING NUMBER:

EP101

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.



TRADE & FSEC NOTES:  
 1. VERIFY EQUIPMENT VOLTAGE, PHASE, AND FREQUENCY.  
 2. VERIFY EQUIPMENT LOCATION AND CLEARANCES.  
 3. VERIFY EQUIPMENT WEIGHT AND SUPPORT REQUIREMENTS.  
 4. VERIFY EQUIPMENT CONNECTIONS AND WIRING REQUIREMENTS.  
 5. VERIFY EQUIPMENT IDENTIFICATION AND LABELING.  
 6. VERIFY EQUIPMENT ACCESS AND MAINTENANCE REQUIREMENTS.  
 7. VERIFY EQUIPMENT PROTECTION AND SAFETY REQUIREMENTS.  
 8. VERIFY EQUIPMENT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.  
 9. VERIFY EQUIPMENT INSTALLATION AND TESTING REQUIREMENTS.  
 10. VERIFY EQUIPMENT OPERATION AND PERFORMANCE REQUIREMENTS.  
 11. VERIFY EQUIPMENT DOCUMENTATION AND RECORDS REQUIREMENTS.  
 12. VERIFY EQUIPMENT WARRANTY AND SERVICE REQUIREMENTS.  
 13. VERIFY EQUIPMENT DISPOSAL AND RECYCLING REQUIREMENTS.  
 14. VERIFY EQUIPMENT RISK ASSESSMENT AND MITIGATION REQUIREMENTS.  
 15. VERIFY EQUIPMENT SCHEDULING AND COORDINATION REQUIREMENTS.  
 16. VERIFY EQUIPMENT QUALITY CONTROL AND INSPECTION REQUIREMENTS.  
 17. VERIFY EQUIPMENT TRAINING AND EDUCATION REQUIREMENTS.  
 18. VERIFY EQUIPMENT COMMUNICATION AND REPORTING REQUIREMENTS.  
 19. VERIFY EQUIPMENT COMPLIANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.  
 20. VERIFY EQUIPMENT ADHERENCE TO ALL APPLICABLE CONTRACT DOCUMENTS.

FLOOR PLAN - POWER  
 SCALE: 3/32" = 1'-0"

- NOTE:
1. VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
  2. REUSE EXISTING ROUGHINS WHERE APPLICABLE.
  3. DISCONNECT, REMOVE, STORE & RECONNECT ANY EXISTING EQUIPMENT AS REQUIRED FOR CONSTRUCTION PURPOSES.
  4. EQUIPMENT NOT BEING REUSED TO BE DISCONNECTED AND STORED OR DISCARDED AS DIRECTED BY OWNER.
  5. EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.



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**PROJECT:**  
LANSING SCHOOL DISTRICT  
GARDNER SCHOOL  
3400 2ND ST.  
WAYLAND, MI 49348

**SHEET TITLE:**  
FOOD SERVICE  
EQUIPMENT  
DEMOLITION PLAN  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESR	BIDS BP#2	JR

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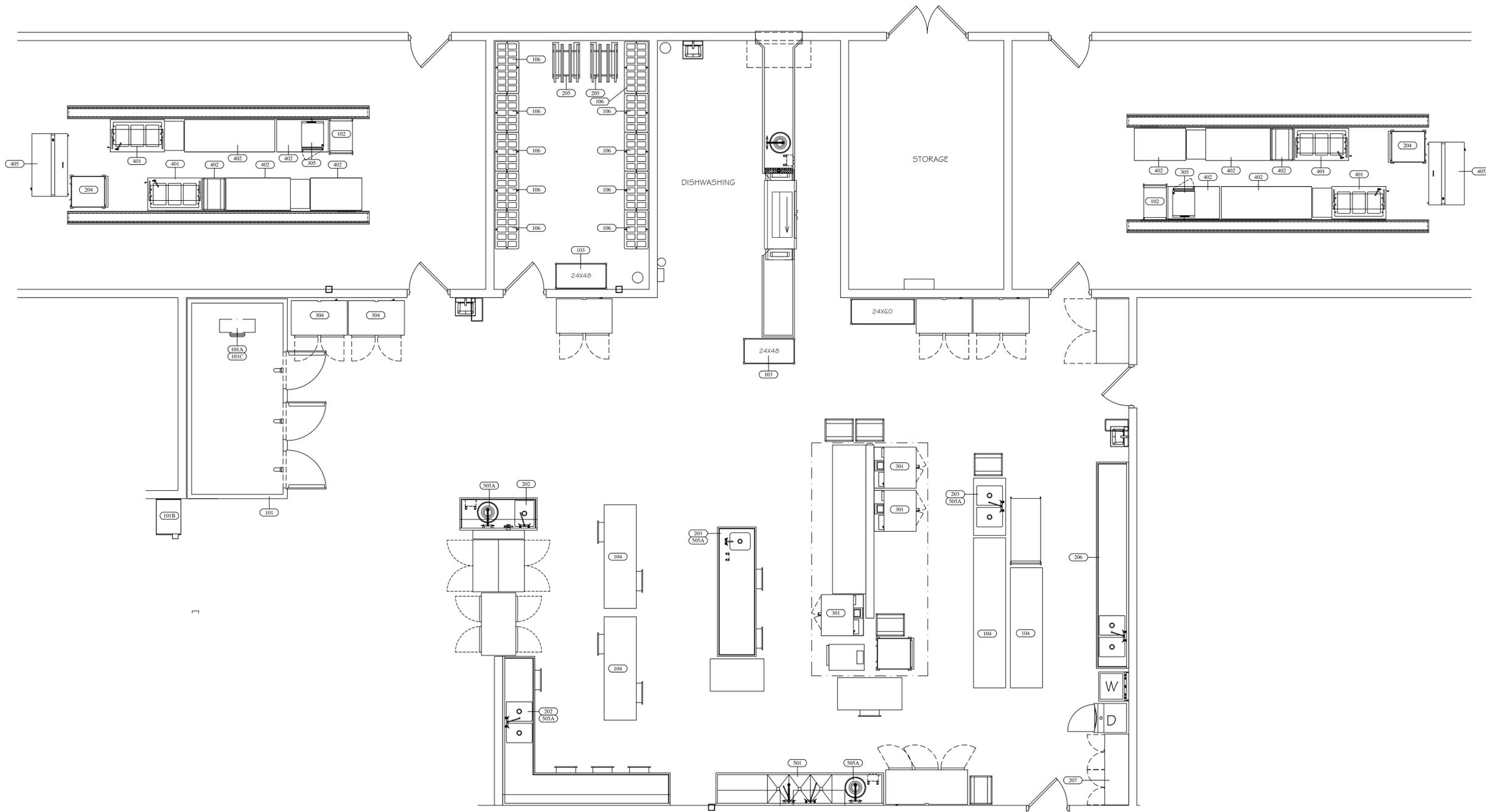
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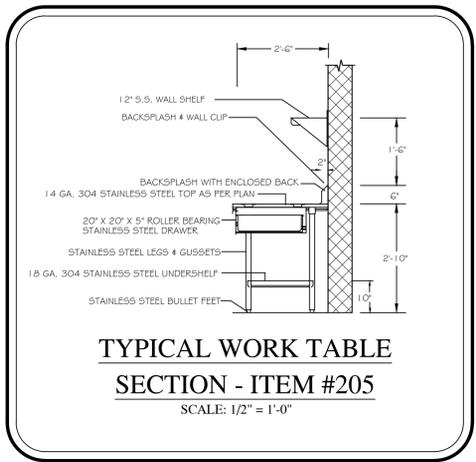
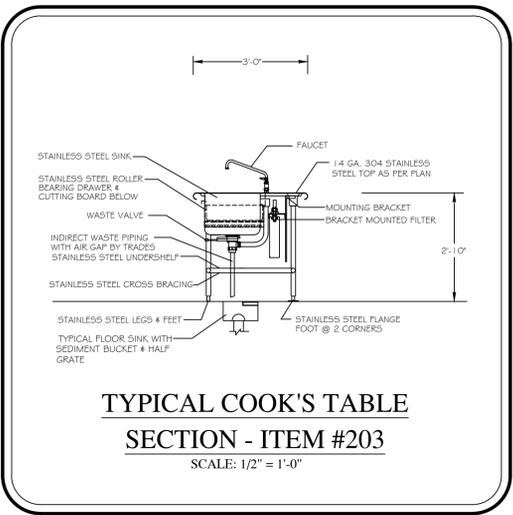
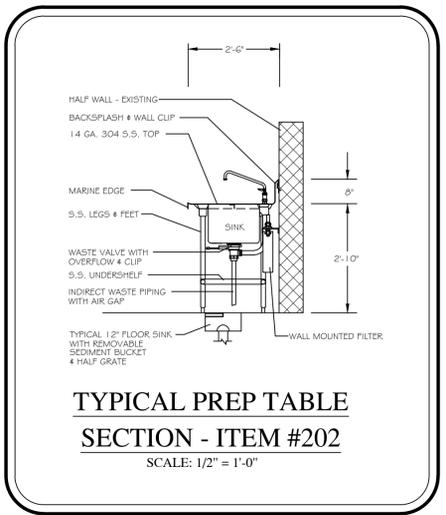
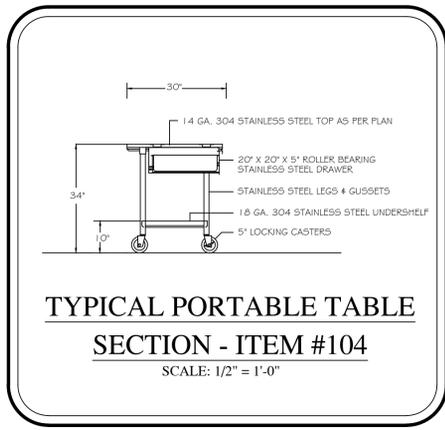
EXISTING EQUIPMENT DEMOLITION SCHEDULE

EQUIPMENT SCHEDULE			FSEC			TRADES		
Item	Qty	Equipment Category	REMAIN	REMOVE	RELOCATE	GAS	PLMG	ELEC
101	1	WALK-IN FREEZER		*			*	*
101A	1	WALK-IN FREEZER COIL		*			*	*
101B	1	WALK-IN FREEZER COMPRESSOR		*			*	*
101C	1	WALK-IN FREEZER HEAT TAPE		*			*	*
102	2	UTILITY CART		*				
103	2	SHELVING		*				
104	4	WORKTABLE		*				
106	10	DUNNAGE RACK		*				
202	2	PREP TABLE		*			*	
203	2	PREP TABLE		*			*	
205	2	CAN RACK		*				
204	2	HOT FOOD CABINET		*	*			*
206	1	PREP TABLE		*			*	
301	3	CONVECTION OVEN		*				*
304	2	REFRIGERATOR		*				*
305	2	BEVERAGE REFRIGERATOR		*				*
401	4	HOT FOOD TABLE		*			*	*
402	10	SERVICE COUNTER		*				
405	2	MILK COOLER		*				*
501	1	POT SINK		*			*	
505A	5	DISPOSER		*			*	*

NOTE:

1. DISCONNECT ALL ASSOCIATED PLUMBING, ELECTRICAL, & ACCESSORIES, ETC. TO ALL EQUIPMENT DESIGNATED FOR REMOVAL AND/OR RELOCATION
2. REMOVE ALL EXISTING EQUIPMENT DESIGNATED FOR REMOVAL AND TURN OVER TO OWNER OR DISCARD AS DIRECTED BY THE OWNER
3. REMOVE ALL EXISTING EQUIPMENT DESIGNATED FOR RELOCATION AND STORE ON-SITE IN LOCATION DETERMINED BY THE OWNER
4. REMOVE ALL HOODS, ROOF TOP EQUIPMENT AND ASSOCIATED DUCTWORK - ROOF PATCHING SHALL BE BY THE OWNER - OR AS DIRECTED IN ARCH. DOCUMENTS
5. AFTER RELOCATION OF EQUIPMENT THE TRADES SHALL RE-CONNECT ALL EQUIPMENT AND ACCESSORIES, ETC.
6. REMOVE ALL WALK-IN COOLERS AND FREEZERS, REFRIGERATION SYSTEMS AND ALL ASSOCIATED EQUIPMENT - ROOF PATCHING SHALL BE BY THE OWNER - OR AS DIRECTED IN ARCH. DOCUMENTS





**NOTE:**

1. VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
2. REUSE EXISTING ROUGHINS WHERE APPLICABLE.
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5. EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.

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DESIGN BY:

**JRA**

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EQUIPMENT  
FLOOR PLAN  
SCALE 1/4" = 1'-0"

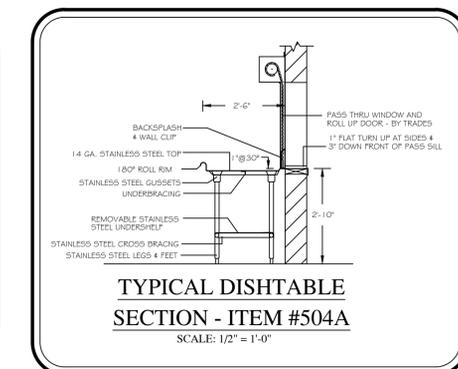
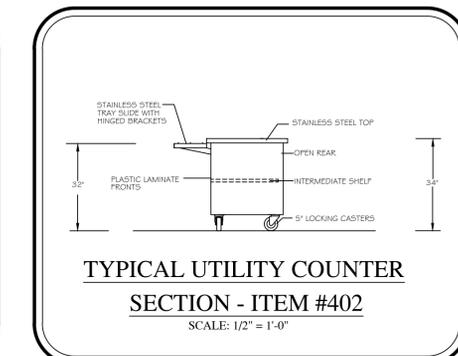
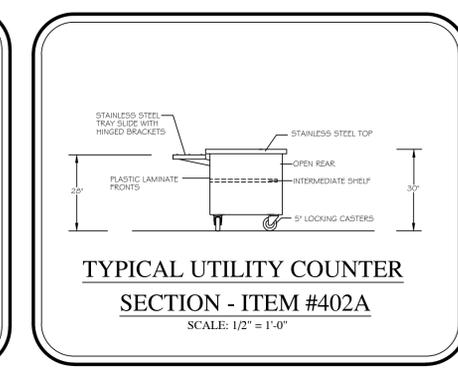
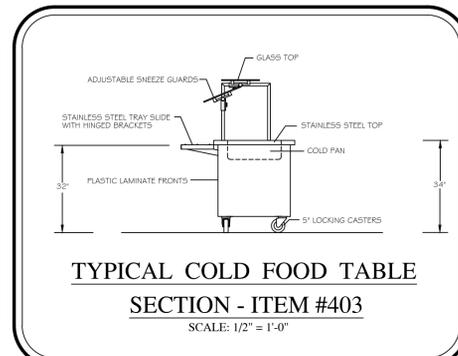
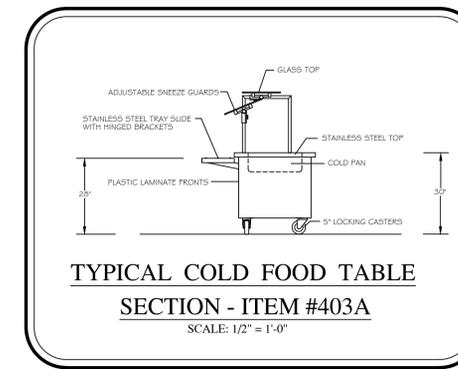
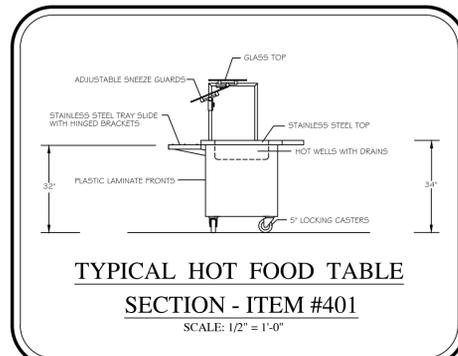
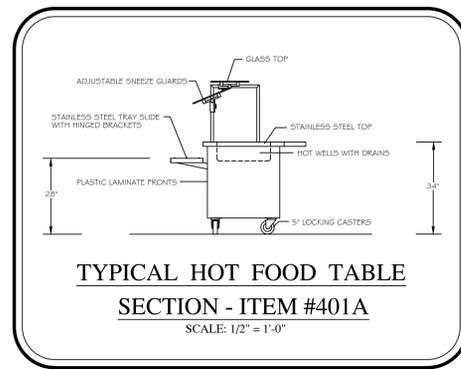
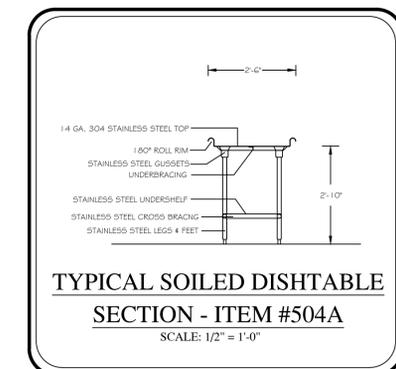
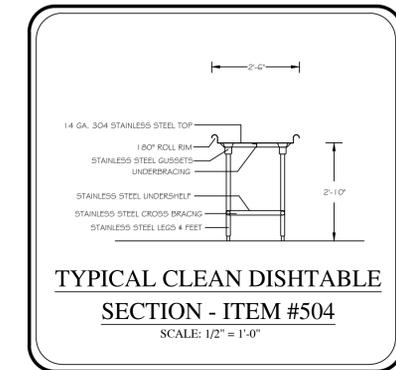
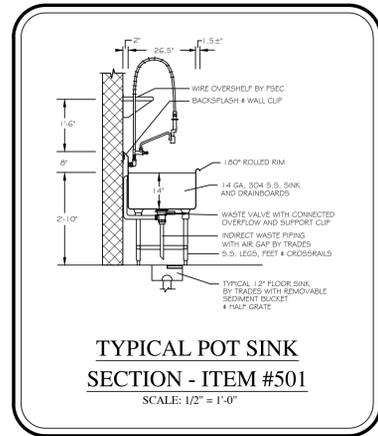
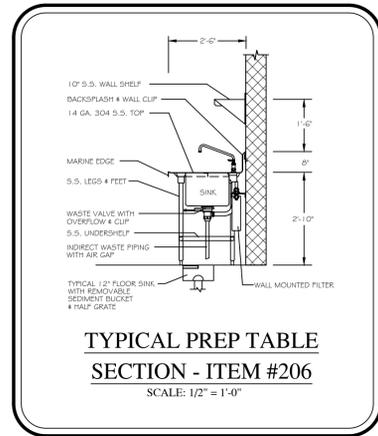
DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESFP	BIDS BP#2	JR

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SHEET NUMBER:  
**FSE-1**

NOTE:

1. VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
2. REUSE EXISTING ROUGHINS WHERE APPLICABLE.
3. DISCONNECT, REMOVE, STORE & RECONNECT ANY EXISTING EQUIPMENT AS REQUIRED FOR CONSTRUCTION PURPOSES.
4. EQUIPMENT NOT BEING REUSED TO BE DISCONNECTED AND STORED OR DISCARDED AS DIRECTED BY OWNER.
5. EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.



EQUIPMENT SCHEDULE

Item	Qty	DESCRIPTION	CW (in)	HW (in)	INDIRECT DRAIN	DIRECT DRAIN (IN)	GAS (in)	MBTUH	EXH DUCT	EXH CFM	MUA DUCT	MUA CFM	Volts	Ph	Amps load	Equipment Remarks
101	1	WALK-IN FREEZER											120	1	8.0	INSULATED FLOOR: SEE REFRIGERATION PLAN
101A	1	FREEZER COIL											208	1	15.0	
101B	1	FREEZER COMPRESSOR											208	3	15.0	ROOF CURBS BY FSEC
101C	1	FREEZER COIL HEAT TAPE											120	1	5.0	
**102	2	UTILITY CART														
103	32	SHELVING - WIRE														4 TIER
104	4	PORTABLE TABLE														S.S. UNDERSHELF & CASTERS
105	1	ICE MAKER W/ BIN	0.5			FL SK							208	1	5.9	PIPE CW THRU FILTER THEN TO ICE MAKER
105A	1	ICE MAKER FILTER	0.5													PIPE CW THRU FILTER THEN TO ICE MAKER
106	1	WALK-IN COOLER											120	1	8.0	INSULATED FLOOR: SEE REFRIGERATION PLAN
106A	1	COOLER COIL											120	1	5.0	
106B	1	COOLER COMPRESSOR											208	3	10.0	ROOF CURBS BY FSEC
201	2	TRASH BIN - BY OWNER														
202	1	PREP TABLE	0.5	0.5		FL SK										PIPE CW THRU FILTER THEN TO PREP TABLE
202A	1	PREP TABLE FILTER	0.5													PIPE CW THRU FILTER THEN TO PREP TABLE
203	1	COOKS TABLE	0.5	0.5		FL SK										PIPE CW THRU FILTER THEN TO COOK'S TABLE
203A	1	COOK'S TABLE FILTER	0.5													PIPE CW THRU FILTER THEN TO COOK'S TABLE
**204	2	HOT FOOD CABINET											120	1	12.5	
205	2	WORK TABLE														
206	1	PREP TABLE	0.5	0.5		FL SK										PIPE CW THRU FILTER THEN TO PREP TABLE
206A	1	PREP TABLE FILTER	0.5													PIPE CW THRU FILTER THEN TO PREP TABLE
207	1	STAINLESS STEEL CABINET														
301	3	CONVECTION OVEN - DOUBLE DECK											208	3	(2) 32.8	
302	2	REFRIGERATOR											120	1	4.9	
401	1	HOT FOOD TABLE	0.5			FL SK							120/208	1	28.4	
401A	1	HOT FOOD TABLE	0.5			FL SK							120/208	1	28.4	
402	1	UTILITY COUNTER														
402A	1	UTILITY COUNTER														
403	1	COLD FOOD TABLE				FL SK							120	1	9.5	
403A	1	COLD FOOD TABLE				FL SK							120	1	9.5	
404	2	DROP-IN FROST TOP				FL SK							120	1	2.4	
404A	2	SNEEZE GUARD											120	1	1.0	
**405	2	MILK COOLER											120	1	2.0	
406	2	CASHIER COUNTER														
407	2	CASH REGISTERPOS - BY OWNER											120	1	10.0	DEDICATED CIRCUIT & DATA
408	1	UTILITY COUNTER														
408A	1	UTILITY COUNTER														
501	1	POT SINK	(2) 0.5	(2) 0.5		FL SK	2									PIPE 2" DIRECT WASTE TO GREASE TRAP
502	2	HAND SINK W/ SIDE SPLASHES	0.5	0.5			1.5									SOAP & TOWEL DISPENSER - BY OWNER
**503	1	DISHWASHER														
**503A	1	DRAIN WATER TEMPERING KIT														
504	1	CLEAN DISHTABLE														S.S. UNDERSHELF
504A	1	SOILED DISHTABLE				FL SK										
505	1	DISPOSAL	0.75	0.5			2						208	3	6.6	
505A	1	DISPOSAL	0.75	0.5			2						208	3	6.6	
**506	1	DISHWASHER HOOD														
**506A	1	EXHAUST FAN														

\* DENOTES OWNERS EXISTING EQUIPMENT TO REMAIN  
\*\* DENOTES OWNERS EXISTING EQUIPMENT TO BE RELOCATED

FOODSERVICE DESIGN BY:



Food Service Consultants  
JRA FOOD SERVICE CONSULTANTS, LLC  
401 HALL STREET SW - SUITE 183H  
GRAND RAPIDS, MI 49503  
PE: (616) 454-4433

ARCHITECT:  
COLLIERS ENGINEERING & DESIGN  
560 5TH STREET NW  
SUITE 305  
GRAND RAPIDS, MI 49504

PROJECT:  
LANSING SCHOOL DISTRICT  
GARDNER SCHOOL  
3400 2ND ST.  
WAYLAND, MI 49348

SHEET TITLE:  
FOOD SERVICE EQUIPMENT SCHEDULE  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESS	BIDS BP#2	JR

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SHEET NUMBER:

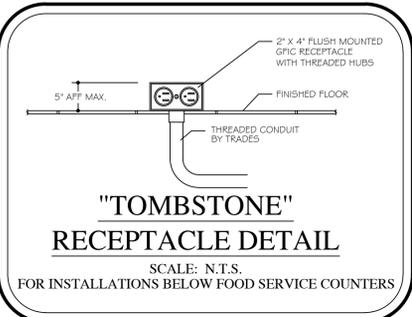
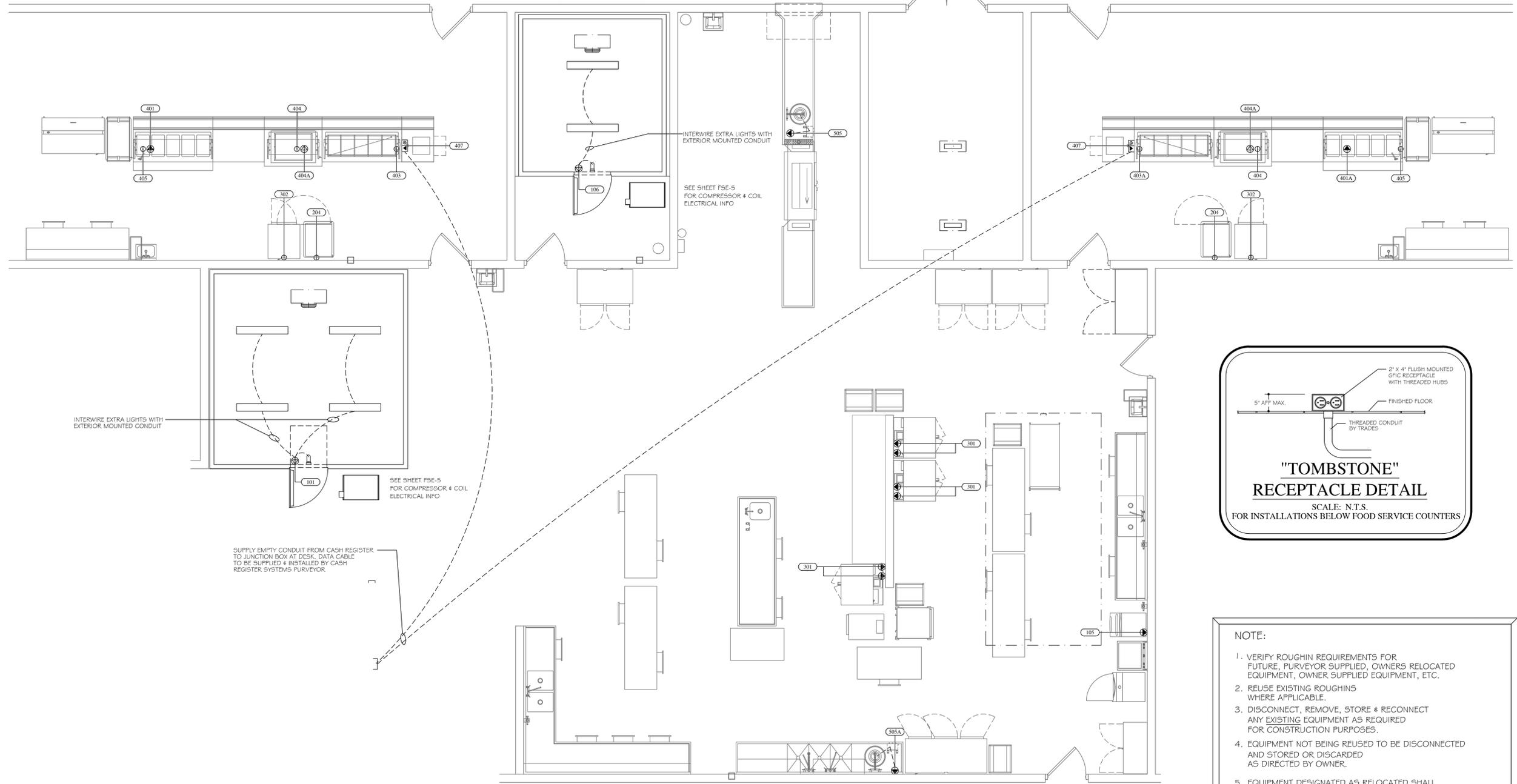
FSE-2

**TRADE & FSEC NOTES:**

- KITCHEN EQUIPMENT SHALL BE DELIVERED AND ERECTED BY FSEC.
- DO NOT ROUGH-IN FROM THIS DRAWING. REFER TO FSEC DIMENSIONED ROUGH-IN DRAWINGS AND SHOP DRAWINGS FOR ACTUAL REQUIREMENTS.
- ALL FINAL CONNECTIONS BETWEEN EQUIPMENT AND ROUGH-IN POINT ARE NOT FSEC RESPONSIBILITY. OTHERS TO FURNISH ALL WIRING, SWITCHES, CONTROLS, SERVICE VALVES, PIPING, ETC AS REQUIRED. FSEC SHALL FURNISH DRAIN WATER TEMPERING KITS). OTHERS SHALL INSTALL.
- FSEC SHALL FURNISH AND OTHERS SHALL INSTALL ALL EQUIPMENT ACCESSORIES (FAUCETS, SWITCHES, CORDS, VALVES, GAS HOSES, ETC.).
- SLOPES TO FDS SHOULD BE HELD TO A MINIMUM DIMENSION.
- ALL 'ROUGH-INS' SHOULD BE 'UP-WITHIN' AND THEN 'OUT-OF' WALLS WHERE POSSIBLE TO KEEP FLOORS AS CLEAN AS POSSIBLE. ROUGH-INS ARE SHOWN AT TERMINATION POINT TO ALLOW WIRING/PIPING TO FIXTURE.
- OTHERS SHALL PROVIDE CHASES/REWORK OF WALLS, FLOORS, CEILINGS FOR UTILITIES, FLOOR GRATES, WALKINS, DUCTS, ETC.
- FSEC SHALL PROVIDE ACCESS HOLES IN EQUIPMENT FOR UTILITIES, PIPING, POS, BEVERAGE LINES, ETC.
- OTHERS SHALL PROVIDE VENTILATION, STRUCTURAL SUPPORT, CEILING WORK, ROOF PENETRATIONS AND FIRE PROOFING AS REQUIRED.
- EXHAUST HOOD SHALL BE USED FOR VENTILATION OF COOKING EQUIPMENT ONLY. OTHERS SHALL PROVIDE ROOM VENTILATION (A/C RECOMMENDED) AS REQUIRED.
- OTHERS SHALL PROVIDE ADEQUATE VENTILATION FOR REFRIGERATION COMPRESSORS, WHETHER AIR COOLED OR WATER COOLED.
- OTHERS SHALL REVIEW ALL ROUGHINS AND SHOP DRAWINGS FROM FSEC AND ADVISE PRIOR TO ROUGHING IN IF ANY CHANGES ARE REQUIRED.
- FSEC SHALL COORDINATE ROUGHIN REQUIREMENTS FOR OWNER SUPPLIED, RELOCATED, OR EXISTING EQUIPMENT WITH ALL TRADES.
- OTHERS SHALL REUSE EXISTING ROUGHINS IF APPLICABLE.
- EQUIPMENT NOT BEING RE-USED TO BE DISCONNECTED BY OTHERS.
- EQUIPMENT NOT BEING RE-USED SHALL BE DISCARDED BY THE FSEC.
- IF OWNER REQUESTS EXISTING EQUIPMENT BE SALVAGED, THE FSEC SHALL TURN OVER TO OWNER.
- EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED FROM UTILITIES BY OTHERS.
- EQUIPMENT DESIGNATED AS RELOCATED SHALL BE REMOVED FROM SITE, CLEANED, MADE READY FOR HEALTH DEPARTMENT AND RETURNED TO THE SITE BY THE FSEC.
- EQUIPMENT DESIGNATED AS RELOCATED SHALL BE RE-CONNECTED BY OTHERS.
- FSEC AND OTHERS TO VERIFY VENTILATION DATA WITH HOOD MFG. SHOP DRAWINGS.

MECHANICAL / ELECTRICAL NOTES	
120 V - 20 AMP DUPLEX RECEPTACLE - GFCI VERTICALLY MOUNTED	
120 V - 20 AMP SIMPLEX OUTLET - GFCI VERTICALLY MOUNTED	
120 VOLT - 30 AMP QUAD OUTLET	
SR SPECIAL RECEPTACLE - 120 VOLT	
SR SPECIAL RECEPTACLE - 208/240 VOLT	
W.T. FLUSH FLOOR POWER/COMMUNICATIONS RECEPTACLE	
DATA CONNECTION	
WATERTIGHT FLUSH FLOOR DUPLEX - 20 AMP - GFCI	
JB JUNCTION BOX	
LF LIGHT FIXTURE	
A AMPS	
AFB ABOVE FINISHED FLOOR	
BTC BRANCH TO CONNECTION BY TRADES	
DFA DROP FROM ABOVE	
GP GENERAL PURPOSE	
HP HOLE/PORKEE	
IW INDIRECT/AIR GAFFED WASTE TO FL DR OR FL SK	
KW KILOWATT	
PH PHASE	
UNLESS OTHERWISE NOTED	
VF VERIFY IN FIELD	
V VOLTS	
HW HOT WATER - 25 PSI - 115 DEGREES	
CW COLD WATER - 25 PSI	
G NATURAL GAS - 7" W.C. OR LP GAS - 1 1/2" W.C. - VF	
W WASTE DRAIN - DIRECT CONNECTION	
FD FLOOR DRAIN - 3" MINIMUM DRAIN - MINIMUM PITCH	
FFD FLOOR DRAIN FOR IW - 3" MINIMUM DRAIN	
FLSK FLOOR SINK FOR IW - 12" SQ. - HALF GRATE - 3" MIN.	
EVC EXHAUST VENT CONNECTION	
MUA MAKE UP AIR DUCT CONNECTION	
CFM CUBIC FEET MINUTE	
SP STATIC PRESSURE	
BC BEVERAGE CONDUIT WITH 1/8" SWEEP ENDS BY TRADES - VF	
TFT TEMPERED FLOOR TROUGH	
MKEC NOT IN KITCHEN EQUIPMENT CONTRACT	

EQUIPMENT SCHEDULE								
Item	EQUIPMENT DESCRIPTION	VOLTS	PH	AMPS LOAD	DIRECT BY EC	CORDSET BY FSEC	AFF (in)	REMARKS
101	WALK-IN FREEZER	120	1	8.0	X		DFA	WIRE TO JB FOR LIGHTS, DOOR HEATER
105	ICE MAKER W/ BIN	208	1	5.9	X		72	
106	WALK-IN COOLER	120	1	8.0	X		DFA	WIRE TO JB FOR LIGHTS, DOOR HEATER
204	HOT FOOD CABINET - EXISTING	120	1	12.5		X	16	
301	CONVECTION OVEN - DOUBLE DECK	208	3	32.8		X	24	
302	REFRIGERATOR	120	1	4.9		X	90	
401	HOT FOOD TABLE	120/208	1	28.4		X	5	PEDESTAL MOUNTED RECEPTACLE
401A	HOT FOOD TABLE	120/208	1	28.4		X	5	PEDESTAL MOUNTED RECEPTACLE
403	COLD FOOD TABLE	120	1	9.5		X	5	PEDESTAL MOUNTED RECEPTACLE
403A	COLD FOOD TABLE	120	1	9.5		X	5	PEDESTAL MOUNTED RECEPTACLE
404	DROP-IN FROST TOP	120	1	2.4		X	5	PEDESTAL MOUNTED RECEPTACLE
404A	SNEEZE GUARD	120	1	1.0	X		5	PEDESTAL MOUNTED JUNCTION BOX
405	MILK COOLER - EXISTING	120	1	2.0		X	5	PEDESTAL MOUNTED RECEPTACLE
407	CASH REGISTER/POS - BY OWNER	120	1	10.0		X	5	PEDESTAL MOUNTED RECEPTACLE. INTERWIRE TO OFFICE/CPU - VF
505	DISPOSAL	208	3	6.6	X		5	PEDESTAL MOUNTED JUNCTION BOX
505A	DISPOSAL	208	3	6.6	X		16	



**NOTE:**

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- EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.

FOODSERVICE DESIGN BY:



**Food Service Consultants**  
JRA FOOD SERVICE CONSULTANTS, LLC  
401 HALL STREET SW - SUITE 185H  
GRAND RAPIDS, MI 49503  
PE: (616) 454-4433

**ARCHITECT:**  
COLLIERS ENGINEERING & DESIGN  
560 5TH STREET NW  
SUITE 305  
GRAND RAPIDS, MI 49504

**PROJECT:**  
LANSING SCHOOL DISTRICT  
GARDNER SCHOOL  
3400 2ND ST.  
WAYLAND, MI 49348

**SHEET TITLE:**  
FOOD SERVICE EQUIPMENT ELECTRICAL PLAN  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESR	BIDS BP#2	JR

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SHEET NUMBER:

**FSE-3**

**TRADE & FSEC NOTES:**

- KITCHEN EQUIPMENT SHALL BE DELIVERED AND ERECTED BY FSEC.
- DO NOT ROUGH-IN FROM THIS DRAWING. REFER TO FSEC DIMENSIONED ROUGH-IN DRAWINGS AND SHOP DRAWINGS FOR ACTUAL REQUIREMENTS.
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- FSEC SHALL FURNISH AND OTHERS SHALL INSTALL ALL EQUIPMENT ACCESSORIES (FAUCETS, SWITCHES, CORDS, VALVES, GAS HOSES, ETC.).
- SLOPES TO FDS SHOULD BE HELD TO A MINIMUM DIMENSION.
- ALL 'ROUGH-INS' SHOULD BE 'UP-WITHIN' AND THEN 'OUT-OF' WALLS WHERE POSSIBLE TO KEEP FLOORS AS CLEAN AS POSSIBLE. ROUGH-INS ARE SHOWN AT TERMINATION POINT TO ALLOW WIRING/PIPING TO FITURE.
- OTHERS SHALL PROVIDE CHASES/REWORK OF WALLS, FLOORS, CEILINGS FOR UTILITIES, FLOOR GRATES, WALKINS, DUCTS, ETC.
- FSEC SHALL PROVIDE ACCESS HOLES IN EQUIPMENT FOR UTILITIES, PIPING, POS, BEVERAGE LINES, ETC.
- OTHERS SHALL PROVIDE VENTILATION, STRUCTURAL SUPPORT, CEILING WORK, ROOF PENETRATIONS AND FIRE PROOFING AS REQUIRED.
- EXHAUST HOOD SHALL BE USED FOR VENTILATION OF COOKING EQUIPMENT ONLY. OTHERS SHALL PROVIDE ROOM VENTILATION (A/C RECOMMENDED) AS REQUIRED.
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- EQUIPMENT NOT BEING RE-USED TO BE DISCONNECTED BY OTHERS.
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- FSEC AND OTHERS TO VERIFY VENTILATION DATA WITH HOOD MFG. SHOP DRAWINGS.

**EQUIPMENT SCHEDULE**

Item	EQUIPMENT DESCRIPTION	CW (in)	HW (in)	AFF (in)	DIRECT DRAIN (in)	AFF (in)	INDIRECT AIR GAP	GAS (in)	AFF (in)	MBTUH	REMARKS
101A	FREEZER COIL						FFD				FSEC PIPE COIL TO EXISTING FFD - VIF EXACT LOCATION
105	ICE MAKER W/BIN	0.5		72			FL SK				PIPE CW THRU FILTER THEN TO ICE MAKER
105A	ICE MAKER FILTER	0.5		72							PIPE CW THRU FILTER THEN TO ICE MAKER
106A	COOLER COIL						FFD				FSEC PIPE COIL TO EXISTING FFD - VIF EXACT LOCATION
202	PREP TABLE	0.5	0.5	16			FL SK				PIPE CW THRU FILTER THEN TO PREP TABLE
202A	PREP TABLE FILTER	0.5		16							PIPE CW THRU FILTER THEN TO PREP TABLE
203	COOKS TABLE	0.5	0.5	5			FL SK				PIPE CW THRU FILTER THEN TO COOKS TABLE
203A	COOKS TABLE FILTER	0.5		5							PIPE CW THRU FILTER THEN TO COOKS TABLE
206	PREP TABLE	0.5	0.5	16			FL SK				PIPE CW THRU FILTER THEN TO PREP TABLE
206A	PREP TABLE FILTER	0.5		16							PIPE CW THRU FILTER THEN TO PREP TABLE
401	HOT FOOD TABLE	0.5		5			FL SK				
401A	HOT FOOD TABLE	0.5		5			FL SK				
403	COLD FOOD TABLE						FL SK				
403A	COLD FOOD TABLE						FL SK				
404	DROP-IN FROST TOP						FL SK				
501	POT SINK	0.5	0.5	16	2	12	FL SK				PIPE 2" DIRECT WASTE TO GREASE TRAP
502	HAND SINK W/ SIDE SPLASHES	0.5	0.5	18	1.5	16					SOAP & TOWEL DISPENSER - BY OWNER
504A	SOILED DISHTABLE						FL SK				
505	DISPOSAL	0.75	0.5	5	2	5					
505A	DISPOSAL	0.75	0.5	18	2	12					

**NOTE:**

- VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
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FOODSERVICE  
DESIGN BY:



**Food Service Consultants**  
JRA FOOD SERVICE CONSULTANTS, LLC  
401 HALL STREET SW - SUITE 183H  
GRAND RAPIDS, MI 49503  
PH: (616) 454-4433

**ARCHITECT:**  
COLLIERS ENGINEERING  
& DESIGN  
560 5TH STREET NW  
SUITE 305  
GRAND RAPIDS, MI 49504

**PROJECT:**  
LANSING SCHOOL DISTRICT  
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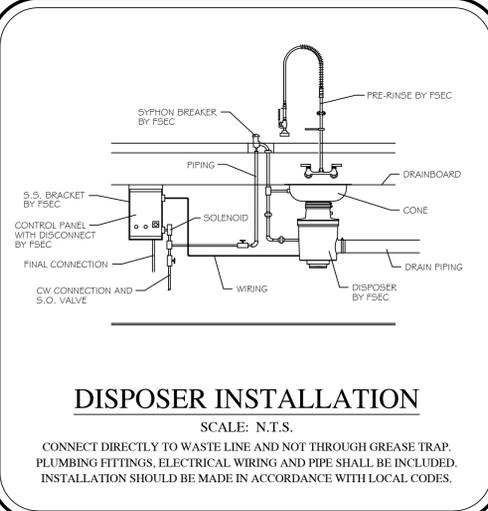
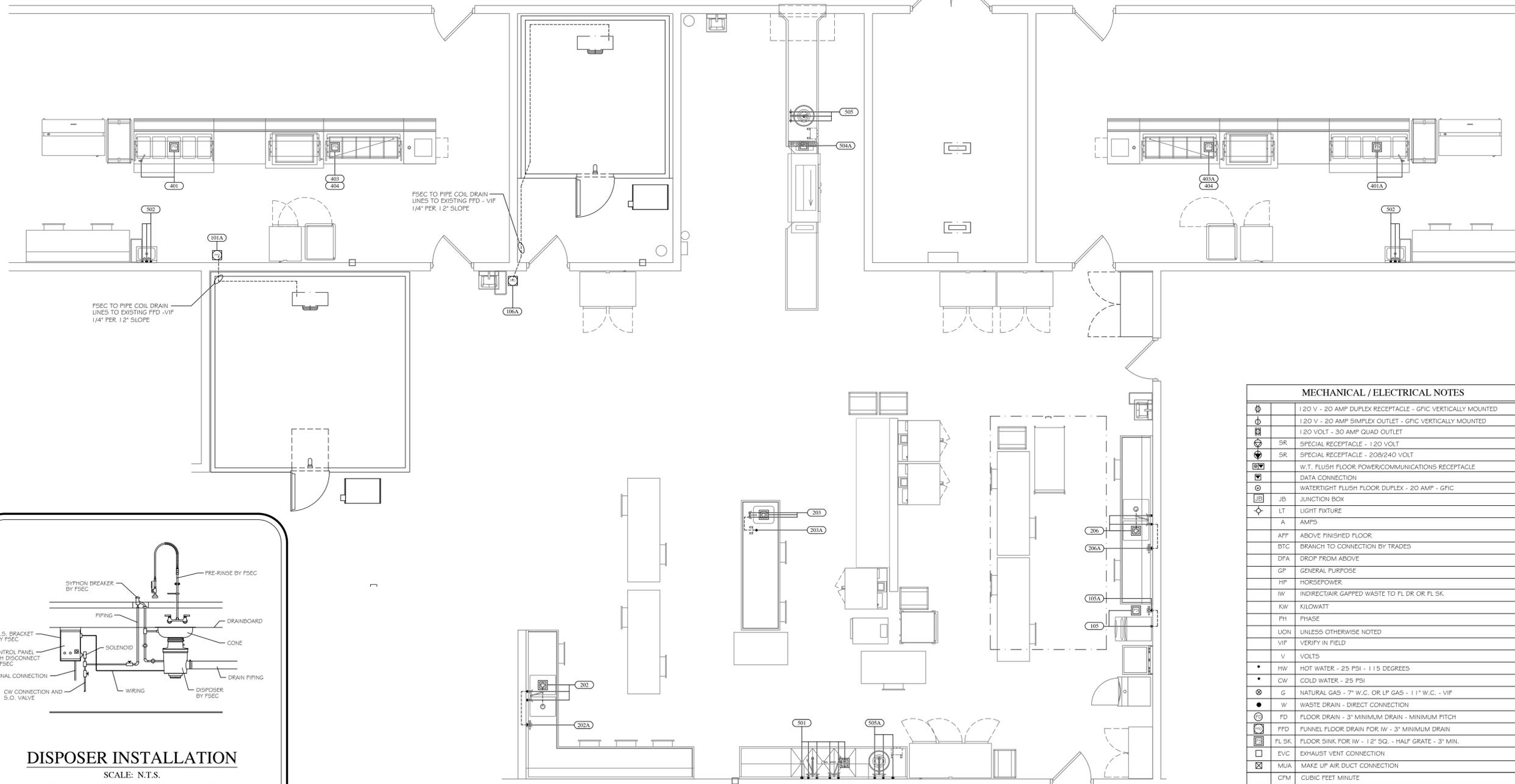
**SHEET TITLE:**  
FOOD SERVICE  
EQUIPMENT  
PLUMBING PLAN  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESP	BIDS BP#2	JR

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SHEET NUMBER:

**FSE-4**



**MECHANICAL / ELECTRICAL NOTES**

⊕	120 V - 20 AMP DUPLEX RECEPTACLE - GFCI VERTICALLY MOUNTED
⊕	120 V - 20 AMP SIMPLEX OUTLET - GFCI VERTICALLY MOUNTED
⊕	120 VOLT - 30 AMP QUAD OUTLET
SR	SPECIAL RECEPTACLE - 120 VOLT
SR	SPECIAL RECEPTACLE - 208/240 VOLT
⊕	W.T. FLUSH FLOOR POWER/COMMUNICATIONS RECEPTACLE
⊕	DATA CONNECTION
⊕	WATERTIGHT FLUSH FLOOR DUPLEX - 20 AMP - GFCI
JB	JUNCTION BOX
LT	LIGHT FIXTURE
A	AMPS
AFF	ABOVE FINISHED FLOOR
BTC	BRANCH TO CONNECTION BY TRADES
DFA	DROP FROM ABOVE
GP	GENERAL PURPOSE
HP	HORSEPOWER
IW	INDIRECT/AIR GAPPED WASTE TO FL DR OR FL SK
KW	KILOWATT
PH	PHASE
UNON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
V	VOLTS
•	HW HOT WATER - 25 PSI - 115 DEGREES
•	CW COLD WATER - 25 PSI
⊕	G NATURAL GAS - 7" W.C. OR LP GAS - 11" W.C. - VIF
•	W WASTE DRAIN - DIRECT CONNECTION
⊕	FD FLOOR DRAIN - 3" MINIMUM DRAIN - MINIMUM PITCH
⊕	FFD FUNNEL FLOOR DRAIN FOR IW - 3" MINIMUM DRAIN
⊕	FL SK FLOOR SINK FOR IW - 12" SQ. - HALF GRATE - 3" MIN.
⊕	EVC EXHAUST VENT CONNECTION
⊕	MUA MAKE UP AIR DUCT CONNECTION
CFM	CUBIC FEET MINUTE
SP	STATIC PRESSURE
⊕	BC BEVERAGE CONDUIT WITH 1/8" SWEEP ENDS BY TRADES - VIF
⊕	TFT TEMPERED FLOOR TROUGH
NIKEC	NOT IN KITCHEN EQUIPMENT CONTRACT

**NOTE:**

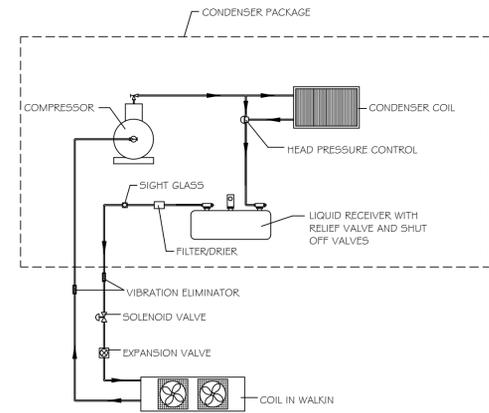
1. VERIFY ROUGHIN REQUIREMENTS FOR FUTURE, PURVEYOR SUPPLIED, OWNERS RELOCATED EQUIPMENT, OWNER SUPPLIED EQUIPMENT, ETC.
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5. EQUIPMENT DESIGNATED AS RELOCATED SHALL BE DISCONNECTED AND RELOCATED AS PER PLANS AND SPECIFICATIONS.

ELECTRICAL CONNECTIONS SCHEDULE								
CONN.	VOLTS	PH	KW	HP	AMPS	CONNECTION	HEIGHT	REMARKS
E101A	208	1			15.0	DIRECT	DFA	WIRING FROM COIL TO TIME CLOCK
E101B	208	3			15.0	DIRECT	ROOF	
E101C	120	1			5.0	DIRECT	DFA	FREEZER COIL HEAT TAPE
E106A	120	1			5.0	DIRECT	DFA	WIRING FROM COIL TO TIME CLOCK
E106B	208	3			10.0	DIRECT	ROOF	

FOODSERVICE  
DESIGN BY:

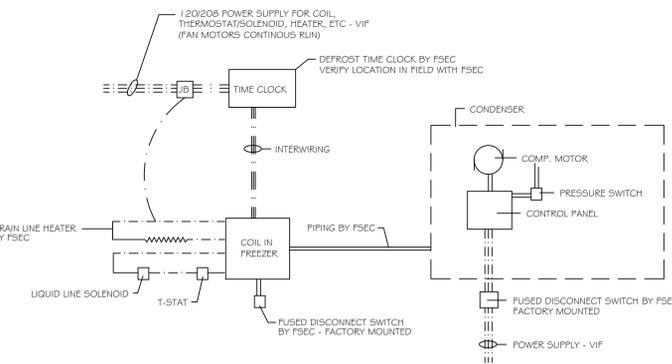
**JRA**

Food Service  
Consultants  
JRA FOOD SERVICE CONSULTANTS, LLC  
401 HALL STREET SW - SUITE 185H  
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PH: (616) 454-4433



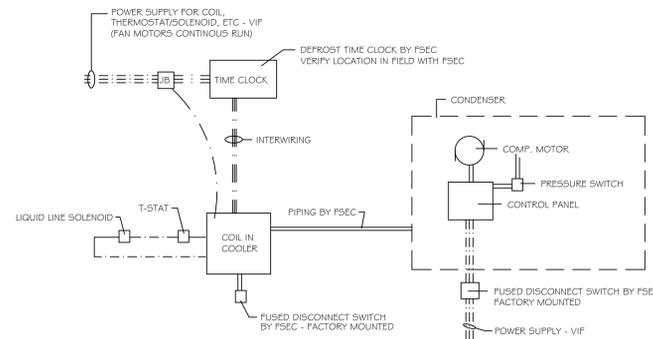
**PIPING DETAIL**

SEE FSEC SHOP DRAWINGS FOR EXACT REQUIREMENTS



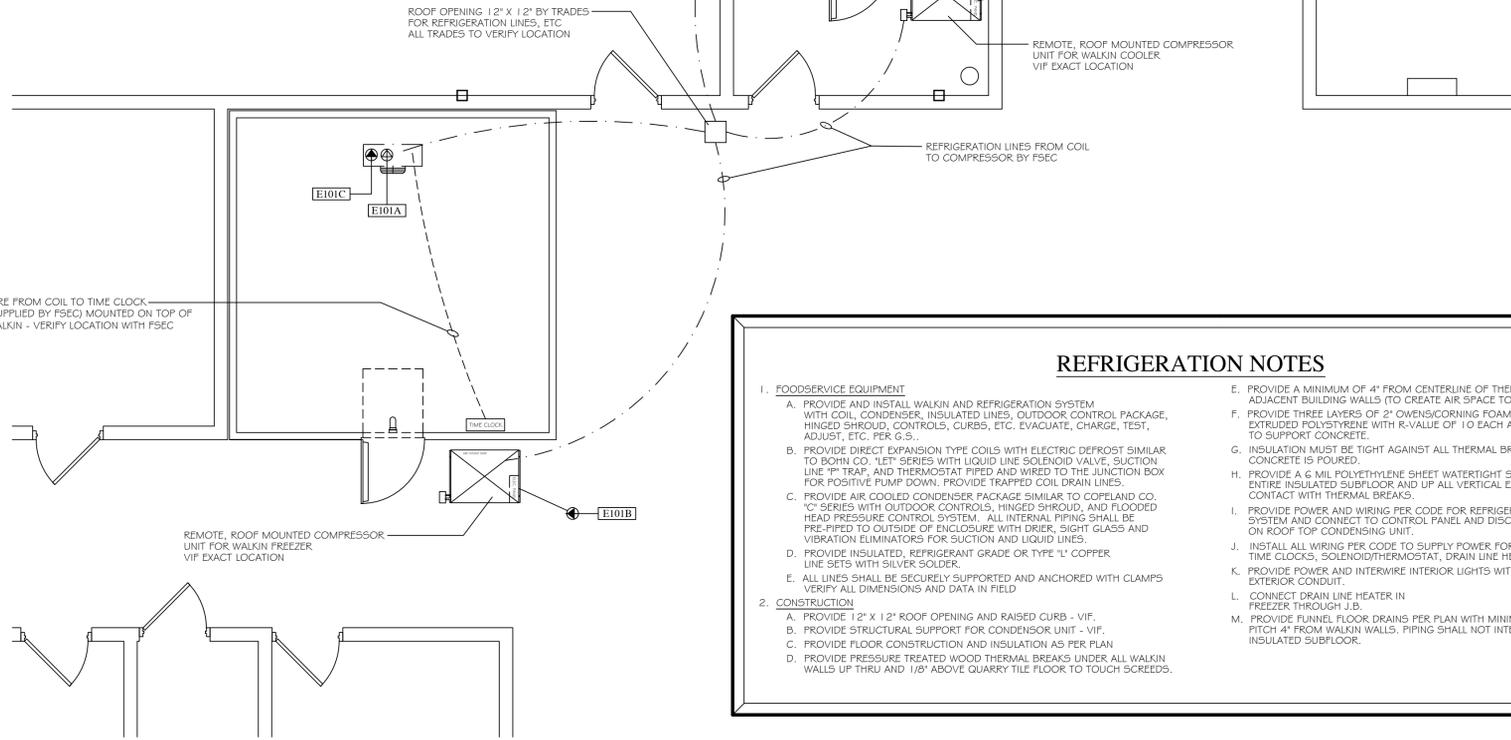
**WALK-IN FREEZER WIRING SCHEMATIC**

SEE FSEC SHOP DRAWINGS FOR EXACT REQUIREMENTS



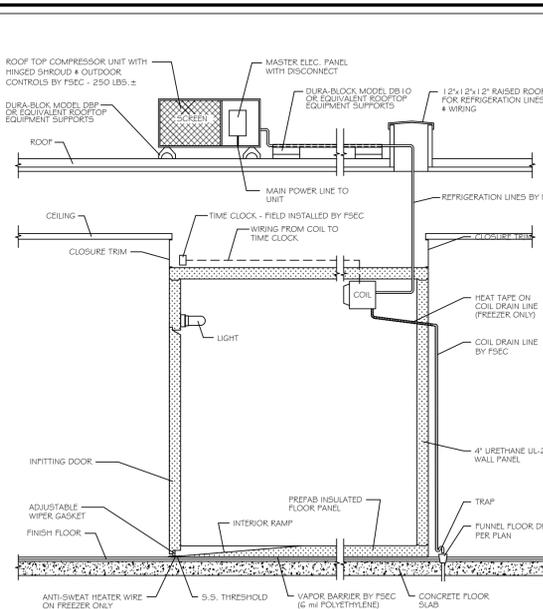
**WALK-IN COOLER WIRING SCHEMATIC**

SEE FSEC SHOP DRAWINGS FOR EXACT REQUIREMENTS



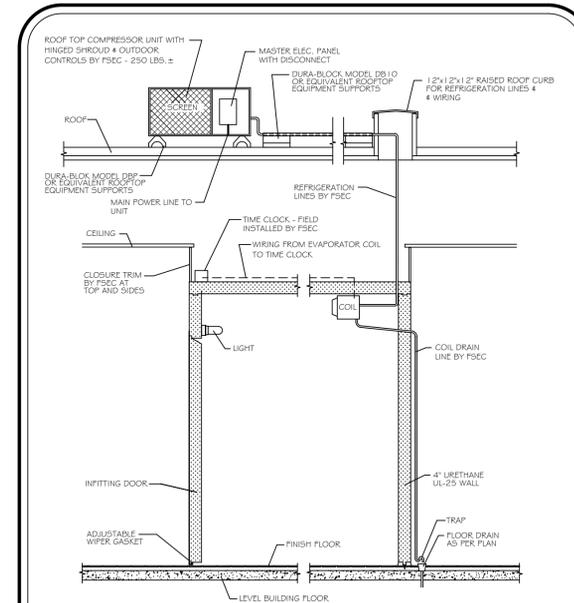
**REFRIGERATION NOTES**

1. FOODSERVICE EQUIPMENT
  - A. PROVIDE AND INSTALL WALKIN AND REFRIGERATION SYSTEM WITH COIL, CONDENSER, INSULATED LINES, OUTDOOR CONTROL PACKAGE, HINGED SHROUD, CONTROLS, CURBS, ETC. EVACUATE, CHARGE, TEST, ADJUST, ETC. PER G-5.
  - B. PROVIDE DIRECT EXPANSION TYPE COILS WITH ELECTRIC DEFROST SIMILAR TO BOHN CO. "LET" SERIES WITH LIQUID LINE SOLENOID VALVE, SUCTION LINE "T" TRAP, AND THERMOSTAT PIPED AND WIRED TO THE JUNCTION BOX FOR POSITIVE PUMP DOWN. PROVIDE TRAPPED COIL DRAIN LINES.
  - C. PROVIDE AIR COOLED CONDENSER PACKAGE SIMILAR TO COPELAND CO. "C" SERIES WITH OUTDOOR CONTROLS, HINGED SHROUD, AND FLOODED HEAD PRESSURE CONTROL SYSTEM. ALL INTERNAL PIPING SHALL BE PRE-PIPED TO OUTSIDE OF ENCLOSURE WITH DRIER, SIGHT GLASS AND VIBRATION ELIMINATORS FOR SUCTION AND LIQUID LINES.
  - D. PROVIDE INSULATED, REFRIGERANT GRADE OR TYPE "L" COPPER LINE SETS WITH SILVER SOLDER.
  - E. ALL LINES SHALL BE SECURELY SUPPORTED AND ANCHORED WITH CLAMPS. VERIFY ALL DIMENSIONS AND DATA IN FIELD.
2. CONSTRUCTION
  - A. PROVIDE 12" X 12" ROOF OPENING AND RAISED CURB - VIF.
  - B. PROVIDE STRUCTURAL SUPPORT FOR CONDENSOR UNIT - VIF.
  - C. PROVIDE FLOOR CONSTRUCTION AND INSULATION AS PER PLAN.
  - D. PROVIDE PRESSURE TREATED WOOD THERMAL BREAKS UNDER ALL WALKIN WALLS UP THRU AND 1/8" ABOVE QUARRY TILE FLOOR TO TOUCH SCREEDS.
  - E. PROVIDE A MINIMUM OF 4" FROM CENTERLINE OF THERMAL BREAK TO ADJACENT BUILDING WALLS (TO CREATE AIR SPACE TO WALKIN WALL).
  - F. PROVIDE THREE LAYERS OF 2" OWENS-CORNING FOAMULAR 150 SERIES EXTRUDED POLYSTYRENE WITH R-VALUE OF 1.0 EACH AND DENSITY TO SUPPORT CONCRETE.
  - G. INSULATION MUST BE TIGHT AGAINST ALL THERMAL BREAKS AFTER CONCRETE IS POURED.
  - H. PROVIDE A 6 MIL POLYETHYLENE SHEET WATER/TIGHT SEAL UNDER THE ENTIRE INSULATED SUBFLOOR AND UP ALL VERTICAL EXTERIOR SIDES IN CONTACT WITH THERMAL BREAKS.
  - I. PROVIDE POWER AND WIRING PER CODE FOR REFRIGERATION SYSTEM AND CONNECT TO CONTROL PANEL AND DISCONNECT ON ROOF TOP CONDENSING UNIT.
  - J. INSTALL ALL WIRING PER CODE TO SUPPLY POWER FOR COILS, TIME CLOCKS, SOLENOID/THERMOSTAT, DRAIN LINE HEATER, ETC - VIF.
  - K. PROVIDE POWER AND INTERWIRE INTERIOR LIGHTS WITH EXTERIOR CONDUIT.
  - L. CONNECT DRAIN LINE HEATER IN FREEZER THROUGH J.B.
  - M. PROVIDE FUNNEL FLOOR DRAINS PER PLAN WITH MINIMUM FITCH 4" FROM WALKIN WALLS. PIPING SHALL NOT INTERFERE WITH INSULATED SUBFLOOR.



**WALK-IN DETAIL - ITEM #101**

SCALE: 1/2" = 1'-0"  
DETAIL IS FOR CONSTRUCTION PURPOSES. ALL TRADES TO VERIFY REQUIREMENTS WITH MANUFACTURER'S SHOP DRAWINGS



**WALK-IN DETAIL - ITEM #106**

SCALE: 1/2" = 1'-0"  
DETAIL IS FOR CONSTRUCTION PURPOSES. ALL TRADES TO VERIFY REQUIREMENTS WITH MANUFACTURER'S SHOP DRAWINGS

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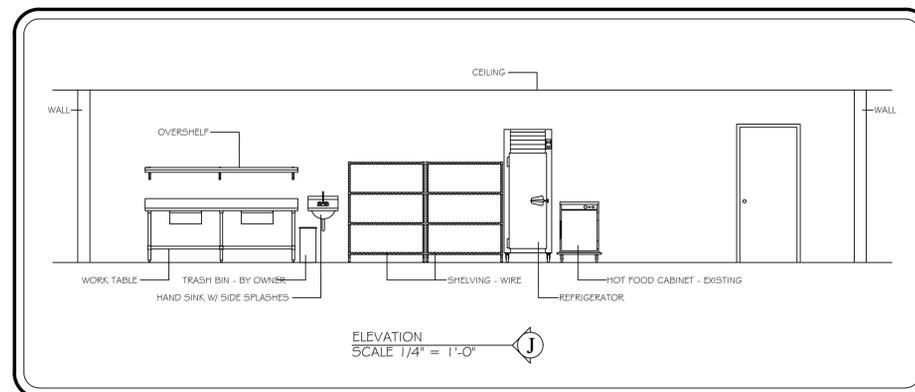
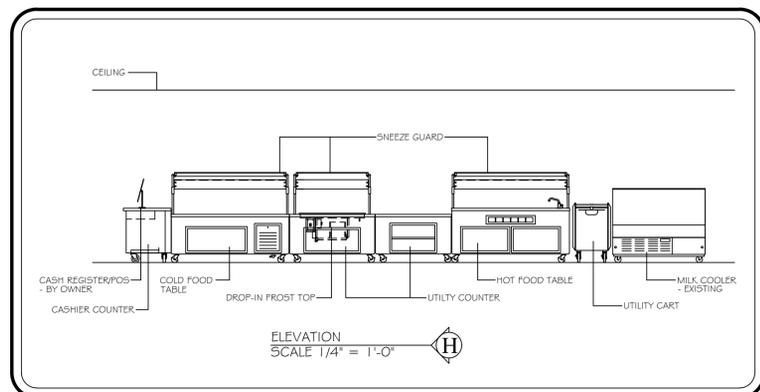
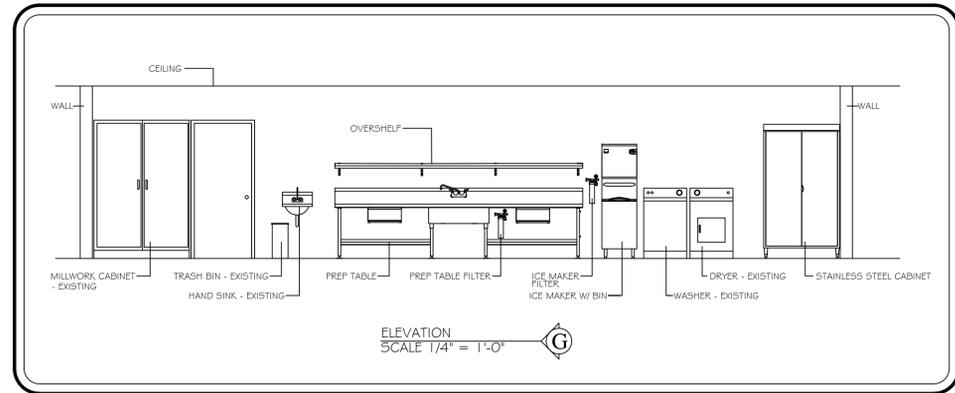
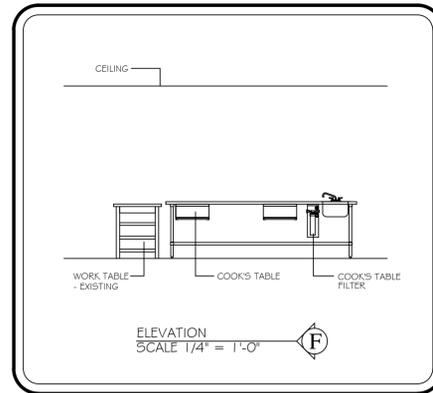
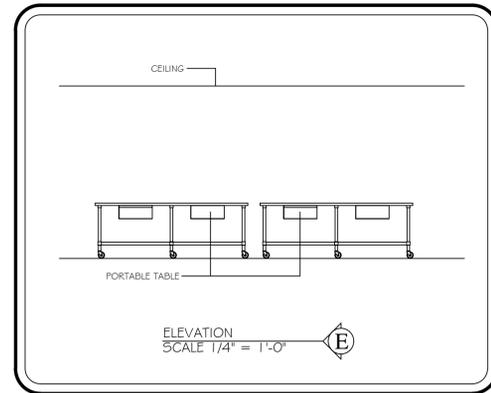
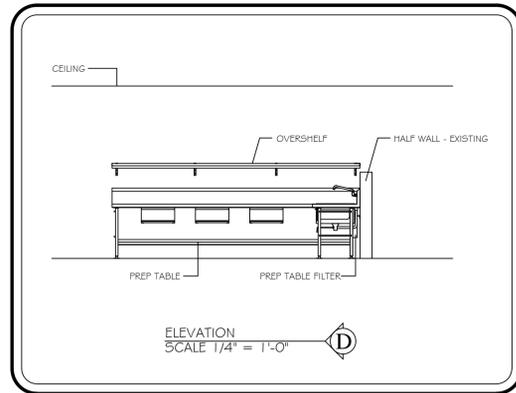
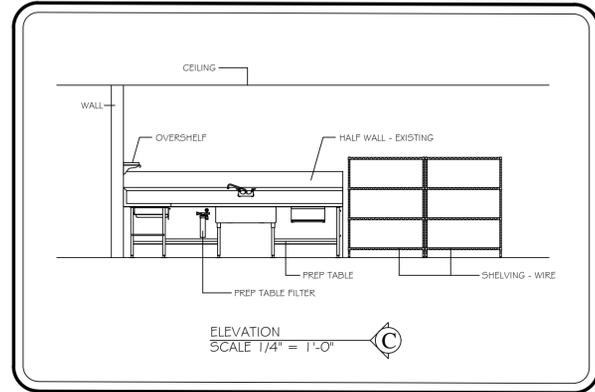
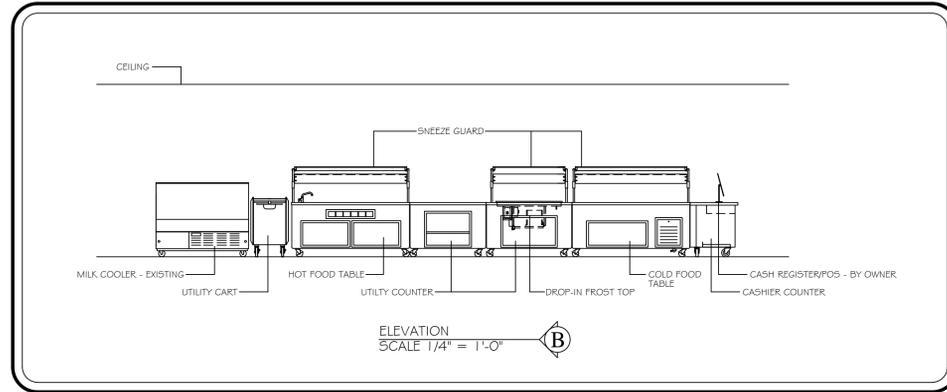
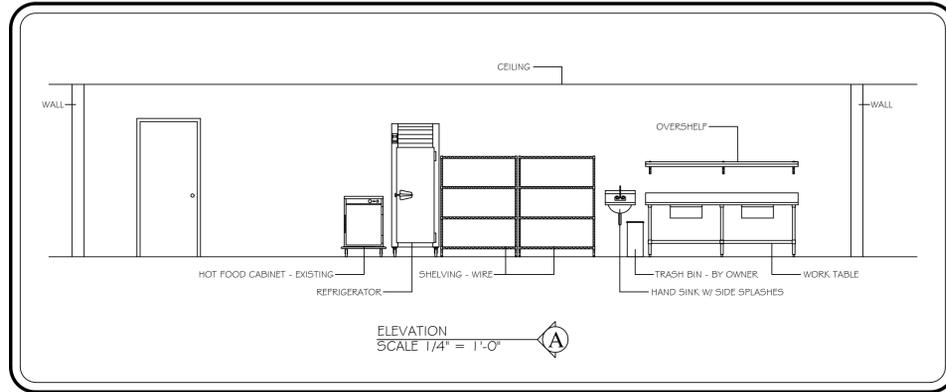
**SHEET TITLE:**  
FOOD SERVICE  
EQUIPMENT  
REFRIG. PLAN  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESR	BIDS BP#2	JR

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SHEET NUMBER:

**FSE-5**



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3400 2ND ST.  
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SHEET TITLE:  
FOOD SERVICE  
EQUIPMENT  
DETAIL SHEET  
SCALE 1/4" = 1'-0"

DATE CODE	PROJECT PHASE	BY
03/13/26 LSGESDET	BIDS BP#2	JR

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SHEET NUMBER:

**FSE-6**